



# City of Grand Prairie

City Hall  
300 W. Main Street  
Grand Prairie, Texas

## Meeting Agenda

### Planning and Zoning Commission

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Monday, February 3, 2020

5:30 PM

City Hall, Council Chambers

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#### Call to Order - Commissioner Briefing

It is the intent of the Planning and Zoning Commission to be briefed by staff, and that all items on the agenda shall be available or open for discussion during the Briefing Session. The Planning and Zoning Commission may ask applicants and other interested parties for information or presentations. All interested parties are invited to attend. Briefings are taped.

#### Review of the Planning and Zoning Commission Bylaws

#### Agenda Review

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**Public Hearing**  
**6:30 p.m. Council Chambers**

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**Chairperson Joshua Spare Presiding**

#### Invocation

#### Pledge of Allegiance to the US Flags and to the Texas Flag

#### Citizen Comments

#### Public Hearing Consent Agenda

*Items listed on the Public Hearing Consent Agenda are considered to be routine and will be approved by one motion and one vote. There will be no separate discussion of the Public Hearing Consent Agenda items unless requested. If discussion is desired on an item, it will be considered separately. The Commission may ask questions of those present on an item from the Public Hearing Consent Agenda.*

**1**      [20-9744](#)      Approval of Minutes of the January 6, 2020 P&Z meeting.

**Attachments:**   [PZ Draft Minuts 01-06-2020.pdf](#)

- 2**      [20-9730](#)      P180203 - Final Plat - Clear Lake (Commissioner Spare/City Council District 6). Final Plat of Clear Lake creating 25 residential lots and 4 open space lots on 6.519 acres. Tract 4, Caroline M. Adams Survey, Abstract 38 and Lot 1A, Block 1, Paris Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-363, and located at 1210 E. Seeton Road. The agent is Kylon Wilson, Stantec, the applicant is Trey Wallette, Skorburg, and the owner is John Arnold, Skorburg.
- Attachments:**   [Exhibit A - Location Map.pdf](#)  
   [Exhibit B - Final Plat.pdf](#)
- 3**      [20-9731](#)      P190702 - Minor Subdivision Plat - Granados Park, Lots 1 & 2, Block A (Commissioner Fisher/City Council District 1). Final Plat of a 1.091 acre property into two lots in the John C. Read Abstract No. 1183, Dallas County, Texas. Zoned PD-338 within the SH-161 Corridor Overlay, generally located on the north side of Parker road, approximately 270-feet west of Hardrock Road and addressed as 1214 Parker Road, Grand Prairie, Texas. The owner is Jose Granados.
- Attachments:**   [Exhibit A - Location Map](#)  
   [Exhibit B - Final Plat](#)
- 4**      [20-9732](#)      P191003 - Final Plat - Creekside at Grand Prairie Addition (Commissioner Spare/City Council District 6). Final Plat of Lot 1, Block 1, Creekside at Grand Prairie Addition, 23.39 acres out of the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas. Zoned PD-378 within the IH-20 Corridor Overlay, southwest of the intersection of S Great Southwest Pkwy. and Bardin Rd. and north of the Willis Branch of Fish Creek.
- Attachments:**   [Exhibit B - Final Plat](#)  
   [Exhibit A - Location Map](#)  
   [Exhibit i - Preliminary Plat](#)
- 5**      [20-9733](#)      P200105 - Final Plat - Hakemy Addition, Lots 1 and 2, Block A (Commissioner Carranza/City Council District 3). Final Plat for Lot 1 and Lot 2, Block A, Hakemy Addition to establishing two commercial lots. 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, Zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.
- Attachments:**   [Exhibit A - Location Map](#)  
   [Exhibit B - Final Plat](#)



- 6      [20-9734](#)      P200201 - Preliminary Plat - Hill Street Addition, Lot 1, Block 1 (Commissioner Moser/City Council District 5). A Preliminary Plat of a 13.1509 acre tract in the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 in the SH-161 Corridor Overlay and addressed as 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.
- Attachments:** [Exhibit A - Location Map](#)  
   [Exhibit B - Plat](#)
- 7      [20-9735](#)      RP200201 - Replat - Prairie Waters-Southgate Development, Lot 1R and 2, Block 1 (Commissioner Connor/City Council District 4). Replat of Prairie Waters-Southgate Development, Lot 1R and 2, Block 1, creating two lots on 29.547 acres. Lot 1, Block 1, Prairie Waters-Southgate Development, City of Grand Prairie, Tarrant County, Texas, zoned PD-352, within the SH-360 Corridor Overlay District, and addressed as 3666 Prairie Waters Dr. The applicant is John McClure, McClure Partners, the consultant is Juan J. Vasquez, Vasquez Engineering LLC, and the owner is Charles Anderson, TA Southgate Land Partners LP.
- Attachments:** [Exhibit A - Location Map.pdf](#)  
   [Exhibit B - Replat.pdf](#)

### **Public Hearing Postponement, Recess, and Continuations**

*In accordance with Section 1.11.5.7 of the Unified Development Code (UDC) a public hearing for which notice has been given may be postponed by announcing the postponement at or after the time and place the hearing is scheduled to begin. A public hearing may be recessed and continued any time after the hearing has commenced. Section 1.11.5.7.C of the UDC states if a postponement or continuance of a public hearing is to a specific date and time no later than 60 days from the first or most recent hearing, the announcement of the postponement or continuance at the public hearing in which the application has been postponed or continued by the Planning and Zoning Commission shall be sufficient notice and no additional notice is required. However, the Planning and Zoning Commission may direct staff to re-notify postponed or continued applications for which public hearings have not yet commenced.*

- 8      [19-9528](#)      CPA190604 - Comprehensive Plan Amendment- Grand Oaks (Commissioner Hedin/City Council District 2). Amendment to the Comprehensive Plan from Open Space/Drainage to Medium Density Residential on 9.4 acres out of the Aaron Wilson Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-198) and addressed as 3502 Country Club Dr.

**Table**

- 9      [19-9189](#)      Z190604/CP190604 - Planned Development Request/Concept Plan - Grand Oaks Single Family Residences (Commissioner Hedin/City Council District 2). Zoning Change and Concept Plan/PD Amendment for 59 lots intended for single-family residential development consisting of attached and detached units on the site of the former clubhouse for Grand Oaks Country Club. 9.4 acres out of the Aaron Wilson Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-198) and addressed as 3502 Country Club Dr. The agent is Michael Salcedo, Salcedo Group, Inc. and the owner is Rick Mai, Rowsco, Inc.

**Table**

**Items for Individual Consideration**

- 10      [20-9736](#)      S200201 - Site Plan - Presidium Hill Street Apartments (Commissioner Moser/City Council District 5). A Site Plan for Presidium Hill Street Apartments, a 290 unit multi-Family Development. 13.1509 acres out of the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas. Zoned PD-392 District within the SH-161 Overlay and addressed as 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.

**City Council Action: February 18, 2020**

**Attachments:** [Exhibit A - Location Map](#)  
[Exhibit B - Site Plan](#)  
[Exhibit C - Elevations](#)  
[Exhibit D - Landscape Plan](#)

- 11      [20-9737](#)      S200202 - Site Plan - Longhorn Steakhouse at Epic West Towne Crossing (Commissioner Hedin/City Council District 2). Site Plan for a 5,660-sq. ft. restaurant on 1.463 acres. Lot 6R, Block B, Epic West Towne Crossing Phase 1, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH-161 Corridor Overlay District, and addressed as 3134 S HWY 161. The applicant is James Powell, Darden, the consultant is Kourtne Airheart, CDS Development, and the owner is John Weber, Epic West Towne Crossing LP.

**City Council Action: February 18, 2020**

**Attachments:** [Exhibit A - Location Map.pdf](#)  
[Exhibit B - Site Plan.pdf](#)  
[Exhibit C - Building Elevations.pdf](#)  
[Exhibit D - Landscape Plan.pdf](#)  
[Exhibit E - Appendix F Checklist.pdf](#)

- 12**      [20-9739](#)      S200102 - Site Plan - Hakemy Retail Center (Commissioner Carranza/City Council District 3). Site Plan for an 8,000 sf retail building. Lot 1 and Lot 2, Block A, Hakemy Addition (proposed), 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.  
**City Council Action: February 18, 2020**

**Attachments:**   [Exhibit A - Location Map](#)  
                             [Exhibit B - Site Plan](#)  
                             [Exhibit C - Landscape Plan](#)  
                             [Exhibit D - Elevations](#)

## **Public Hearing**

*Members of the public may address the Commission on items listed on the agenda under Public Hearing Items. Persons wishing to address the Commission must first complete a request to speak card. A person may also use the request to speak card to indicate his or her support or opposition to a case without speaking. Cards may be picked up at the desk by the entrance to the City Council Chambers and may be deposited at the desk or given to a staff member. Speaking time is generally limited to five minutes per speaker. Per the by-laws of the Planning and Zoning Commission, the applicant and those favoring the request shall have a maximum of 30 minutes, including rebuttal, to present their arguments for the request. Those in opposition to a request shall have a maximum of 30 minutes to present their arguments against the request. When a large group is present, it is encouraged that representatives be appointed to speak for the group so that redundant testimony is minimized. Commissioners may have questions of those speaking at the public hearing. The time used to answer the Commission's questions will not be deducted from the allotted 30 minutes. These rules may be temporarily suspended, in whole or in part, by a unanimous vote of the Commission.*

- 13**      [20-9740](#)      Z200201/S200204 - Zoning Change/Site Plan - Take 5 Oil Change at Victory at Lake Ridge (Commissioner Spare/City Council District 6). Zoning change to allow Minor Auto Repair by right on property with a base zoning district of General Retail and a Site Plan for an oil change facility on 1.296 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom Rd. The applicant: Robert Baldwin, Baldwin Associates and the owner is Tony Ramji, Victory @ Lakeridge LLC.  
**City Council Action: February 18, 2020**  
**Attachments:** [Exhibit A - Location Map.pdf](#)  
[Exhibit B - Site Plan.pdf](#)  
[Exhibit C - Building Elevations.pdf](#)  
[Exhibit D - Landscape Plan.pdf](#)  
[Exhibit E - Appendix F Checklist.pdf](#)
- 14**      [20-9738](#)      CPA200202 - Comprehensive Plan Amendment (Commissioner Moser/City Council District 5). A request to change the Future Land Use Map from Commercial/Office/Retail to Low Density Residential. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County Texas, zoned GR, General Retail.  
**City Council Action: February 18, 2020**  
**Attachments:** [Exhibit A- Location Map](#)  
[Exhibit B-FLUM](#)
- 15**      [20-9741](#)      Z200202 - Zoning Change - Single Family at 2129 Dalworth Street (Commissioner Moser/City Council District 5). A request to change the zoning from GR, General Retail, to SF-6, Single-Family Six Residential District to allow for a single residential dwelling on an existing 0.23 acre lot. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County. The owner is Abraham Jackson.  
**City Council Action: February 18, 2020**  
**Attachments:** [Exhibit A- Location Map](#)
- 16**      [20-9743](#)      TA200202 - Text Amendment - Article 4: Permissible Uses and Article 30: Definitions. Amend the Unified Development Code to create definitions and regulations for tattoo studios and body piercing studios. The applicant is the City of Grand Prairie.  
**City Council Action: February 18, 2020**

## Adjournment

**In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A., the Planning and Zoning Commission agenda was prepared and posted on January 31, 2020.**

**Chris Hartmann  
Planning Secretary**

**The City Hall is wheelchair accessible. If you plan to attend this public meeting and you have a disability that requires special arrangements, please call 972-237-8255 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.**



## Legislation Details (With Text)

**File #:** 20-9744      **Version:** 1      **Name:** Approval of Minutes of the January 6, 2020 P&Z meeting  
**Type:** Agenda Item      **Status:** Consent Agenda  
**File created:** 1/23/2020      **In control:** Planning and Zoning Commission  
**On agenda:** 2/3/2020      **Final action:**  
**Title:** Approval of Minutes of the January 6, 2020 P&Z meeting.  
**Sponsors:**  
**Indexes:**  
**Code sections:**  
**Attachments:** [PZ Draft Minuts 01-06-2020.pdf](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

Approval of Minutes of the January 6, 2020 P&Z meeting.

### Presenter

David P. Jones, AICP, Chief City Planner

### Recommended Action

Approve

### Analysis



**REGULAR PLANNING AND ZONING COMMISSION  
MEETING MINUTES  
JUANUARY 6, 2020**

COMMISSIONERS PRESENT: Chairperson Josh Spare, Vice-Chairperson Shawn Connor, Secretary Max Coleman, and Commissioners, Clayton Fisher, Warren Landrum, Eric Hedin, Eduardo Carranza, Cheryl Smith.

COMMISSIONERS ABSENT: Bill Moser

CITY STAFF PRESENT: Deputy City Manager Bill Crolley, David Jones, Chief City Planner, Savannah Ware, Senior Planner, Nyliah Acosta, Planner, Mark Dempsey, Deputy City Attorney, Brett Huntsman, Transportation Planner, and Chris Hartmann, Executive Assistant.

Chairperson Josh Spare called the meeting to order in the Council Chambers in the City Hall Building at 6:30 p.m. Commissioner Connor gave the invocation, commissioner Fisher led the pledge of allegiance to the US Flag, and the Texas Flag.

Citizen Comments: None

AGENDA ITEM: #1-APPROVAL OF MINUTES: To approve the minutes of the Planning and Zoning Commission meeting of December 2, 2019.

PUBLIC HEARING CONSENT AGENDA: Item #2-P200103 - Preliminary Plat - Gibson's Addition, Lots 1 and 2, Block 1 (Commissioner Hedin/City Council District 2). A Preliminary Plat to create Lots 1 and 2, Block 2 out of 5.928 acres out of the Allen Jenkins Survey, Abstract No.713. Located at 2422N Carrier Parkway, legally described as TR 6 ACS 5.928 out of the Allen Jenkins Abstract No. 713, City of Grand Prairie, Dallas County, Texas, zoned PD-394. The consultant is Michael Davis, Bannister Engineering and the owner is Chase Debaun, David Nicklas Organ Donor Awareness Foundation, Inc.

Item #3-P200106 - Final Plat - Warrior Addition, Lot 2, Block 1 (Commissioner Hedin/City Council District 2). Final Plat to establish one industrial lot and identify existing and proposed easements on 10.506 acres. Being a 10.506-acre tract situated in the Jose Gill Survey, Abstract No. 567, City of Grand Prairie, Tarrant County, Texas, zoned Light Industrial (LI) District, and is located within the Great Southwest (GSW) Industrial District. The property is generally located at the northeast corner of S. Great Southwest Parkway and W. Warrior Trail specifically addressed at 2590 W. Warrior Trail. The applicant is Robert W. Rice, Ironwood Realty Partners, LLC, the consultant is Alexander Camunez, Pacheco Koch, and the owner is Ahmad Khammash.

## **PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020**

Item #4-P200107 - Final Plat - Kednus Addition, Lot 1, Block 1 (Commissioner Fisher/City Council District 1). Final Plat to establish one industrial lot and identify existing and proposed easements on 7.497 acre tract situated in the J.R. Parker Survey, Abstract No. 1227, City of Grand Prairie, Tarrant County, Texas, zoned Light Industrial (LI) District. The property is generally located at the southwest corner of Avenue J. East and 107th Street, specifically addressed as 613 Avenue J. East. The applicant is Gina McLean, Nationwide Construction, the consultant is Costa Mazidje, Mazidji Group Engineering, and the owner is Jose Antonio Hernandez.

Item #6-S200105 - Site Plan - Office Warehouse on Warrior Trail (Commissioner Hedin/City Council District 2). Site plan request for proposed two-story, 176,670 sq. ft. office/warehouse on one lots on 10.506 acres. 10.506- acre property consisting of (Warrior Trail Addition, Block 1, Lot 2) situated in the Jose Gill Survey, Abstract No. 567 City of Grand Prairie, Texas, Tarrant County, generally located at northeast of S. Great Southwest Parkway and W. Warrior Trail., more specifically addressed at 2590 W. Warrior Trail. The property is zoned Light Industrial (LI) District and is located within the Great Southwest (GSW) Overlay Corridor District. The applicant is Robert W. Rice, Ironwood Realty Partners, the consultant is Alexander Camunez, Pacheco Koch, and the owner is Ahmad Khammash.

Item #7-CPA200101 - Comprehensive Plan Amendment - Mountain Creek Lake Park (Commissioner Carranza/City Council District 3). To establish a Future Land Use designation of 'Parks and Recreation' for Mountain Creek Lake Park, consisting of 86.109 acres out of the Alex Cockrell Survey, Abstract no. 245, City of Grand Prairie, Dallas County, Texas. The applicant is David Jones, City of Grand Prairie Planning.

Item #8-Z200101 - Zoning Change - Mountain Creek Lake Park (Commissioner Carranza/City Council District 3). Establish zoning of 'AG, Agricultural' for Mountain Creek Lake Park, consisting of 86.109 acres out of the Alex Cockrell Survey, Abstract no. 245, City of Grand Prairie, Dallas County, Texas. The applicant is David Jones, City of Grand Prairie Planning.

Item #9-Z200102 - Zoning Change - SF-6 on Avenue C (Commissioner Carranza/City Council District 3). A request to change the zoning from SF-4 to SF-6. Located at 2006, 2010 & 2014 Avenue C, Legally described as Lots 2, 3, & 4, Block B, Warlick Addition, City of Grand Prairie, Dallas County, Texas. The owner is Saul Zuniga.

Motion was made to approve the minutes of December 2, 2019, approve public hearing consent agenda items P200103, P200106, P200107, S200105, CPA200101, Z200101 and Z200102, and remove case S200101 from the consent agenda to be heard under items for individual consideration.

Motion: Connor  
Second: Coleman



## PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Approved: 8-0**

Motion: **carried.**

### ITEM FOR INDIVIDUAL CONSIDERATION:

Item #5-S200101 - Site Plan - Camp Wisdom Plaza (Commissioner Connor/City Council District 4). Chief City Planner David Jones presented the case report and gave a Power Point presentation for a Site Plan for Restaurant/Retail and a Gas Station. Located at 2800 & 2812 W Camp Wisdom, legally described as 3.915 acres out of the Harwood, John W Survey Abstract 661, City of Grand Prairie, Tarrant County, Texas, Zoned PD-130. The consultant is Houshang Jahuani, Jahani Consulting Engineers Inc. and the owner is Anil Pathaic.

Mr. Jones stated the proposed uses are a Gas Station, Convenience Store, and Retail. The Site Plan includes a 9,919 sq. ft. building separated into a 4,275 sq.ft. convenience store with a drive thru and four 1,411 sq. ft. retail tenant spaces, two way circulation, dumpster enclosure, and 120 parking spaces. The site will be accessible from West Camp Wisdom and Lynn Road. Phase II, shown in the hatched area on the site plan will constructed separately from the first phase and will need to show dimensions, landscaping and elevation plans prior to construction. The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code. The proposal meets the density and dimensional requirements. The proposal meets the parking requirements. The proposal meets all of the landscape and screening requirements. The building is primarily stucco and stone veneer with caststone and brick accents. The following elements have been selected: Material mix, stone accent, color contrast, corner treatment, and articulation elements. The proposed building elevations meet the site plan requirements.

Mr. Jones stated the property will need to be platted prior to development. Phase II and III in the hatched area are separate phases that shall be constructed with construction of the future buildings, and future phases will be subject to Site Plan review. DRC recommends approval of the Site Plan.

Chairperson Spare stated the commission has reviewed the entire packet, the site plan meets all of the requirements therefore the case would need to be approved this is a site plan case not a zoning case, the zoning has been in place since 1983.

Scott Whitaker, 2724 White Oak Drive, Grand Prairie, TX stepped forward in opposition to the request, he is concern with traffic this development would bring to his neighborhood and the fuel tanks next to their homes, and asked if there would be any additional median breaks along Camp Wisdom and Lynn Road. He asked if a Traffic Impact Analysis study had been conducted.

## **PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020**

Transportation Planner Brett Huntsman stated there would not be any additional median breaks on the exiting drives and a TIA is not required for this tract. Mr. Jones stated the gas station would need to meet all of the State requirements.

Commissioner Coleman asked Mr. Whitaker how long he has lived in the neighborhood and asked what would he like to see develop on this property. Mr. Whitaker said he has lived in this neighborhood for 20 years and would much rather see a dry cleaners or some other type of use that would benefit the neighborhood other than a gas station.

Commissioner Smith asked if the developer has met with the neighborhood regarding this development. Mr. Whitaker replied no, but the neighborhood is opposed to a fuel station at this location. Commissioner Smith stated it is important that the developers meet with the adjacent homeowners.

Commissioner Fisher asked if the petition had been submitted.

Victoria Hess, 2721 White Oak Drive, Grand Prairie, TX stepped forward in opposition to this request. She has lived in this neighborhood for over 30 years and she spent her Saturday collecting signature in opposition. She said they were not notified of this development they noticed a sign had been placed on the property.

Mr. Jones stated the new State Law does not require that site plans be notified, there is nothing we can do to stop this development the site plan submitted meets all of the city's requirements and the zoning has been in place since 1983.

Commissioner Fisher thanked Victoria Hess for the work she has done collecting signatures and for attending the meeting, but the commission needs to move forward with this case.

Commissioner Coleman asked if the city could place a moratorium on fuel stations. Mr. Crolley stated moratoriums are based on different criteria's and this use is allowed by right.

Linda Brook, 5724 Garden Oaks Street, Grand Prairie, TX was also in opposition to this case. She said this development would be right behind her back door, and her concern is the crime, lower property values, and the increase in traffic this development would bring to her neighborhood.

Mr. Crolley stated staff and the developer can meet with some of the homeowners before the case proceeds to the city council.

There being no further discussion on the case commissioner Connor moved to close the public hearing and approve case S200101. The action and vote being recorded as follows:

## PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020

Motion: Connor

Second: Coleman

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Approved: 8-0**

Motion: **carried.**

Item #10-S200103 - Site Plan - Hamilton HQ (Commissioner Fisher/City Council District 1). Senior Planner Savannah Ware presented the case report and gave a Power Point presentation for a Site plan request for proposed single-story, 41,880 sq. ft. office-showroom and warehouse on two lots on 4.738 acres. 4.78 acres property consisting of (Farmers Industrial Addition, Block 3, Lots 4R & 5R) situated in the Dudley F. Pearson Survey, Abstract No. 1130 City of Grand Prairie, Texas, Dallas County located southeast of Farmers Road and W. Trinity Blvd., more specifically addressed at 1205 & 1207 Farmers Road. The property is zoned Light Industrial (LI) District and is located within the State Highway 161 (SH-161) Overlay Corridor District. The consultant is Alexander Camunez, Pacheco Koch and the owner is Hamilton Peck, Hamilton Commercial.

Ms. Ware stated the applicant intends to construct a 40,670 sq. ft. office/showroom and warehouse on 4.738 acres. Development in a Corridor Overlay District and industrial development require City Council approval of a Site Plan. Development at this location requires City Council approval of a Site Plan because the property is within the SH-161 Corridor Overlay District and intended for industrial use. The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code, provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts. The site is accessible from Farmers Road and Trinity Blvd via a cross access drive on the adjacent lot. The proposed 40,670 sq. ft. building includes two office areas at the northwest and northeast corners of the building. The Site Plan depicts parking, access drives, a fire lane, and a truck court with loading bays located on the south side of the building. The subject property is zoned LI and within the SH-161 Corridor Overlay District. Since the proposed building is less than 50,000 sq. ft., the standards in Appendix F: Corridor Overlay Districts apply instead of Appendix X: Industrial Development Standards. Development is subject to the LI standards in the UDC. The proposal meets the density and dimensional requirements. Article 10 of the UDC states that the number of parking spaces cannot exceed 115% of required parking for buildings greater than 30,000 sq. ft. Appendix F states that parking calculations in Article 10 of the UDC shall serve as parking maximums. The number of parking spaces cannot exceed the parking maximum without approval by City Council and compensatory measures. The proposal includes 79 parking spaces, which is greater than 115% of the parking requirement. The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC. The proposal does not meet all of the landscape and screening requirements. The applicant has agreed to amend the landscaping plan to comply with the

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requirements. The applicant is using a masonry screening wall to screen the truck docks from view from Farmers Rd. Exhibit E - Truck Dock Screening shows what the view of the screening wall and truck court will look like from Farmers Rd. The exterior building materials include concrete tilt wall in two colors, stone, and metal accent. Appendix F contains two windows requirements. The first is that facades shall include windows that equal 50% of the overall vertical surface of all facades or that equal 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades. The proposed building elevations do not meet the window requirements. Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The applicant has submitted the Appendix F Checklist showing the intended Menu Items.

Ms. Ware stated the City Council may approve variances to Appendix F if the applicant demonstrates that the proposal meets the intent of the ordinance and that the alternative design or measure provides an equal or greater level of quality and standard of development as mandated by the regulations. As a part of this Site Plan, the applicant is requesting the variances listed below.

1. 30 Ft. Landscape Buffer - Appendix F requires a 30 ft. landscape buffer along street frontages. Part of the drive aisle and some of the parking spaces encroach the landscape buffer. The applicant proposed to address this through a phased parking plan that will provide for additional parking once a need is identified.
2. Number of Parking Spaces - Appendix F treats parking calculations as parking maximums instead of minimums. The number of parking spaces exceeds what is allowed. The applicant proposed to address this through a phased parking plan that will provide for additional parking once a need is identified.
3. Articulation on Four Sides - Appendix F requires articulation on all four sides of the building or on three sides of the building with a double row of trees at the rear of the building. The proposal includes articulation on three sides of the building but no double row of trees. Staff notes that a creek runs along the southern portion of the site which limits the availability of planting area, and that the property immediately to the south is zoned Light Industrial.
4. Overall Windows - Windows must account for 50% of the area of all facades or 50% of the length of all facades. The proposed building elevations do not meet either requirement.
5. Windows for Street-Facing Facades - Windows must account for 30% of the area of street-facing facades. The north and west facades are street-facing facades but do not include 30% windows.

Ms. Ware said staff recommends approval with the condition that the applicant provide staff with a phase parking plan meeting the requirements of Appendix F, make required additions to the

## PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020

landscaping plan, providing required trees and seasonal color, and replat the property prior to construction.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Hamilton Peck, 2507 Croft Creek Circle, Grand Prairie, TX was present representing the case and to answer questions from the commission. Mr. Peck stated his office is currently in Arlington and would like to move it Grand Prairie, where he lives and is currently developing some properties.

There being no further discussion on the case commissioner Fisher moved to close the public hearing and approve case S200103 as presented and recommended by staff. The action and vote being recorded as follows:

Motion: Fisher

Second: Connor

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Approved: 8-0**

Motion: **carried.**

Item #11-S200104 - Site Plan - Spec's on Ragland Road (Commissioner Connor/City Council District 4). Senior Planner Savannah Ware presented the case report and gave a Power Point presentation for a Site Plan for Spec's, authorizing the construction of an 11,180 sq. ft. retail building on 1.509 acres. A portion of Lot 1, Block 1, Prairie Waters-Southgate Development, City of Grand Prairie, Tarrant County, Texas, zoned PD-352, within the SH-360 Corridor Overlay District, and generally located east of S HWY 360 on the southwest corner of Ragland Rd and N Day Miar Rd. The applicant is applicant: John McClure, McClure Partners and the owner is Charles Anderson, TA Southgate Land Partners.

Ms. Ware stated the applicant is proposing to construct an 11,180 sq. ft. retail store. The proposed store sells packaged alcohol for off-premise consumption and must comply with Chapter 29, Article VIII of the City of Grand Prairie Code of Ordinances. The site will be accessible from Ragland Rd and N Day Miar Rd. The Site Plan includes the 11,180 sq. ft. building, parking, fire lane and access drives, and a loading bay located on the east side of the building. The subject property is zoned PD-352 with a base zoning district of Commercial-One. Development is subject to the standards in PD-352 and the UDC. The proposal meets or exceeds the density and dimensional requirements. Appendix F states that parking calculations in Article 10 of the UDC shall serve as parking maximums. The number of parking spaces cannot exceed the parking maximum without approval by City Council and compensatory measures. The proposal includes 67 parking spaces, which exceeds the maximum allowed number of spaces by 26. As a compensatory measure, the applicant is providing 13 reduced size parking spaces reserved for compact cars. The property is

## PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020

subject to landscape and screening requirements in Article 8 and Appendix F of the UDC and PD-352. The proposal meets the landscape and screening requirements. Appendix F requires enhanced screening of the parking area along Ragland Rd. The Landscape Plan depicts a 7 ft. wide planting bed with street trees, ornamental trees, and shrubs. This satisfies the requirement for enhanced screening. The exterior building materials include stone and stucco. Appendix F contains two windows requirements. The first is that facades shall include windows in an area that equals 50% of the overall vertical surface of all facades or that equals 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades. The proposed building elevations do not meet the window requirements. Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The table below lists the Menu Items included in the proposal. The proposal meets the Appendix F Menu Items requirements.

Ms. Ware noted the City Council may approve variances to Appendix F if the applicant demonstrates that the proposal meets the intent of the ordinance and that the alternative design or measure provides an equal or greater level of quality and standard of development as mandated by the regulations. As a part of this Site Plan, the applicant is requesting the variances listed below.

1. Windows on Street-Facing Facades. Appendix F requires that windows account for 30% of street-facing facades. Windows account for 16.58% of the north facade and 6.74% of the east facade when 30% is required.
2. Total Windows. Appendix F requires that windows account for 50% of the area of all facades or 50% of the length of all facades. Windows account for 46% of the length of all facades when 50% is required.
3. Roll-Up Door Facing the Street. Garage doors shall not be oriented parallel to a dedicated street. The garage door for the loading bay is parallel to Ragland Rd.

Ms. Ware stated staff recommends that the applicant meet Appendix F.

Chairperson Spare stated he is not favor of compact car spaces.

Commissioner Carranza asked if staff was in support of the location of the loading docks. Mr. Jones stated the loading dock would be considered a variance they do not meet the requirements of Appendix F.

Commissioner Connor asked what the applicant's response was to staff's conditions. Ms. Ware stated some of the conditions have been address, but there are still some that do not meet the ordinance.

Commissioner Smith asked for the proximity to the school and church. Mr. Jones stated there is a 300 ft. rule and the development is outside the 300 ft. radius.

## PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020

Chairperson Spare stated there were no more questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Juan Vasquez with Vasquez Engineering, 1919 S. Shiloh Road, #440, Garland, TX was present representing the case and to answer questions from the commission. Mr. Vasquez stated they have met the distance requirement to the school and church, and they are liquor store and would like to keep the windows towards the top for safety reasons. He said they are willing to add spangle glazing.

Chairperson Spare asked why not put the loading dock doors at the back of the building. Mr. Vasquez said they could face the dock doors onto Day Miar Road and could reduce the compact car spaces.

Charles McClure, 805 N Jackson Street, Wylie, TX was present in support of this request. Stan Haddock, 2405 Kathryn Drive, Heath, TX was present in support of the request.

There being no further discussion on the case commissioner Carranza moved to close the public hearing and approve case S200104 as presented by staff, the garage door for the loading bay face east along Day Miar Road, spangle glazing be used to account for the windows requirements, and reduce the number of compact car spaces. The action and vote being recorded as follows:

Motion: Carranza

Second: Coleman

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Approved: 8-0**

Motion: **carried.**

Item #12-S200106 - Site Plan - Twin Peaks at Epic West Towne Crossing (Commissioner Hedin/City Council District 2). Chief City Planner David Jones presented the case report and gave a Power Point presentation for a Site Plan for Twin Peaks, an 8,152 sf restaurant. Lot 7R (proposed), Block B, Epic West Towne Crossing Phase 1, in the C. J. Babcock Survey, Abstract 59, City of Grand Prairie, Dallas County, Texas, 1.917 acres zoned PD-364 and located in the SH-161 Corridor Overlay District. The agent is William Winkelmann, Winkelmann & Associates, the applicant is Paul Stevens, Twin Peaks Restaurant, and the owner is Mark Davis, Epic West Towne Crossing LP.

Mr. Jones stated the proposed use is a full service restaurant. The site plan includes the restaurant, dumpster enclosure, drive aisles, and 127 parking spaces. The site is accessible directly from Esplanade and the SH 161 Service Road via an access drive to be constructed by the developer. A replat of Lot 7, Block B will be required to establish a lot for the restaurant, as well as an access easement across the adjoining property. The property is subject to density and dimensional

## PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020

requirements in Article 6 of the Unified Development Code. The proposal meets the density and dimensional requirements. The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC. The proposal meets or exceeds the landscape and screening requirements with the exception of parking lot trees. The building is primarily clad in cement fiber and stucco siding with stone and metal panel accents. The following tables address Appendix F building requirements:

1. Window calculation: Appendix F requires windows along 30% of street facing façades. The site has street frontage on both the east and west facades, with the west facade primarily serving as “back of house”, including the dumpster and enclosure. The closest nearby restaurant is Olive Garden, which received a variance for windows in 2018. That restaurant also used brick veneer to create “false” windows as part of the window calculation. The windows proposed by Twin Peaks are transparent.
2. Parking lot trees: Parking lot trees are required at a rate of 1 per 10 parking spaces, and no more than 10 consecutive parking spaces are allowed without a tree island. The applicant requests variances to both of these requirements in order to provide more parking spaces. This request is consistent with other sites in Epic West.
3. Excess Parking Spaces: The applicant requests to exceed the required parking by 45 spaces, which is consistent with other sites in Epic West.

Mr. Jones stated the Development Review Committee recommends approval, noting that signage is not approved with the Site Plan and will be reviewed under separate permit.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Will Winkelmann, Winkelmann & Associates, 9952 Parkford Drive, Dallas, TX was present representing the case and to answer questions from the commission.

There being no further discussion on the case commissioner Hedin moved to close the public hearing and approve case S200106 as presented and recommended by staff. The action and vote being recorded as follows:

Motion: Hedin

Second: Connor

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Approved: 8-0**

Motion: **carried.**



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**Chairperson Spare noted Commission Fisher would abstain from case SU181004A due to a conflict of interest.**

PUBLIC HEARING AGENDA Item #13- SU181004A - Specific Use Permit Renewal - 2625 W. Pioneer Parkway (Commissioner Fisher/City Council District 1). Chief City Planner David Jones presented the case report and gave a Power Point presentation for a Specific Use Permit Renewal for a Billiard Room at Asia Times Square along with a request to extend operating hours to 2 a.m. Addressed as 2625 W. Pioneer Pkwy., Suite 900. Lot 2, Sam's Properties Addition, City of Grand Prairie, Tarrant County, Texas, 13.71 acres zoned LI, Light Industrial. The owner is Matthew Loh, Asia Times Square.

Mr. Jones stated the applicant proposes to extend hours of operation to 2am for an existing 10-table billiard parlor within a lease space at Asia Times Square. Staff has concerns with extending the hours beyond midnight due to the lack of surrounding activity and surveillance in the area. Hours of operation at similar nearby uses include the existing Asia Times Square event center and the event center at 2155 S Great Southwest Pkwy., which are both 8am-midnight. Per the applicant's operational plan, the hours of operation will be 8am-2am, Monday-Sunday. The attached floor plan depicts a game area dimensioned at approximately 30 feet x 80 feet (2,400 square feet) and a vestibule and bar area approximately 30 feet x 30 feet (900 square feet). The applicant's utilizes the space both for pay-by-the-hour daily play and for hosting tournaments. The applicant will continue to utilize on-site security monitoring and cameras at each table and outside the facility. The Grand Prairie Police Department reported no complaints or issues associated with the billiard parlor. Staff recommends the Planning and Zoning Commission renew the Specific Use Permit as currently written. If the Planning and Zoning Commission elects to amend the SUP to allow for hours of operation to 2am, staff recommends that the amendment be subject to the following conditions:

1. That the Specific Use Permit be reviewed six months from the date of occupancy to determine compliance.

Commissioner Connor stated the billiard room is a BYOB, and asked if there are any other businesses of this kind that are opened until 2 a.m. and are BYOB.

Commissioner Coleman asked if they can apply for special permit if they would like to hold tournaments that would last until 2:00 a.m. Mr. Jones replied yes there is a permit that can be issued for a special event.

Commissioner Carranza stated he would like to keep the hours of operation to midnight.

Chairperson Spare stated there were no more questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

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There being no further discussion on the case commissioner Coleman moved to close the public hearing and approve case SU181004A as presented and recommended by staff. The action and vote being recorded as follows:

Motion: Coleman

Second: Hedin

Ayes: Carranza, Coleman, Connor, Hedin, Landrum, Smith, Spare

Nays: None

**Abstain: Fisher**

**Approved: 7-0-1**

Motion: **carried.**

PUBLIC HEARING AGENDA Item #14- SU191201 - Specific Use Permit - Tire Shop at 3106 E Main Street (Commissioner Moser/City Council District 5). Chief City Planner David Jones presented the case report and gave a Power Point presentation for a Specific Use Permit to allow for Auto Tire/Wheels, Sales & Installation (Indoor) and Auto Repair (Minor) uses on one lot on 0.46 acres. The subject property is zoned Commercial (C) District and is located within Central Business District Four (CBD-4). The property is generally located northeast of E. Main Street and NE 31st Street, specifically 3106 E. Main Street. The existing lots are platted as Burbank Gardens, Unit 1, Lots 442 & 443.

Mr. Jones stated the uses are proposed within an existing 15,000 square foot building. The building was sold in 2017 after having been previously used for a machine shop and fabrication business, and prior to that a sewing machine factory. The exterior construction consists of brick and concrete block materials and plate glass windows along the south facade. Metal awnings previous covered the windows but were recently removed. Four customer parking spaces will be provided along the front and sides of the building, with remaining employee and customer completed vehicle repair spaces to be located inside the facility. Because the remodel of the building will remove a section of the south wall for four overhead roll-up doors, the remaining existing parking in front of the building will be restriped as a staging area. No work will be allowed on the outside of the building other than customer consultation. The interior of the facility will provide for interior tire mounting area, customer waiting areas, offices and mechanic workspace. Auto Wheel and Tire Installation (Indoor) and Minor Auto Repair business use restricts outdoor tire and wheel inventory display allowing for temporary/movable racks of merchandise only. The applicant proposes interior tire mounting and repair with associated vehicle repair (alignments & suspension repair) component of the operation. Minor Auto Repair consists of repair involving the following components:

Computer Diagnostic Computer Reflash

Alternator Change of oil and filter

Generator Fan belt or hoses

Starter Lamp replacement

Water pump Repair of flat tires

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Battery (non-hybrid or EV) Lubrication

Minor tune-up/

Brakes or other minor part thereof

Mr. Jones stated the site has limited opportunities for landscaping features; however, two-dozen hedges will line the western perimeter along with four street trees along NE 31<sup>st</sup> Street edge. 312 sq. ft. landscape islands will remain. The subject property is designated as Commercial, Retail & Office uses on the Future Land Use Map. Commercial, Office and Retail typically include commercial uses appropriate for retail and office environments. The proposal is inconsistent with the FLUM. Objective 15: Policy 11 of the Comprehensive Plan addresses Auto Related Business (ARB) by advocating for SUP requirement with conditions and standards when considered. If approved, the operator must register as an Auto-Related Business and shall conform to the requirements of Chapter 13, Article XX of the Grand Prairie Code of Ordinances, as amended. In conjunction with the ARB standards, staff recommends no outside repair and/or storage of parts and materials. Parking of vehicles shall be on designated areas. Minimum parking standards for all ARB related uses is 1 space per 400 square feet with a minimum of six spaces available to visitors. The applicant is providing only four spaces.

Mr. Jones stated the Development Review Committee recommends denial of the Specific Use Permit request.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. No one was present to represent the case.

There being no further discussion on the case commissioner Smith moved to close the public hearing and deny case SU191201. The action and vote being recorded as follows:

Motion: Smith

Second: Coleman

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Denied: 8-0**

Motion: **carried.**

PUBLIC HEARING AGENDA Item #15- CPA191201- Comprehensive Plan Amendment – 161 Townhomes (Commissioner Fisher/City Council District 1). Planner Nyliah Acosta presented the case report and gave a Power Point presentation to change the Future Land use Map from Mixed use to High Density Residential. Located at 1325 Robinson Road, and 852 Robinson Court. Legally described as 2.95 acres out of the Charles Gibbs Abstract 534 Pg 372 and Lots 5, Block 1, out of the Robinson Court Replat Addition, City of Grand Prairie, Dallas County, Texas.

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PUBLIC HEARING AGENDA Item #16- Z191201/CP191201 - Zoning Change/Concept Plan - 161 Townhomes (Commissioner Fisher/City Council District 1). Planner Nyliah Acosta presented the case report and gave a Power Point presentation to change the zoning from PD 102 to a Planned Development for Townhomes. The concept plan depicts 40 units with green space areas. Located at 1325 Robinson Road and 852 Robinson Court. Legally described as 2.95 acres out of the Charles Gibbs Abstract 534 Pg 372 and Lot 5, Block 1, out of the Robinson Court Replat Addition, City of Grand Prairie, Dallas County, Texas. The applicant is Michael Wright, M. J. Wright Architects and the owner is Kelvin Hoang, Clouda Development LLC.

Ms. Acosta stated the applicant is requesting to construct a medium density townhome development. The request is for a change from Mixed Use to Medium Density Residential on the Future Land Use Map. This development is consistent with the current pattern of development in the area. The surrounding uses are duplexes; and commercial use of the property is unlikely due to 161 and the neighboring creek severely limiting walkable connections needed for mixed use. Staff believes that medium-density residential development would benefit and enhance the overall underutilized parcels. The proposal is also in alignment with several goals within the Comprehensive Plan to include: promoting and enhancing economic development, and providing a mix of housing options by allowing a mix of densities to create housing variety that strengthens the housing market to help ensure there is housing for different income levels, ages and lifestyles. The purpose of this request is to change the zoning on 4.39 acres from PD-102 to a Planned Development for Townhomes. The development proposes 40 units accessible from Robinson Road. The number of units will depend on final location of utilities, drainage, setbacks and parking. Staff has found no indication of adverse impacts on neighboring lands in relation to the zone change, or adverse effects on the public health, safety, or welfare with the appropriate density. Approving the change to a Planned Development will allow the owner to develop the underutilized parcels. In addition, higher density residential uses are ideal along major arterials, and act as a buffer between less intense residential uses, however, staff has concerns with the feasibility of the project with the proposed 40 units that will need to be addressed at the site plan phase. A Site Plan is required for any townhome use on the property. Planned Developments require a Site Plan for any construction, and UDC Articles VII and Appendix W require Site Plan approval. The Site Plan will analyze density and dimensional requirements, parking, building design, landscaping, amenities, utilities, and drainage.

Ms. Acosta stated the existing base zoning is PD-102, the proposed base zoning for the 4.39 acres is a Planned Development for Townhomes. All zoning will defer to the Unified Development Code as amended. A residential townhome development will conform to the proposed development standards and the provisions for Single Family-Townhouse District in the Unified Development Code. The site has frontage along Robinson Road and will have private internal street access on Robinson Ct that will have several hammerhead streets going north and south to access the individual townhomes. Townhome developments are required to meet the standards contained in Appendix W of the UDC. These standards include building articulation, materials, architectural features, and other design elements, and will be evaluated for at the Site

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Plan phase. Section 16.4.1 of the Unified Development Code provides criteria by which a Site Plan should be evaluated, along with requirements of the Drainage Design Manual.

Ms. Acosta stated staff has no objection to the zone change. Utilities and drainage will be addressed at the Site Plan phase.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Kelvin Hoang with Clouda Development LLC., 8009 Kings Gate Circle, Plano, TX, Greg Edwards, 1621 Amanda Court, Ponder, TX, and Michael Wright, 8233 Mid Cities Blvd., North Richland Hills were present representing the case and to answer questions from the commission.

There being no further discussion on the case CPA191201 commissioner Fisher moved to close the public hearing and approve case CPA191201 as presented and recommended by staff. The action and vote being recorded as follows:

Motion: Fisher

Second: Connor

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Approved: 8-0**

Motion: **carried.**

There being no further discussion on the case Z191201/CP191201 commissioner Fisher moved to close the public hearing and approve case Z191201/CP191201 as presented and recommended by staff. The action and vote being recorded as follows:

Motion: Fisher

Second: Smith

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Approved: 8-0**

Motion: **carried.**

PUBLIC HEARING AGENDA Item #17- Z200103/S200107 - Zoning Change/Site Plan - Wildlife Commerce Park Building 8 (Commissioner Fisher/City Council District 1). Chief City Planner David Jones Lee presented the case report and gave a Power Point presentation to amend the zoning and site plan amendment on PD-217C & PD-217 Districts to allow for office warehouse uses and building expansion. The existing site plan depicts an office/warehouse building (Wildlife Commerce Bldg. 8) extending onto planned development district boundary line. 1.602 acres-Zoning Amendment, and 9.028 acres-Site Plan Amendment out of the Benjamin S Reed Survey, Abstract 1225 City of Grand Prairie, Dallas County, Texas. Located at

## **PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020**

the southwest corner of N. Belt Line Road and E. Wildlife Parkway. The applicant is William Mundinger, III, Chi/Acquisitions, LLC and the owner is Cynthia Irving.

Mr. Jones stated the applicant is proposing construction of one speculative industrial building on approximately 9.028 acres in PD-217/PD-217C. The proposed building is a single-story 147,960 sq. ft. warehouse. The zoning request would place the entire site within PD-217C. Primary access to the site is directly from Belt Line Rd. and indirectly from Wildlife Parkway via cross access easement. These access points lead into concrete parking areas consisting of 327 automobile spaces and 59 truck docks, which exceed the parking and loading requirements found in the Unified Development Code. The proposed development consists of a tilt-wall concrete industrial building designed to match the elevations approved with Building 8 in 2018. However, while the existing Wildlife Commerce Park project is subject to an existing agreement which established the look and materials of the buildings constructed within the Wildlife Commerce Park, the property on which the proposed building expansion would take place falls under PD-217C, which require “building style, color, and articulation requirements for LI, Light Industrial uses.” Staff interprets this requirement as placing development within the PD-217 under Appendix X, as amended. The applicant is requesting the following variances: 1.) 10% landscaping is required in Light Industrial zoning. The applicant is providing 8% landscaping, and 2.) Appendix X requires all industrial developments to preserve 30% of existing trees. The developer requests to remove all existing trees from the zoning area to allow for the expansion of building 8’s footprint.

Mr. Jones stated the DRC recommends approval of the zoning to allow for warehouse construction, with the following conditions:

1. That the elevations within the 1.6 acre rezoning area that are visible from the corner of Belt Line and Wildlife Pkwy fully conform to Appendix X guidelines for a primary facade. The developer should select three of the following: two masonry accent materials equal to 50% of the facade, 15% glass curtain wall, 30% total windows, awnings along 50% of the length of the facade (currently 28.8%), horizontal and vertical articulation, cornice projection, accent lighting along 50% of the length of each facade (currently 28.8%), or wing wall projections.
2. That if the elevations do not conform with Appendix X guidelines, that the developer comply with Appendix X landscaping requirements (1 tree per 250 square feet of the 1.6 acre zoning area, including planting parking lot trees in islands every 10 spaces).

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Brad Cooper with Crow Holdings, 3819 Maple Avenue, Dallas, TX was present representing the case and to answer questions from the commission. Mr. Cooper stated they would like to keep consistency with their development. Mr. Cooper said they realize the importance of the corner

## PLANNING AND ZONING COMMISSION MINUTES, JANUARY 6, 2020

and they would be dressing up the corner with a big monument, additional landscaping, and providing trees along Belt Line Road. They would be spending a great amount of money on the landscaping, but they can also add additional light.

There being no further discussion on the case Commissioner Fisher moved to close the public hearing and approve case Z200103/S200107 as presented and the applicant provide accent lighting along 50% of the additional primary building facade and on the proposed monument sign at the corner of Belt Line and Wildlife. The action and vote being recorded as follows:

Motion: Fisher

Second: Coleman

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Smith, Spare

Nays: None

**Approved: 8-0**

Motion: **carried.**

Chairperson Spare moved to adjourn the meeting. The meeting adjourned at 8:15 p.m.

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Joshua Spare, Chairperson

ATTEST:

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Max Coleman, Secretary

An audio recording of this meeting is available on request at 972-237-8255.



## Legislation Details (With Text)

<b>File #:</b>	20-9730	<b>Version:</b>	1	<b>Name:</b>	P180203 - Final Plat – Clear Lake
<b>Type:</b>	Agenda Item	<b>Status:</b>		<b>Status:</b>	Consent Agenda
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	P180203 - Final Plat - Clear Lake (Commissioner Spare/City Council District 6). Final Plat of Clear Lake creating 25 residential lots and 4 open space lots on 6.519 acres. Tract 4, Caroline M. Adams Survey, Abstract 38 and Lot 1A, Block 1, Paris Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-363, and located at 1210 E. Seeton Road. The agent is Kylon Wilson, Stantec, the applicant is Trey Walette, Skorburg, and the owner is John Arnold, Skorburg.				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A - Location Map.pdf](#)  
[Exhibit B - Final Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

P180203 - Final Plat - Clear Lake (Commissioner Spare/City Council District 6). Final Plat of Clear Lake creating 25 residential lots and 4 open space lots on 6.519 acres. Tract 4, Caroline M. Adams Survey, Abstract 38 and Lot 1A, Block 1, Paris Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-363, and located at 1210 E. Seeton Road. The agent is Kylon Wilson, Stantec, the applicant is Trey Walette, Skorburg, and the owner is John Arnold, Skorburg.

### Presenter

Savannah Ware, AICP, Senior Planner

### Recommended Action

Approve

### Analysis

#### SUMMARY:

Final Plat of Clear Lake (formerly Scanio Falls) creating 25 residential lots and 4 open space lots on 6.519 acres. Tract 4, Caroline M. Adams Survey, Abstract 38 and Lot 1A, Block 1, Paris Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-363, and located at 1210 E. Seeton Road.

#### PURPOSE OF REQUEST:

The purpose of the Final Plat is to create 25 residential lots and four open space lots to facilitate the development of a single family subdivision on 6.623 acres.



## **ADJACENT LAND USES AND ACCESS:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	PD-197	Single Family Manufactured Home
South	SF-1	Single Family Detached Residential
West	PD-336	Single Family Detached Residential
East	A	Single Family Detached Residential

## **HISTORY:**

- February 28, 1994: The Planning and Zoning Commission approved the Final Plat for Lot 1, Block 1, Paris Addition (Case Number P940204).
- July 18, 2017: City Council approved a Zoning Change and Concept Plan (Case Number Z170702) creating Planned Development District-363 for single family detached use.
- November 6, 2017: The Planning and Zoning Commission approved a Preliminary Plat (Case Number P171102) for Scanio Falls (now Clear Lake).

## **PLAT FEATURES:**

The proposed subdivision will have two points of access from Seeton Rd. The Final Plat depicts internal streets that will provide access to individual lots. The plat depicts the necessary utility easements and wall maintenance easements.

The Final Plat includes four open space lots. Maintenance of these lots along with perimeter landscaping, screening walls, and entry features will be the responsibility of a mandatory homeowners association (HOA).

The property is zoned PD-363 for single family residential use. The following table summarizes the density and dimensional requirements. The Final Plat meets these requirements.

**Table 2: Summary of Requirements**

Standard	Required
Min. Lot Area (Sq. Ft.)	7,200
Min. Lot Width (Ft.)	60
Min. Lot Depth (Ft.)	110
Front Setback (Ft.)	20
Rear Setback (Ft.)	10

## **RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval with the following condition:

- Prior to submitting the plat for final signatures and filing the plat with the county, the applicant shall obtain City Council approval for the right-of-way abandonment depicted on the plat.



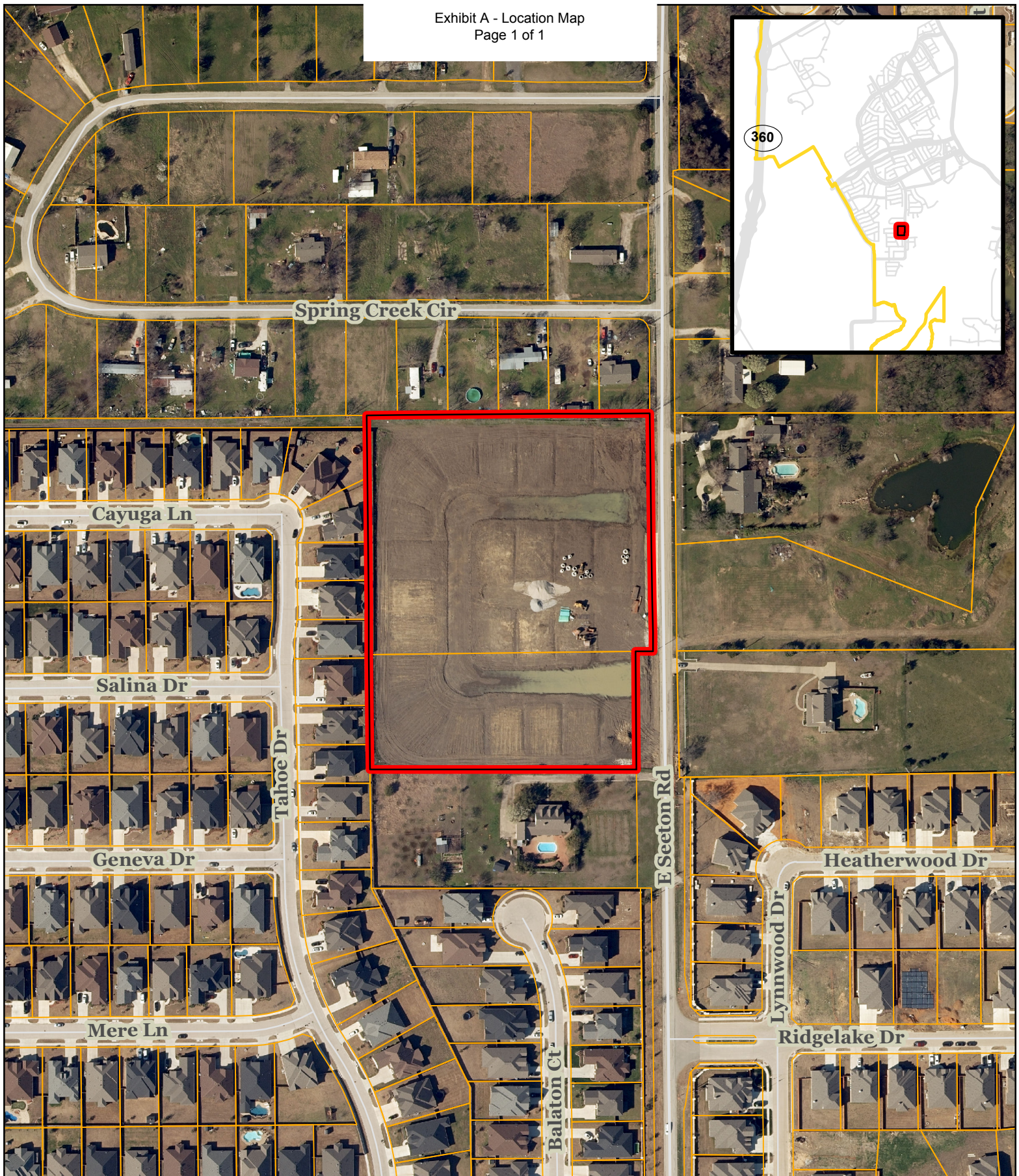
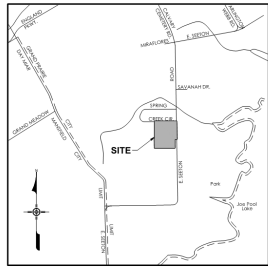




Exhibit B - Final Plat  
Page 1 of 2



VICINITY MAP  
NOT TO SCALE  
FT. WORTH MAPSCO NO. 126L

**LEGEND**

RF	IRON ROD FOUND
PKF	PK NAIL FOUND
CRF	CAPPED IRON ROD FOUND
CIRS	5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET
MAG	MAG NAIL WITH WASHER STAMPED "STANTEC" SET
D.R.T.C.T.	DEED RECORDS TARRANT COUNTY, TEXAS
P.R.T.C.T.	PLAT RECORDS TARRANT COUNTY, TEXAS
O.P.R.T.C.T.	OFFICIAL PUBLIC RECORDS TARRANT COUNTY, TEXAS
(CW)	CONTROLLING WORKMENT
POB	POINT OF BEGINNING
VOL., PG.	VOLUME, PAGE
INST. NO.	INSTRUMENT NUMBER
AC.	ACRE
SF	SQUARE FEET
B.L.	BUILDING LINE
TY	TYPICAL
R.O.W.	RIGHT-OF-WAY
W.M.L.E.	WALL MAINTENANCE AND LANDSCAPE EASEMENT
B.L.	BUILDING LINE
L.B.	LANDSCAPE BUFFER
V.E.	VEHICULAR EASEMENT
U.E.	UTILITY EASEMENT
+	DENOTES STREET NAME CHANGE
(A)	BLOCK LETTER

**BLOCK A LOT AREA**

LOT #	SQUARE FEET	ACRES	LOT WIDTH AT 20' SETBACK
1	7,797	0.1790	65.00'
2	7,831	0.1821	65.14'
3	8,130	0.1864	65.02'
4	7,871	0.1807	68.60'
5	9,395	0.2157	60.00'
6	13,766	0.3160	60.00'
7	7,247	0.1664	60.00'
8	7,774	0.1785	67.63'
9	7,860	0.1791	65.00'
10	7,704	0.1768	68.38'
11	8,408	0.1930	60.00'
12	14,469	0.3332	60.00'
13	8,381	0.1924	60.00'
14	8,013	0.1839	68.36'
15	8,113	0.1863	65.04'
16	7,908	0.1815	65.12'
17	7,750	0.1779	65.00'

**BLOCK B LOT AREA**

LOT #	SQUARE FEET	ACRES	LOT WIDTH AT 20' SETBACK
1	7,594	0.1743	65.00'
2	7,735	0.1776	65.14'
3	7,832	0.1821	65.03'
4	7,945	0.1824	60.00'
5	9,118	0.2093	60.00'
6	7,936	0.1822	65.02'
7	7,754	0.1780	65.15'
8	7,860	0.1791	65.00'
9	7,704	0.1768	68.38'
10	8,408	0.1930	60.00'
11	14,469	0.3332	60.00'
12	8,381	0.1924	60.00'
13	8,013	0.1839	68.36'
14	8,113	0.1863	65.04'
15	7,908	0.1815	65.12'
16	7,750	0.1779	65.00'

**HOA LOT AREA**

LOT #	SQUARE FEET	ACRES
LOT 9B BLOCK B	4,993	0.1146
LOT 10A BLOCK B	1,174	0.0269
LOT 18A BLOCK A	2,341	0.0537
LOT 19A BLOCK A	1,574	0.0361

HOA LOTS SHOWN HEREON ARE ALSO  
DEDICATED AS OPEN SPACE, UTILITY AND  
DRAINAGE EASEMENT



**GENERAL NOTES**

- BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS STATE PLANE COORDINATE SYSTEM (NORTH CENTRAL ZONE, NAD 83) BASED ON LEICA GEOSYSTEMS NORTH TEXAS SMARTNET NETWORK. DISTANCES ADJUSTED TO SURFACE USING AN AVERAGE COMBINED SCALE FACTOR OF 0.99988004.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100 YEAR FLOODPLAIN PER PANEL NO. 48439C045K, TARRANT COUNTY, DATED SEPTEMBER 25, 2009.
- BASED ON THE CITY OF GRAND PRAIRIE'S INTERACTIVE MAP, THE SUBJECT TRACT OF LAND IS CURRENTLY WITHIN THE PLANNED DEVELOPMENT DISTRICT FOR SINGLE FAMILY DETACHED RESIDENTIAL USAGE PER ORDINANCE NUMBER 10300-2017. THIS ZONING STATEMENT SHALL NOT CREATE LIABILITY UPON THE SURVEYOR.
- ZONING CLASSIFICATION INDICATED ON THIS PLAT, PD #363, REFLECTS THE ZONING IN PLACE AT THE TIME THIS PLAT WAS APPROVED AND DOES NOT REPRESENT A VESTED RIGHT TO THE ZONING INDICATED.
- EXISTING OR FUTURE MINIMUM SET-BACKS ESTABLISHED BY CITY ORDINANCE SHALL TAKE PRECEDENCE OVER BUILDING LINES INDICATED ON THIS PLAT.
- OPEN SPACE LOTS (LOTS 18A & 19A, BLOCK A, LOTS 9B & 10A, BLOCK B) SHALL BE MAINTAINED BY THE HOA. THE CITY OF GRAND PRAIRIE IS NOT RESPONSIBLE FOR MAINTENANCE OF OPEN SPACE LOTS.
- THE TOTAL AREA DEVOTED TO RIGHT-OF-WAY IS 11,873 SQUARE FEET.
- NET SUBDIVISION DENSITY IS 3.8 RESIDENTIAL LOTS PER ACRE.

**LINE TABLE**

LINE #	BEARING	DISTANCE
L1	N 45°17'14" W	32.91'
L2	N 89°52'22" W	2.62'
L3	S 89°52'22" W	63.14'
L4	S 89°52'22" W	2.42'
L5	N 86°11'48" W	62.73'
L6	N 86°11'48" W	12.44'
L7	S 44°56'56" W	14.13'
L8	S 45°10'13" E	14.13'
L9	N 85°58'02" E	8.96'
L10	N 85°58'02" E	65.15'
L11	N 85°58'02" E	1.40'
L12	N 89°47'03" E	63.54'
L13	N 44°36'37" E	0.09'
L14	S 44°36'37" E	35.15'
L15	S 45°23'23" E	35.46'
L16	S 89°47'03" W	54.94'

**LINE TABLE**

LINE #	BEARING	DISTANCE
L17	S 89°47'03" W	8.52'
L18	N 86°24'19" W	56.61'
L19	N 86°24'19" W	18.63'
L20	N 86°10'31" E	12.35'
L21	N 86°10'31" E	62.82'
L22	N 89°52'22" E	2.32'
L23	N 89°52'22" E	62.86'
L24	N 44°42'46" E	3.32'
L25	N 44°42'46" E	31.87'
L26	N 05°57'47" E	51.08'
L27	N 07°04'33" W	51.19'
L28	S 05°57'38" W	51.10'
L29	S 00°33'49" E	95.00'
L30	N 02°12'57" W	110.00'
L31	N 07°04'44" W	51.17'

**CURVE TABLE**

CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	BEARING
C1	78.64'	50.00'	90°05'51"	70.78'	S 44°56'56" W
C2	78.62'	50.00'	90°05'28"	70.77'	S 45°10'13" E
C3	191.64'	62.00'	177°06'08"	123.96'	S 44°56'56" W
C4	191.63'	62.00'	177°05'41"	123.96'	S 45°10'13" E

**Preliminary**  
This document shall not be  
recorded for any purpose and shall  
not be used or viewed or relied  
upon as a final survey document  
For Review Purposes Only  
Michael J. Murphy, R.P.L.S.  
Registration No. 9724  
January 15, 2020

**FINAL PLAT**  
**CLEAR LAKE ADDITION**  
**LOTS 1 - 17, 18A AND 19A, BLOCK A AND**  
**LOTS 1 - 8, 9A, AND 10A, BLOCK B,**  
**(4 OPEN SPACE LOTS AND 25 RESIDENTIAL LOTS)**  
REPLAT OF A PORTION OF LOT 1, BLOCK 1, PARIS ADDITION  
RECORDED IN CABINET A, SLIDE 1712.  
PLAT RECORDS OF TARRANT COUNTY, TEXAS  
BEING ALL OF A 4.464 AND 2.10 ACRE TRACT OF LAND SITUATED IN THE  
CAROLINE M. ADAMS SURVEY, TARRANT COUNTY, TEXAS  
29 LOTS - 6.623 ACRES  
CASE NUMBER P180203  
JANUARY 15, 2020

**APPLICANT/OWNER**  
SCANDIO FALLS LOT VENTURE, LTD  
8214 WESTCHESTER DRIVE, SUITE 200  
DALLAS, TEXAS 75225  
PH: (214) 888-8859  
CONTACT: MICHAEL J. MURPHY, R.P.L.S.  
TBPELS #10194488

**SURVEYOR**  
STANTEC CONSULTING SERVICES INC.  
6880 DENVER DRIVE, SUITE 200  
DALLAS, TEXAS 75224  
PH: (214) 473-2453  
CONTACT: MICHAEL J. MURPHY, R.P.L.S.  
TBPELS #10194488



STANTEC PROJECT NO. 222210722

V:\2222\active\222210722\Survey\10722c\_b.dwg modified by geley on Jan 15, 2022 10:22 PM

OWNERS CERTIFICATE

STATE OF TEXAS §

COUNTY OF TARRANT §

WHEREAS, SCANO FALLS LOT VENTURE, LTD. IS THE OWNER OF A 6.623 ACRE (288,510 SQUARE FOOT) TRACT OF LAND SITUATED IN THE CAROLINE M. ADAMS SURVEY, ABSTRACT NO. 38, CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS, AND BEING A PORTION OF LOT 1, BLOCK 1, PARIS ADDITION, AN ADDITION TO THE CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET A, SLIDE 1712; PLAT RECORDS OF TARRANT COUNTY, TEXAS, (P.R.T.C.T.) AND BEING ALL OF A CALLED 2.10 ACRE TRACT OF LAND DESCRIBED IN THE GENERAL WARRANTY DEED TO SCANO FALLS LOT VENTURE, LTD. RECORDED IN INSTRUMENT NUMBER 0217174601, O.P.R.T.C.T., AND BEING ALL OF A CALLED 4.464 ACRE TRACT OF LAND DESCRIBED IN THE GENERAL WARRANTY DEED TO SCANO FALLS LOT VENTURE, LTD. RECORDED IN INSTRUMENT NUMBER 0217174602, O.P.R.T.C.T., SAID 6.623 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JB" FOUND FOR THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1, ALSO BEING THE NORTHWEST CORNER OF SAID 2.10 ACRE TRACT AND BEING IN THE EAST LINE OF LAKEVIEW WEST ADDITION SECTION 2, PHASE 2, AN ADDITION TO THE CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 0215274510, P.R.T.C.T.,

THENCE NORTH 89°51'38" EAST ALONG THE COMMON LINE OF SAID LOT 1, BLOCK 1 AND SAID LAKEVIEW WEST ADDITION A DISTANCE OF 5.57 FEET TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED JB FOUND FOR THE SOUTHWEST CORNER OF SAID 4.464 ACRE TRACT;

THENCE NORTH 00°07'29" WEST ALONG THE COMMON LINE OF SAID LAKEVIEW WEST ADDITION AND SAID 4.464 ACRE TRACT A DISTANCE OF 196.11 FEET TO A 1/2-INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID 4.464 ACRE TRACT ALSO BEING THE NORTHEAST CORNER OF SAID LAKEVIEW WEST ADDITION SAME BEING IN THE SOUTH LINE OF SPRING CREEK MOBILE ESTATES, AN UNRECORDED SUBDIVISION;

THENCE NORTH 89°59'22" EAST, ALONG THE COMMON LINE OF SAID 4.464 ACRE TRACT AND SAID SPRING CREEK MOBILE ESTATES, A DISTANCE OF 491.77 FEET TO A POINT FOR CORNER IN THE APPROXIMATE CENTER LINE OF SEETON ROAD (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) FROM WHICH A P.K. NAIL FOUND FOR THE NORTHEAST CORNER OF SAID 4.464 ACRE TRACT BEARS SOUTH 89°08' WEST, A DISTANCE OF 2.50 FEET;

THENCE SOUTH 00°33'49" EAST, ALONG THE APPROXIMATE CENTERLINE OF SAID SEETON ROAD, AND THE EAST LINE OF SAID 4.464 ACRE TRACT, A DISTANCE OF 395.05 FEET TO A POINT FOR CORNER FROM WHICH A P.K. NAIL FOUND FOR THE SOUTHEAST CORNER OF SAID 4.464 ACRE TRACT BEARS SOUTH 89°32' WEST, A DISTANCE OF 0.40 FEET;

THENCE SOUTH 89°51'38" WEST, ALONG THE SOUTH LINE OF SAID 4.464 ACRE TRACT A DISTANCE OF 30.00 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER IN THE WEST RIGHT-OF-WAY LINE OF SAID SEETON ROAD;

THENCE SOUTH 00°33'49" EAST, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID SEETON ROAD, A DISTANCE OF 198.51 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOR CORNER;

THENCE SOUTH 89°47'03" WEST, ALONG THE SOUTH LINE OF SAID 2.10 ACRE TRACT A DISTANCE OF 459.08 FEET TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "STANTEC" SET FOUND FOR THE SOUTHWEST CORNER OF SAID 2.10 ACRE TRACT SAME BEING IN THE WEST LINE OF SAID LOT 1, BLOCK A;

THENCE NORTH 00°55'53" WEST ALONG THE WEST LINE OF SAID LOT 1, BLOCK A, A DISTANCE OF 198.15 FEET TO THE POINT OF BEGINNING;

CONTAINING A COMPUTED AREA OF 288,510 SQUARE FEET OR 6.523 ACRES OF LAND, MORE OR LESS.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT **SCANO FALLS LOT VENTURE, LTD.** DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS **CLEAR LAKE ADDITION**, AN ADDITION TO THE CITY OF GRAND PRAIRIE, TEXAS, AND DOES HEREBY DEDICATE TO THE CITY OF GRAND PRAIRIE IN FEE SIMPLE FOREVER THE STREETS, ALLEYS AND STORM WATER MANAGEMENT AREAS SHOWN THEREON. THE EASEMENTS SHOWN THEREON ARE HEREBY DEDICATED AND RESERVED FOR THE PURPOSES AS INDICATED. THE UTILITY ACCESS, AND FIRE LINE EASEMENTS SHALL BE OPEN TO THE PUBLIC AND PRIVATE UTILITIES FOR EACH PARTICULAR USE. THE MAINTENANCE OF PAVING ON THE UTILITY ACCESS, AND FIRE LINE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. NO BUILDINGS OR OTHER IMPROVEMENTS, INCLUDING FENCES, SHALL BE PERMITTED IN AN EROSION HAZARD EASEMENT, NO BUILDINGS OR OTHER IMPROVEMENTS OR GROWTHS, EXCEPT FENCES, VEGETATION, DRIVEWAYS, AND SIDEWALKS LESS THAN 6 FEET IN WIDTH SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN EXCEPT AS PERMITTED BY CITY ORDINANCES. NO IMPROVEMENTS THAT MAY OBSTRUCT THE FLOW OF WATER MAY BE CONSTRUCTED OR PLACED IN DRAINAGE EASEMENTS. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF THE ENCROACHMENTS ALLOWED ABOVE WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM ON THE EASEMENTS, AND ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM AND UPON THE THE SAID EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE AND SERVICE REQUIRED OR ORDINARILY PERFORMED BY THAT UTILITY.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCE, RULES, REGULATIONS AND RESOLUTIONS OF THE CITY OF GRAND PRAIRIE, TEXAS.

BY: \_\_\_\_\_  
NAME

STATE OF TEXAS §

COUNTY OF \_\_\_\_\_ §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICK DARRAGH, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_

SURVEYOR'S STATEMENT:

I, MICHAEL J. MURPHY, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF TEXAS, AFFIRM THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, FROM RECORDED DOCUMENTATION, EVIDENCE COLLECTED ON THE GROUND DURING FIELD OPERATIONS AND OTHER RELIABLE DOCUMENTATION; AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE RULES AND REGULATIONS OF THE CITY OF GRAND PRAIRIE DEVELOPMENT CODE.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

MICHAEL J. MURPHY, R.P.L.S.  
TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5724

**Preliminary**  
This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document  
**For Review Purposes Only**  
Michael J. Murphy, R.P.L.S.  
Registration No. 5724  
January 15, 2020

STATE OF TEXAS §

COUNTY OF DALLAS §

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED JAMES M. WITTRANACK, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE THEREIN EXPRESSED AND UNDER OATH STATED THE THE STATEMENTS IN THE FOREGOING CERTIFICATE ARE TRUE.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS \_\_\_\_\_

FINAL PLAT  
CLEAR LAKE ADDITION

LOTS 1 - 17, 18X AND 19X, BLOCK A AND  
LOTS 1 - 8, 9X, AND 10X, BLOCK B,

(4 OPEN SPACE LOTS AND 25 RESIDENTIAL LOTS)  
REPLAT OF A PORTION OF LOT 1, BLOCK 1, PARIS ADDITION  
RECORDED IN CABINET A, SLIDE 1712,  
PLAT RECORDS OF TARRANT COUNTY, TEXAS

BEING ALL OF A 4.464 AND 2.10 ACRE TRACT OF LAND SITUATED IN THE  
CAROLINE M. ADAMS SURVEY, ABSTRACT NO. 38  
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

28 LOTS 6.623 ACRES  
CASE NUMBER F180203

JANUARY 15, 2020

SHEET 2 OF 2



STANTEC PROJECT NO. 222210722

**APELAGANT/OWNER**  
SCANO FALLS LOT VENTURE, LTD.  
8214 WESTCHESTER DRIVE, SUITE 710  
DALLAS, TEXAS 75225  
PH: (214) 888-8859  
CONTACT: RICK DARRAGH

**SURVEYOR**  
STANTEC CONSULTING SERVICES INC.  
6080 TENNYSON PKWY, SUITE 200  
PLANO, TEXAS 75024  
PH: (214) 473-2463  
CONTACT: MICHAEL J. MURPHY, R.P.L.S.  
TPELS: #01044488



## Legislation Details (With Text)

<b>File #:</b>	20-9731	<b>Version:</b>	1	<b>Name:</b>	P190702 - Granados Park, Lots 1 & 2, Block A
<b>Type:</b>	Agenda Item	<b>Status:</b>		<b>Status:</b>	Consent Agenda
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	P190702 - Minor Subdivision Plat - Granados Park, Lots 1 & 2, Block A (Commissioner Fisher/City Council District 1). Final Plat of a 1.091 acre property into two lots in the John C. Read Abstract No. 1183, Dallas County, Texas. Zoned PD-338 within the SH-161 Corridor Overlay, generally located on the north side of Parker road, approximately 270-feet west of Hardrock Road and addressed as 1214 Parker Road, Grand Prairie, Texas. The owner is Jose Granados.				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A - Location Map](#)  
[Exhibit B - Final Plat](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

P190702 - Minor Subdivision Plat - Granados Park, Lots 1 & 2, Block A (Commissioner Fisher/City Council District 1). Final Plat of a 1.091 acre property into two lots in the John C. Read Abstract No. 1183, Dallas County, Texas. Zoned PD-338 within the SH-161 Corridor Overlay, generally located on the north side of Parker road, approximately 270-feet west of Hardrock Road and addressed as 1214 Parker Road, Grand Prairie, Texas. The owner is Jose Granados.

### Presenter

David P. Jones, AICP, Chief City Planner

### Recommended Action

Approve

### Analysis

#### SUMMARY:

Final Plat for Granados Park, Lots 1 & 2, Block A. The plat is 1.091 acres out of the John C. Read Abstract No. 1183, Dallas County, Texas. The property is generally located on the north side of Parker road, approximately 270-feet west of Hardrock Road. It is located at the address 1214 Parker Road.

#### PURPOSE OF REQUEST:

The purpose of the Final Plat is to create two 0.5 acre lots for a commercial development. The applicant has stated they intend to construct a single office building on each lot. Because the property lies within the SH-161

Corridor Overlay, any building construction will require site plan approval.

### **ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Zoning and Land Use**

Direction	Zoning	Existing Use
North	SF-1	Undeveloped Single-Family Resider
East	SF-1	Single-Family Residential Use
South	LI	Undeveloped Light Industrial
West	SF-1	Single-Family Residential Use

### **HISTORY:**

- October 16, 2012: Planned Development No. 338 was approved for this property by City Council to allow it to be developed in accordance with the LI, Light Industrial District standards.

### **PLAT FEATURES:**

The plat depicts the necessary utility easements, access easements, and floodplain. The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code (UDC). The following table summarizes these requirements. The proposal meets the density and dimensional requirements.

**Table 2: Site Data Summary**

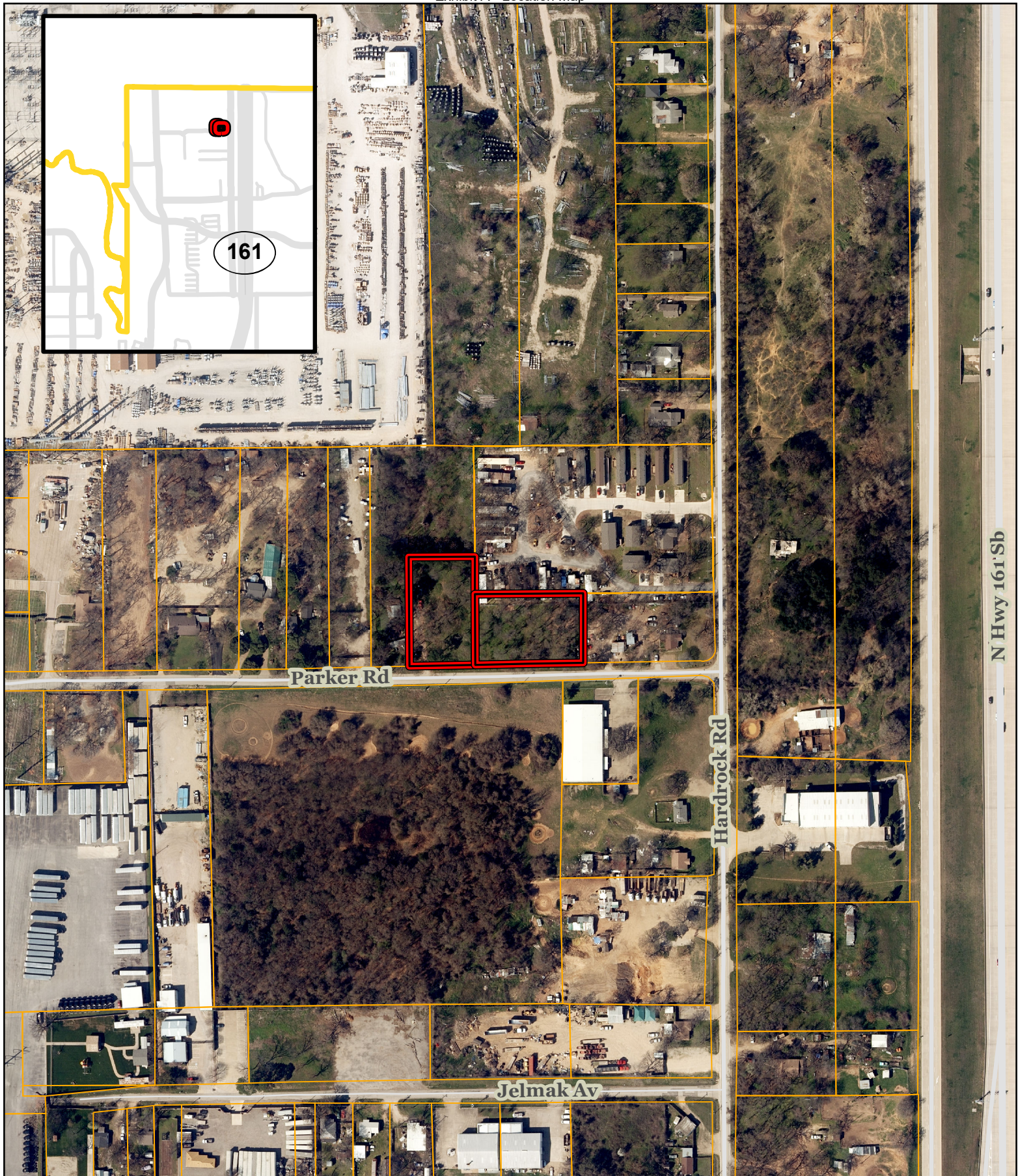
Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	15,000	22,524	Yes
Min. Lot Width (Ft.)	100	100	Yes
Min. Lot Depth (Ft.)	150	200	Yes
Front Setback (Ft.)	25	25	Yes

### **RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval.



Exhibit A - Location Map



CASE LOCATION MAP  
Case Number P190702  
**Granados Park, Lots 1 & 2, Block A**



City of Grand Prairie  
Development Services

☎ (972) 237-8255  
🌐 [www.gptx.org](http://www.gptx.org)









## Legislation Details (With Text)

**File #:** 20-9732      **Version:** 1      **Name:** P191003 - Creekside at Grand Prairie Addition  
**Type:** Agenda Item      **Status:** Consent Agenda  
**File created:** 1/23/2020      **In control:** Planning and Zoning Commission  
**On agenda:** 2/3/2020      **Final action:**  
**Title:** P191003 - Final Plat - Creekside at Grand Prairie Addition (Commissioner Spare/City Council District 6). Final Plat of Lot 1, Block 1, Creekside at Grand Prairie Addition, 23.39 acres out of the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas. Zoned PD-378 within the IH-20 Corridor Overlay, southwest of the intersection of S Great Southwest Pkwy. and Bardin Rd. and north of the Willis Branch of Fish Creek.

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit B - Final Plat](#)  
[Exhibit A - Location Map](#)  
[Exhibit i - Preliminary Plat](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

P191003 - Final Plat - Creekside at Grand Prairie Addition (Commissioner Spare/City Council District 6). Final Plat of Lot 1, Block 1, Creekside at Grand Prairie Addition, 23.39 acres out of the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas. Zoned PD-378 within the IH-20 Corridor Overlay, southwest of the intersection of S Great Southwest Pkwy. and Bardin Rd. and north of the Willis Branch of Fish Creek.

### Presenter

David P. Jones, AICP, Chief City Planner

### Recommended Action

Approve

### Analysis

### SUMMARY:

Final Plat of Lot 1, Block 1, Creekside at Grand Prairie Addition, 23.39 acres out of the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas. Zoned PD-378 within the IH-20 Corridor Overlay, southwest of the intersection of S Great Southwest Pkwy. and Bardin Rd. and north of the Willis Branch of Fish Creek.

## **PURPOSE OF REQUEST:**

The purpose of the Final Plat is to create a single 23.39 acre lot for multi-family development.

## **ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Zoning and Land Use**

Direction	Zoning	Existing Use
North	PD-250	Commercial Retail
East	PD-372; PD-30	Industrial Metal Stamping and Fabric
South	PD-50	Single-Family Residential Use
West	PD-30; PD-44	Undeveloped; Bank; Retail

## **HISTORY:**

- June 19, 2018 City Council approved Planned Development No. 378 (Lux Grand Prairie) consisting of Multi-Family uses.
- July 2, 2018 the Planning and Zoning Commission approved a Preliminary Plat for Lots 1 and 2, Block 1, MSC GSW Bardin Addition, which included the subject property.

## **PLAT FEATURES:**

The plat depicts the necessary utility easements, access easements, and floodplain. The property is subject to density and dimensional requirements in Article 6 of the Unified Development Code (UDC). The following table summarizes these requirements. The proposal meets the density and dimensional requirements of PD-378.

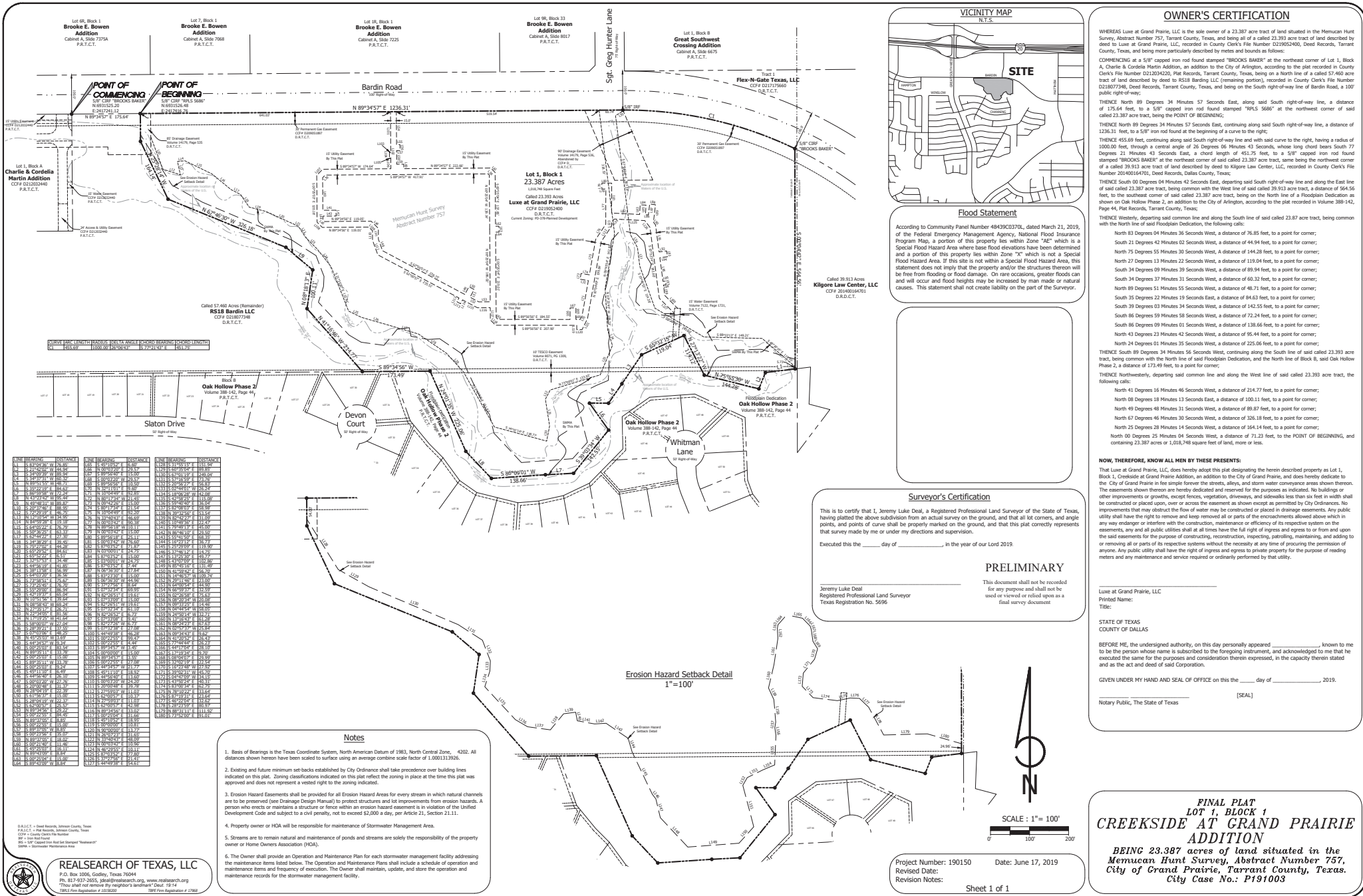
**Table 2: Site Data Summary**

Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	12,000	1,018,748	Yes
Min. Lot Width (Ft.)	100	1,690	Yes
Min. Lot Depth (Ft.)	120	564	Yes
Min. Front Setback (Ft.)	30	30	Yes
Min. Side/Rear Setback (F15)		15	Yes

## **RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval with the condition that engineering plans (X2019-26) be approved prior to filing.

Exhibit B - Final Plat

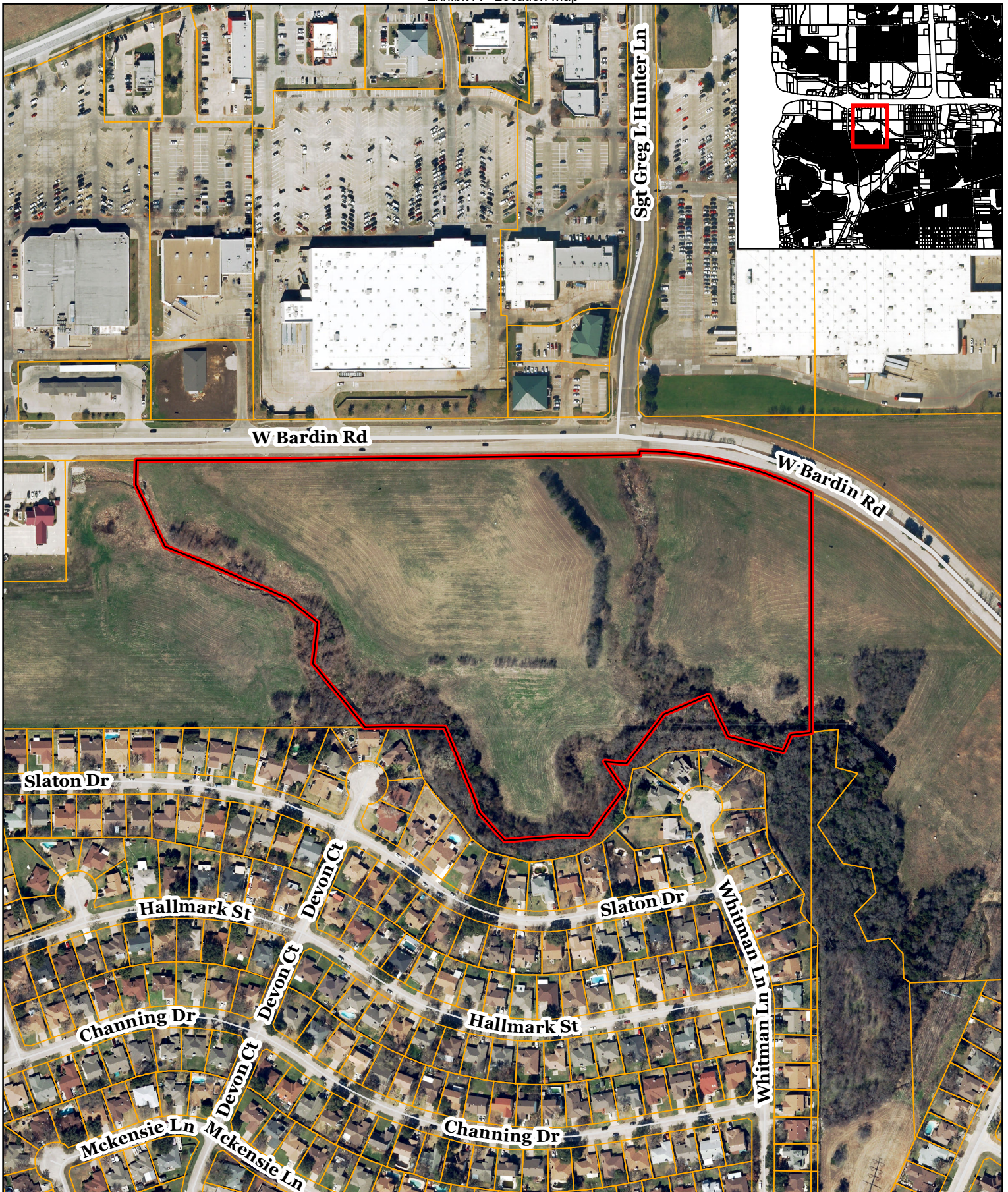


REALSEARCH OF TEXAS, LLC  
P.O. Box 1006, Godley, Texas 76044  
Ph: 817.937.2655, info@realsearch.com, www.realsearch.com  
"This shall not remove my neighbor's boundary" Code: 19-14  
1983 Texas Registration # 133550 1987 Texas Registration # 1298

- Notes**
1. Basis of Bearings is the Texas Coordinate System, North American Datum of 1983, North Central Zone, -4202. All distances shown herein have been scaled to surface using an average combine scale factor of 1.000113926.
  2. Existing and future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat. Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
  3. Erosion Hazard Easements shall be provided for all Erosion Hazard Areas for every stream in which natural channels are to be preserved (see Drainage Design Manual) to protect structures and lot improvements from erosion hazards. A person who erects or maintains a structure or fence within an erosion hazard easement in violation of the Unified Development Code and subject to a civil penalty, not to exceed \$2,000 a day, per Article 21, Section 21.11.
  4. Property owner or HOA will be responsible for maintenance of Stormwater Management Area.
  5. Streams are to remain natural and maintenance of ponds and streams are solely the responsibility of the property owner or Home Owners Association (HOA).
  6. The Owner shall provide an Operation and Maintenance Plan for each stormwater management facility addressing the maintenance items listed below. The Operation and Maintenance Plans shall include a schedule of operation and maintenance items and frequency of execution. The Owner shall maintain, update, and store the operation and maintenance records for the stormwater management facility.

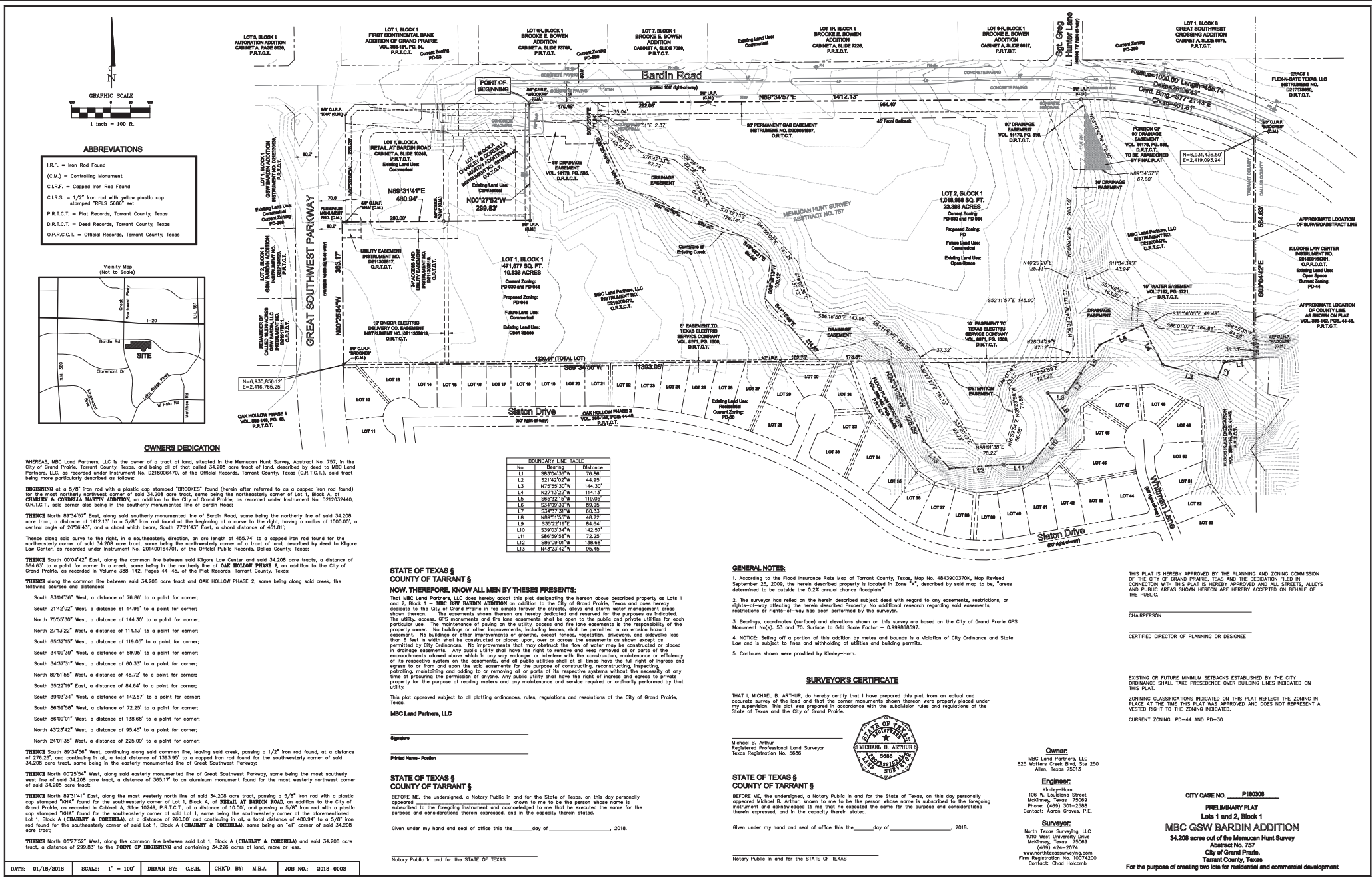
**FINAL PLAT**  
**LOT 1, BLOCK 1**  
**CREEKSIDE AT GRAND PRAIRIE**  
**ADDITION**  
**BEING 23.387 acres of land situated in the**  
**Memo Hunt Survey, Abstract Number 757,**  
**City of Grand Prairie, Tarrant County, Texas.**  
**City Case No.: P191003**







## Exhibit i - Preliminary Plat





## Legislation Details (With Text)

**File #:** 20-9733      **Version:** 1      **Name:** P200105 - Hakemy Addition, Lots 1 and 2, Block A  
**Type:** Agenda Item      **Status:** Consent Agenda  
**File created:** 1/23/2020      **In control:** Planning and Zoning Commission  
**On agenda:** 2/3/2020      **Final action:**  
**Title:** P200105 - Final Plat - Hakemy Addition, Lots 1 and 2, Block A (Commissioner Carranza/City Council District 3). Final Plat for Lot 1 and Lot 2, Block A, Hakemy Addition to establishing two commercial lots. 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, Zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A - Location Map](#)  
[Exhibit B - Final Plat](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

P200105 - Final Plat - Hakemy Addition, Lots 1 and 2, Block A (Commissioner Carranza/City Council District 3). Final Plat for Lot 1 and Lot 2, Block A, Hakemy Addition to establishing two commercial lots. 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, Zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.

### Presenter

Charles H. Lee, AICP, Senior Planner

### Recommended Action

Approve

### Analysis

### SUMMARY:

Final Plat for Hakemy Addition, Block A, Los 1 & 2. Being 2.98 acres of land situated in the M.W. Allen Survey, Abstract No. 9, City of Grand Prairie, Tarrant County, Texas, zoned GR, generally located northeast of S. Belt line Road and E. Pioneer Parkway, just south of Lakeview Drive. The property is specifically addressed at 910 Pioneer Parkway.

### PURPOSE OF THE REQUEST:

The purpose of the request is to create two commercial lots on 2.98 acres and establish utility and access easements to accommodate the proposed development on Lot 1. A site plan is on the current agenda for Lot 1 (S200102) for consideration of a retail building.

### **ADJACENT LAND USES AND ACCESS:**

**Table 1: Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	PD-75	Residential (Cinnamon Ridge)
South	GR	Commercial (KP) Shopping Center
West	GR	Restaurant Burger King
East	GR	Restaurant Waffle House

### **ZONING REQUIREMENTS:**

The subject property is zoned GR. The following table evaluates the applicable density and dimensional requirements.

**Table 2: Density and Dimensional Requirements**

Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	5,000	47,173	Yes
Min. Lot Width (Ft.)	50	197	Yes
Min. Lot Depth (Ft.)	100	285	Yes
Front Setback (Ft.)	25	92	Yes

### **PLAT FEATURES:**

The plat establishes property boundaries, wall maintenance easements, utility (existing & proposed) and mutual access easements to accommodate the development of both properties.

### **RECOMMENDATION:**

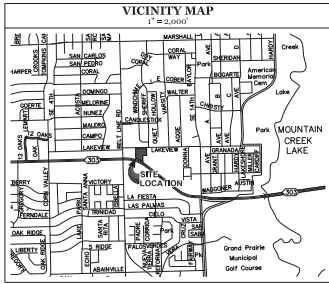
The Development Review Committee (DRC) recommends approval.







# Exhibit B - Final Plat



## GENERAL NOTES

- The purpose of this plat is to create two (2) official lots of record from a tract of land and to dedicate easements for site development.
- This property is located in "Non-shaded Zone X" according to the F.E.M.A. Flood Insurance Rate Map dated March 21, 2019 as shown on Map Number 48113C0455M.
- The grid coordinates shown on this plat are based on GPS observations utilizing the AirForce RTHNET Cooperative network, NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The bearings shown on this plat are based on GPS observations utilizing the AirForce RTHNET Cooperative network, NAD 83(2011) Datum.
- Existing or future minimum setbacks established by City Ordinance shall take precedence over building lines indicated on this plat.
- Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.

LINE	BEARING	DISTANCE
L1	N 00°26'54" W	103.41'
L2	N 89°39'06" E	95.00'
L3	N 00°26'54" W	151.99'
L4	N 30°08'28" W	15.33'
L5	N 89°16'55" E	36.38'
L6	S 00°20'54" E	152.88'
L7	S 89°39'06" W	43.00'
L8	S 00°20'54" E	88.91'
L9	N 89°39'06" E	18.50'
L10	S 00°20'54" E	10.00'
L11	S 89°39'06" W	18.50'
L12	N 00°26'54" W	10.00'
L13	N 89°39'06" E	94.58'
L14	N 00°24'08" E	10.00'
L15	S 89°39'06" W	108.96'
L16	N 89°39'06" E	24.74'
L17	N 44°43'23" E	14.14'
L18	N 00°24'08" W	32.74'
L19	S 89°39'06" W	23.11'
L20	N 89°16'55" E	77.82'
L21	N 00°20'54" W	28.50'
L22	N 89°35'52" E	24.00'
L23	S 00°20'54" E	28.52'
L24	S 89°39'06" W	24.00'

## LEGEND

PG = PAGE  
VOL = VOLUME  
POB = POINT OF BEGINNING  
RIF = IRON ROD FOUND  
CRIF = CAPPED IRON ROD FOUND  
DOC. NO. = DOCUMENT NUMBER  
D.R.D.C.T. = DEED RECORD  
DALLAS COUNTY, TEXAS  
O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS  
DALLAS COUNTY, TEXAS

Project

1907.053-02

Date

01/24/2020

Drafter

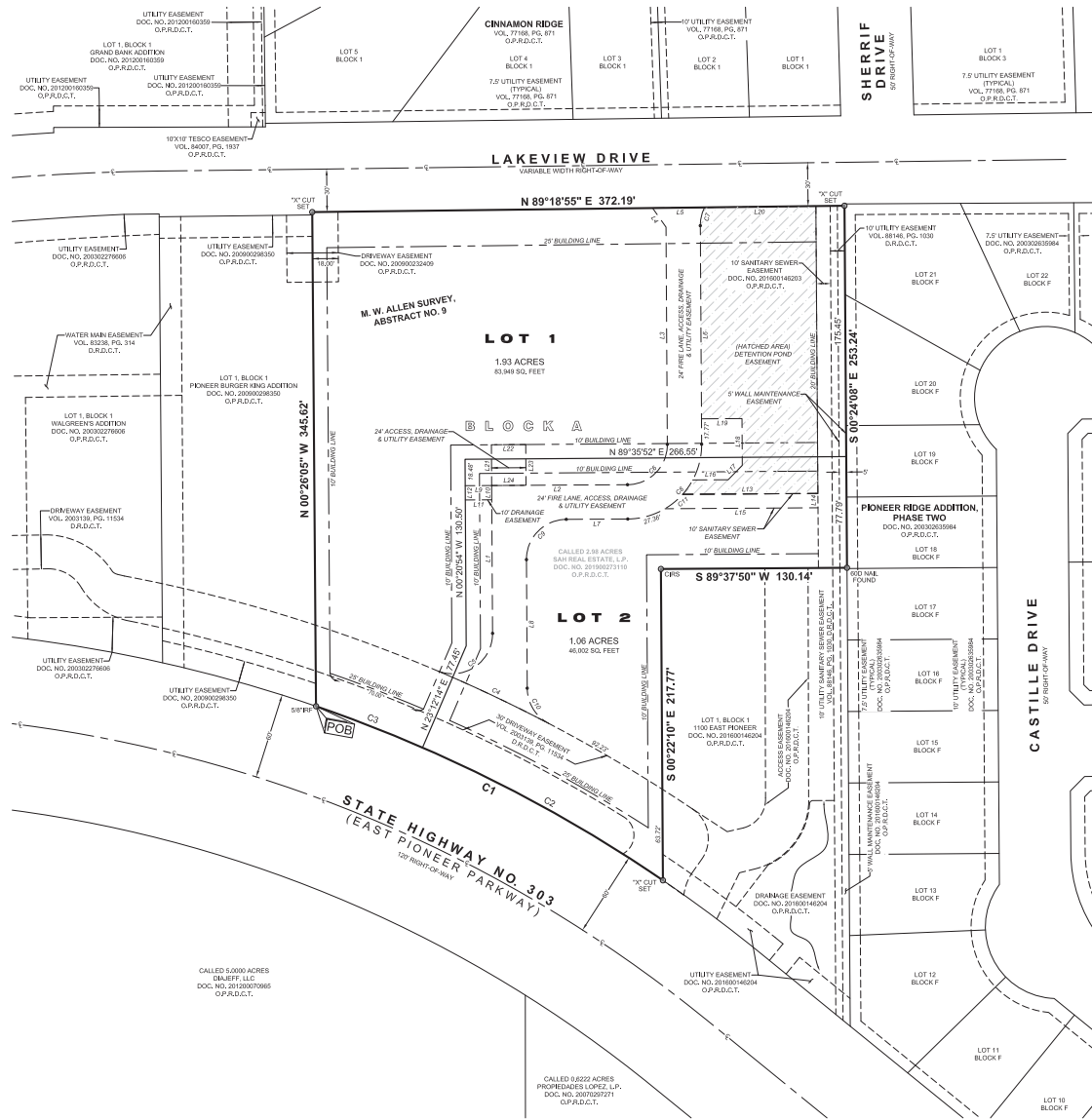
JDC

**EAGLE SURVEYING, LLC**  
210 S. Elm Street, Suite: 104  
Denton, TX 76201  
(940) 222-3009  
TX Firm #10194177

**SURVEYOR**  
Eagle Surveying, LLC  
Contact: John Cox  
210 S. Elm Street, Suite: 104  
Denton, TX 76201  
(940) 222-3009

**ENGINEER**  
Thomas Site Development Engineering, Inc.  
Contact: Matthew Thomas  
2004 Bedford Road, Suite: 200  
Bedford, TX 76021  
(214) 680-2728

**OWNER**  
SAH Real Estate, L.P.  
Contact: Shafr Ahmed Hakemy  
2331 W. Northwest Hwy., Suite: 201  
Dallas, TX 75220  
(469) 541-0702



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	272.28'	1014.93'	10°51'21"	N 81°05'10" W	192.01'
C2	192.37'	1014.93'	4°30'49"	N 89°48'15" W	79.93'
C4	89.41'	1067.83'	4°34'28"	N 84°40'42" W	85.38'
C5	54.53'	28.08'	111°19'30"	N 55°18'51" E	46.38'
C6	43.98'	28.00'	89°50'05"	N 44°39'00" E	39.60'
C7	13.22'	28.00'	27°03'38"	S 13°10'55" W	13.10'
C8	81.68'	52.00'	90°00'00"	S 44°39'06" W	73.54'
C9	43.98'	28.00'	90°00'00"	S 44°39'06" W	39.60'
C10	30.11'	28.00'	61°38'44"	S 31°09'16" E	28.68'
C11	15.97'	52.00'	17°35'56"	N 50°42'18" E	15.97'

## CERTIFICATE OF APPROVAL

APPROVED by the City of Grand Prairie Planning and Zoning Commission on this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Joshua Spore  
Planning and Zoning Chairman

ATTEST:  
Development Services Director or Designee

## OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §  
COUNTY OF DALLAS §

WHEREAS, SAH REAL ESTATE, L.P., is the owner of a 2.98 acre tract of land situated in the M.W. ALLEN SURVEY, ABSTRACT NUMBER 9, City of Grand Prairie, Dallas County, Texas, being all of that called 2.98 acre tract of land conveyed by Special Warranty Deed to SAH Real Estate, L.P., recorded in Document Number 201900273110, Official Public Records of Dallas County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8" iron rod found at the Southwest corner of said SAH Real Estate tract, the common Southeast corner of Lot 1, Block 1, Pioneer Burger King Addition, recorded in Document Number 200902035950, Official Public Records of Dallas County, Texas and in the North Right-of-Way (R.O.W.) line of E. Pioneer Parkway (a variable width R.O.W.);

THENCE S 00°20'05" W, with the West line of said SAH Real Estate tract and the common East line of said Pioneer Burger King Addition, a distance of 345.62 feet to an "X" cut set at the Northwest corner of said SAH Real Estate tract and the common Northeast corner of said Pioneer Burger King Addition in the South R.O.W. of Lakewood Drive from which a 5/8" iron rod with cap stamped "DUNAWAY" found at the Northwest corner of said Pioneer Burger King Addition bears S 89°18'55" W, a distance of 107.02 feet;

THENCE N 89°18'55" E, with the North line of said SAH Real Estate tract and the common South R.O.W. line of said Lakewood Drive, a distance of 372.19 feet to an "X" cut set in a block fence column at the Northeast corner of said SAH Real Estate tract in the West line of Pioneer Ridge Addition, Phase Two, recorded in Document Number 200902035954, Official Public Records of Dallas County, Texas from which a 1/2" iron rod found at the Northwest corner of said Pioneer Ridge Addition, Phase Two bears N 00°24'08" W, a distance of 1.50 feet;

THENCE S 00°24'08" E, with the East line of said SAH Real Estate tract and the common West line of said Pioneer Ridge Addition, Phase Two, a distance of 253.24 feet to a 600' nail found at the Northeast corner of a tract of land described in deed to the Waifu House, Inc., recorded in Document Number 201600146332, Official Public Records of Dallas County, Texas;

THENCE S 89°37'50" W, with the North line of said Waifu House tract, a distance of 130.14 feet to a 1/2" iron rod with cap stamped "EAGLE SURVEYING" set at the Northwest corner of said Waifu House tract;

THENCE S 00°22'10" E, with the West line of said Waifu House tract, a distance of 217.77 feet to an "X" cut set in the South line of said SAH Real Estate tract same point being the Southwest corner of said Waifu House tract from which an "X" cut found at the Southwest corner of said Waifu House tract bears with a non-tangent curve to the right having a radius of 1041.93, a delta of 04°5'15", a chord bearing of S 53°13'42" E, a chord length of 86.05 feet and an arc length of 86.06 and S 50°50'44" E, a distance of 80.02 feet;

THENCE with the South line of said SAH Real Estate tract and the common North R.O.W. line of said E. Pioneer Parkway with a non-tangent curve to the left having a radius of 1041.93 feet, a delta angle of 15°22'10", a chord bearing of N 63°20'34" W, a chord length of 271.44', and an arc length of 272.25 feet to the POINT OF BEGINNING, and containing 2.98 acres of land, more or less.

## NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, SAH REAL ESTATE, L.P., does hereby adopt this plat designating the hereinabove described property as HAKEMY ADDITION and in addition to the City of Grand Prairie, Texas and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water conveyance areas shown therein. The easements shown therein are hereby dedicated and reserved for the purposes as indicated. The utility, access and the lane easements shall be open to the public and private utilities for each particular use. The maintenance of parking on the utility, access and the lane easements is the responsibility of the property owner. No buildings or other improvements, including fences, shall be permitted in an erosion hazard easement. No buildings or other improvements or growths, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

OWNER: SAH REAL ESTATE, L.P., a Texas limited partnership

BY: AH MANAGEMENT No. 5, LLC, a Texas limited liability company (its general partner)

BY: Shafr Ahmed Hakemy \_\_\_\_\_ Date \_\_\_\_\_  
President

STATE OF TEXAS §  
COUNTY OF §

BEFORE ME, the undersigned authority, on this day personally appeared SHAHR AHMED HAKEMY, President of AH Management No. 5, LLC, general partner on behalf of SAH REAL ESTATE, L.P., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

## CERTIFICATE OF SURVEYOR

STATE OF TEXAS §  
COUNTY OF DALLAS §

I, TED A. GOSSETT, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown herein were found or placed with 1/2-inch iron rods with green plastic caps stamped "EAGLE SURVEYING" under my direction and supervision in accordance with the current provisions of the Texas Administrative Code and the Ordinances of the City of Grand Prairie, Dallas County, Texas.

**PRELIMINARY**  
This instrument is not to be used as evidence or relied upon as a deed or other instrument in a court of law.

Ted A. Gossett, R.P.L.S., #5991 \_\_\_\_\_ Date \_\_\_\_\_

STATE OF TEXAS §  
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, on this day personally appeared TED A. GOSSETT, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

John Cox, Notary Public in and for the State of Texas

## FINAL PLAT HAKEMY ADDITION LOTS 1 & 2, BLOCK A

BEING 2.98 ACRES OF LAND SITUATED IN THE  
M.W. ALLEN SURVEY, ABSTRACT NO. 9,  
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS

CASE NO. P200105  
PAGE 1 OF 1



## Legislation Details (With Text)

<b>File #:</b>	20-9734	<b>Version:</b>	1	<b>Name:</b>	P200201 - Hill Street Addition, Lot 1, Block 1
<b>Type:</b>	Agenda Item	<b>Status:</b>		<b>Status:</b>	Consent Agenda
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	P200201 - Preliminary Plat - Hill Street Addition, Lot 1, Block 1 (Commissioner Moser/City Council District 5). A Preliminary Plat of a 13.1509 acre tract in the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 in the SH-161 Corridor Overlay and addressed as 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A - Location Map](#)  
[Exhibit B - Plat](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

P200201 - Preliminary Plat - Hill Street Addition, Lot 1, Block 1 (Commissioner Moser/City Council District 5). A Preliminary Plat of a 13.1509 acre tract in the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 in the SH-161 Corridor Overlay and addressed as 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.

### Presenter

Nyliah Acosta, Planner

### Recommended Action

Approve

### Analysis

#### SUMMARY:

Preliminary Plat for 13.1509 Acres out of the Hein Bilsmirer Survey, Abstract No. 111 and Pablo Mansola Survey, Abstract No. 993, City of Grand Prairie Dallas County, Texas, zoned PD-392 and addressed as 1610 & 1614 Hill Street

#### PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to consolidate two lots into one for multi-family uses. A companion case has been submitted and is recommended for approval (S200201).

**ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Zoning and Land Uses**

Direction	Zoning	Existing Use
North	SF-2, MF-1	Single-Family Residences; Quad
South	None	Hill St; Hwy 161
West	SF-4, CO, C	Undeveloped Lots
East	SF-4	Single-Family Residences; Hill S Inst.

**HISTORY:**

- September 17, 2019 City Council approved PD-392 and a Concept Plan, rezoning the property from SF- and CO to PD-392 for Multi-Family, Retail, and Restaurant uses (Case Number Z190801/CP190801).
- September 17, 2019 City Council approved a Future Land Use Map (FLUM) change to Mixed Use from the Open Space/Drainage and Mixed Use designation (Case Number CPA190801).

**PLAT FEATURES:**

The lot will be accessible from Hill Street and has two ingress/egress drives. The plat depicts the necessary easements. The plat meets density and dimensional requirements in the UDC.

**RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval, with the condition that if the 30' gas line easement is abandoned, that it be reflected on the plat along with the appropriate abandonment document reference.







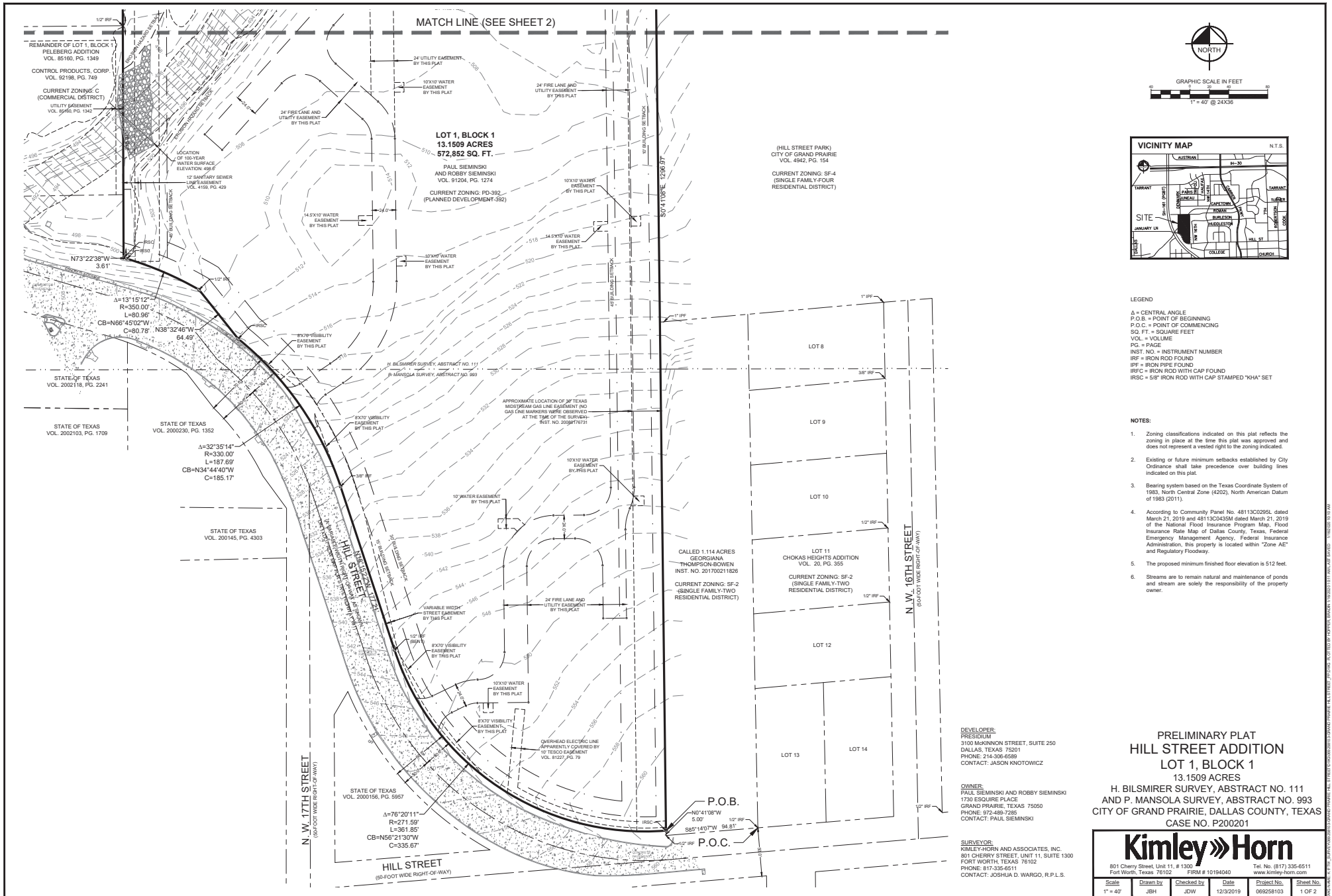
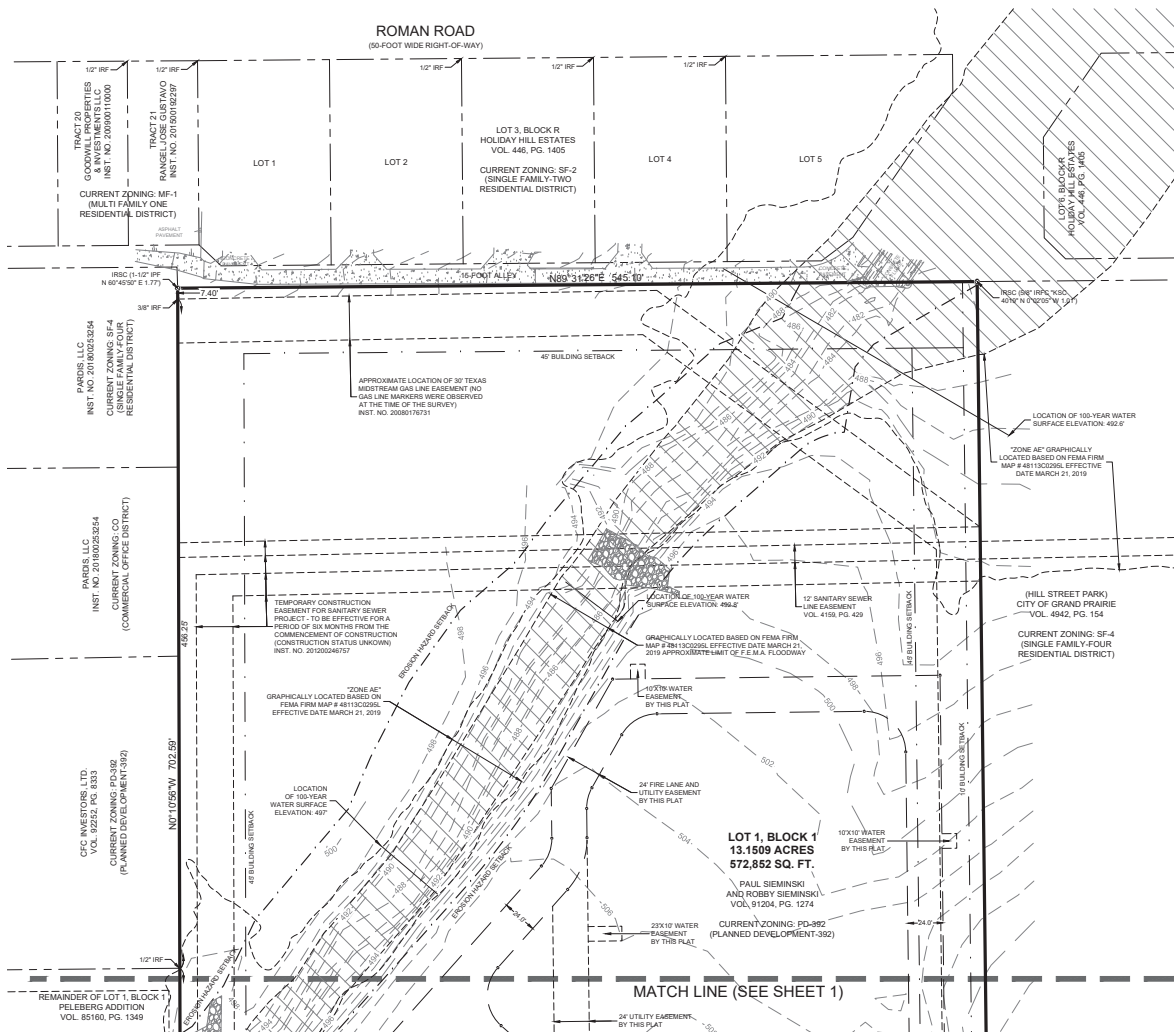


Exhibit B - Preliminary Plat  
Page 2 of 2



**SURVEYOR'S CERTIFICATE**

I, Joshua D. Wargo, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Grand Prairie, Texas.

Date: \_\_\_\_\_

Joshua D. Wargo  
Registered Professional Land Surveyor No. 6391  
Kimley-Horn and Associates, Inc.  
801 Cherry Street, Unit 11, Suite 1300  
Fort Worth, Texas 76102  
PH: 817-682-2193  
josh.wargo@kimley-horn.com

**PRELIMINARY**  
THIS DOCUMENT SHALL  
NOT BE RECORDED FOR  
ANY PURPOSE AND  
SHALL NOT BE USED OR  
VIEWED OR RELIED  
UPON AS A FINAL  
SURVEY DOCUMENT

STATE OF TEXAS §  
COUNTY OF TARRANT §

**BEFORE ME**, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared Joshua D. Wargo, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of Texas

**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
COUNTY OF DALLAS §

**WHEREAS, PAUL SIEMINSKI AND ROBBY SIEMINSKI** is the sole owner of a tract of land situated in the H. Bilsmer Survey, Abstract No. 111, and in the P. Mansola Survey, Abstract No. 993, City of Grand Prairie, Dallas County, Texas, and being all of a called 13.15 acre tract of land as described in the Special Warranty Deed with Vendor's Lien to Paul Sieminski and Robby Sieminski, recorded in Volume 91204, Page 1274, Deed Records, Dallas County, Texas, and being more particularly described as follows:

**COMMENCING** at a 1/2-inch iron rod found at the southwest corner of Lot 13, Chokas Heights Addition, an addition to the City of Grand Prairie, Dallas County, Texas, recorded in Volume 20, Page 355, Map Records, Dallas County, Texas, being common with the southwest corner of a called 1.114 acre tract of land as described in the General Warranty Deed to Georgiana Thompson-Down, recorded in Instrument No. 201700211826, Official Public Records, Dallas County, Texas, and being on the north right-of-way line of Hill Street, a variable width public right-of-way;

**THENCE** South 85°14'07" West, with the south line of the said called 1.114 acre tract of land, being common with the said north right-of-way line, a distance of 54.81 feet to a 1/2-inch iron rod found at southwest corner of the said called 1.114 acre tract of land;

**THENCE** North 00°41'08" West, with the west line of the said called 1.114 acre tract of land, a distance of 5.00 feet to a 5/8-inch iron rod with cap stamped "KHA" set at southeast corner of the said called 13.15 acre tract of land, being the POINT OF BEGINNING, and being at the beginning of a non-tangent curve to the right having a central angle of 76°20'11", a radius of 271.59 feet, a chord bearing and distance of North 56°21'30" West, 335.67 feet, and being;

**THENCE** the north right-of-way line of said Hill Street as shown on the right-of-way map for State Highway No. 161, project no. 2964-01-026, dated 3/7/2001, being common with the south line of the said called 13.15 acre tract of land the following six (6) calls:

In a northwesterly direction, with the said curve to the right, an arc distance of 361.85 feet to a 1/2-inch iron rod found for corner;

North 18°15'22" West, a distance of 177.21 feet to a 3/8-inch iron rod found for corner at the beginning of a non-tangent curve to the left having a central angle of 32°30'14", a radius of 330.00 feet, a chord bearing and distance of North 34°44'40" West, 185.17 feet;

In a northwesterly direction, with said curve to the left, an arc distance of 187.69 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

North 38°32'46" West, a distance of 64.49 feet to a 1/2-inch iron rod found for corner at the beginning of a non-tangent curve to the left having a central angle of 13°15'12", a radius of 350.00 feet, a chord bearing and distance of North 48°42'02" West, 80.78 feet;

In a northwesterly direction, with said curve to the left, an arc distance of 80.96 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

North 73°22'38" West, a distance of 3.61 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner, being at the southwest corner of the said called 13.15 acre tract of land;

**THENCE** North 0°10'56" West, with the west line of the said called 13.15 acre tract of land, at a distance of 238.94 feet passing a 1/2-inch iron rod found, and at a distance of 695.19 feet passing a 3/8-inch iron rod found, and continuing in all a total distance of 702.59 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner, being at the northwest corner of the said called 13.15 acre tract of land, and being on the south line of a public alley as shown on the plat of Holiday Hill Estates, an addition to the City of Grand Prairie, Dallas County, Texas, recorded in Volume 446, Page 1405, Map Records, Dallas County, Texas;

**THENCE** North 89°31'26" East, with the north line of the said called 13.15 acre tract of land, being common with the south line of the said public alley, a distance of 545.10 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner, being at the northeast corner of the said called 13.15 acre tract of land, from which a 5/8-inch iron rod with cap stamped "KSC 4018" bears North 00°02'02" West, a distance of 1.01 feet;

**THENCE** South 0°14'08" East, with the east line of the said called 13.15 acre tract of land, a distance of 1296.97 feet to the POINT OF BEGINNING and containing 13,1509 acres or 572,852 square feet of land.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

That **PAUL SIEMINSKI AND ROBBY SIEMINSKI** does hereby adopt this plat designating the hereon above described property as **HILL STREET ADDITION, LOT 1, BLOCK 1**, an addition to the City of Grand Prairie, Texas, and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water management areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes as indicated. The utility, access, GPS monuments and fire line easements shall be open to the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire line easements is the responsibility of the property owner. No buildings or other improvements, including fences, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

WITNESS MY HAND at \_\_\_\_\_ this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

**PAUL SIEMINSKI AND ROBBY SIEMINSKI**

By: \_\_\_\_\_  
Name, Title

STATE OF \_\_\_\_\_ §  
COUNTY OF \_\_\_\_\_ §

**BEFORE ME**, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Notary Public in and for the State of \_\_\_\_\_

**DEVELOPER:**  
PRESCILUM  
3100 MARIONN STREET, SUITE 250  
DALLAS, TEXAS 75201  
PHONE: 214-306-6589  
CONTACT: JASON KNOTOWICZ

**OWNER:**  
PAUL SIEMINSKI AND ROBBY SIEMINSKI  
1730 ESQUIRE PLACE  
GRAND PRAIRIE, TEXAS 75050  
PHONE: 972-488-7285  
CONTACT: PAUL SIEMINSKI

**SURVEYOR:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
801 CHERRY STREET, UNIT 11, SUITE 1300  
FORT WORTH, TEXAS 76102  
PHONE: 817-335-6511  
CONTACT: JOSHUA D. WARGO, R.P.L.S.

**CHAIRPERSON, PLANNING AND ZONING COMMISSION**

**ZONING SECRETARY**

**Scale**  
1" = 40'

**Drawn by**  
JBH

**Checked by**  
JDW

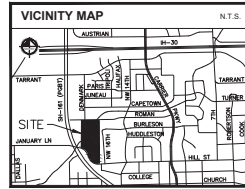
**Date**  
12/30/2019

**Project No.**  
069258103

**Sheet No.**  
2 OF 2



GRAPHIC SCALE IN FEET  
1" = 40' @ 24X36



**LEGEND**

A = CENTRAL ANGLE  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCING  
SQ. FT. = SQUARE FEET  
VOL. = VOLUME  
PG. = PAGE  
INST. NO. = INSTRUMENT NUMBER  
IRF = IRON ROD FOUND  
IRP = IRON PIPE FOUND  
IRSC = IRON ROD WITH CAP FOUND  
IRSC = 5/8" IRON ROD WITH CAP STAMPED "KHA" SET

- NOTES:**
1. Zoning classifications indicated on this plat reflects the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
  2. Existing or future minimum setbacks established by City Ordinance shall take precedence over building lines indicated on this plat.
  3. Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983 (2011).
  4. According to Community Panel No. 481302951, dated March 21, 2019 and 48130433M dated March 21, 2019 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Dallas County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is located within "Zone AE" and Regulatory Floodway.
  5. The proposed minimum finished floor elevation is 512 feet.
  6. Streams are to remain natural and maintenance of ponds and stream are solely the responsibility of the property owner.

**CERTIFICATE OF APPROVAL**

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF GRAND PRAIRIE, TEXAS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

ATTEST: \_\_\_\_\_

CHAIRPERSON, PLANNING AND ZONING COMMISSION

ZONING SECRETARY

**PRELIMINARY PLAT  
HILL STREET ADDITION  
LOT 1, BLOCK 1  
13.1509 ACRES  
H. BILSMIR SURVEY, ABSTRACT NO. 111  
AND P. MANSOLA SURVEY, ABSTRACT NO. 993  
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS  
CASE NO. P200201**

**Kimley»Horn**

801 Cherry Street, Unit 11, # 1300  
Fort Worth, Texas 76102  
FIRM # 10194040  
Tel. No. (817) 335-6511  
www.kimley-horn.com



## Legislation Details (With Text)

<b>File #:</b>	20-9735	<b>Version:</b>	1	<b>Name:</b>	RP200201 - Prairie Waters-Southgate Development, Lot 1R and 2, Block 1
<b>Type:</b>	Agenda Item	<b>Status:</b>		<b>Status:</b>	Consent Agenda
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	RP200201 - Replat - Prairie Waters-Southgate Development, Lot 1R and 2, Block 1 (Commissioner Connor/City Council District 4). Replat of Prairie Waters-Southgate Development, Lot 1R and 2, Block 1, creating two lots on 29.547 acres. Lot 1, Block 1, Prairie Waters-Southgate Development, City of Grand Prairie, Tarrant County, Texas, zoned PD-352, within the SH-360 Corridor Overlay District, and addressed as 3666 Prairie Waters Dr. The applicant is John McClure, McClure Partners, the consultant is Juan J. Vasquez, Vasquez Engineering LLC, and the owner is Charles Anderson, TA Southgate Land Partners LP.				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A - Location Map.pdf](#)  
[Exhibit B - Replat.pdf](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

RP200201 - Replat - Prairie Waters-Southgate Development, Lot 1R and 2, Block 1 (Commissioner Connor/City Council District 4). Replat of Prairie Waters-Southgate Development, Lot 1R and 2, Block 1, creating two lots on 29.547 acres. Lot 1, Block 1, Prairie Waters-Southgate Development, City of Grand Prairie, Tarrant County, Texas, zoned PD-352, within the SH-360 Corridor Overlay District, and addressed as 3666 Prairie Waters Dr. The applicant is John McClure, McClure Partners, the consultant is Juan J. Vasquez, Vasquez Engineering LLC, and the owner is Charles Anderson, TA Southgate Land Partners LP.

### Presenter

Savannah Ware, AICP, Senior Planner

### Recommended Action

Approve

### Analysis

### SUMMARY:

Replat of Prairie Waters-Southgate Development, Lot 1R and 2, Block 1, creating two lots on 29.547 acres. Lot 1, Block 1, Prairie Waters-Southgate Development, City of Grand Prairie, Tarrant County, Texas, zoned PD-352, within the SH-360 Corridor Overlay District, and addressed as 3666 Prairie Waters Dr.

## **PURPOSE OF REQUEST:**

The purpose of the Replat is to create two lots out of one lot and create additional utility easements. Lot 2 is intended for Spec's (Case Number S200104).

## **ADJACENT LAND USES AND ACCESS:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	PD-319	Undeveloped
South	PD-352; A	Multi-Family, Undeveloped; Single Far
West	A	HWY 360 & City Limits
East	PD-308; A	Boat & RV Storage Facility; Undeveloped

## **HISTORY:**

- October 13, 2015: City Council approved a Zoning Change (Case Number Z151002), creating a Planned Development District for Commercial-One and Multi-Family uses (PD-352).
- October 3, 2016: The Planning and Zoning Commission approved a Final Plat for Prairie Waters-Southgate Development Addition (Case Number (P161003).
- January 21, 2020: City Council approved a Site Plan (Case Number S200104) for Spec's, which will be constructed on Lot 2.

## **PLAT FEATURES:**

The plat depicts the necessary utility easements and meets density and dimensional requirements summarized in the table below.

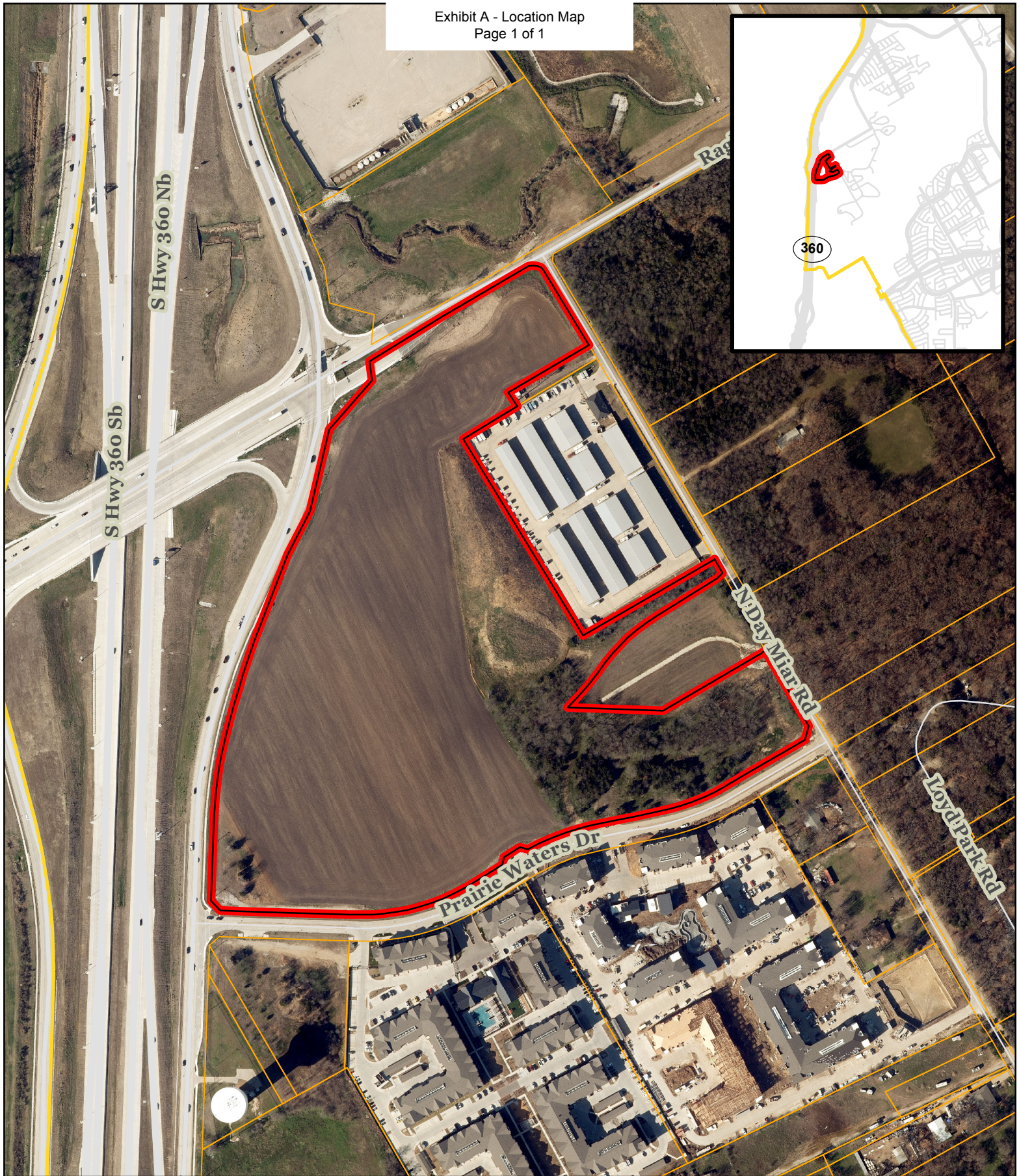
**Table 2: Dimensional Requirements**

Standard	Required	Provided 1R	Provided 2	Meets
Min. Lot Area Sq. 5,000		1,221,361	65,715	Yes
Min. Lot Width (F50		242 at narrowest	254.82	Yes
Min. Lot Depth (F100		928.2 at narrowest	176.75	Yes
Front Setback (Ft.)10		10	10	Yes
Rear Setback (Ft.) 10		10	10	Yes

## **RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval.







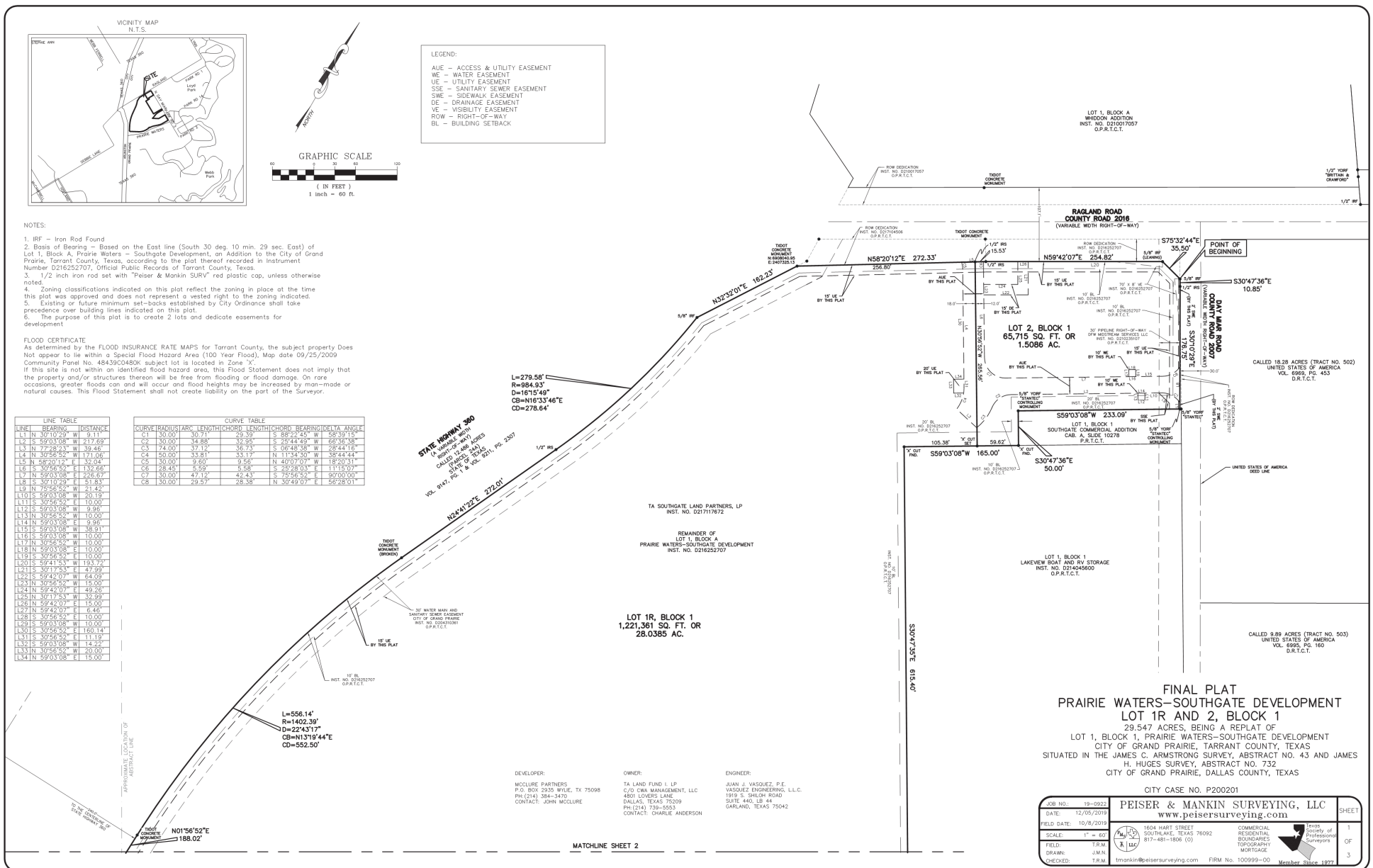


Exhibit B - Replat  
Page 2 of 3

MATCHLINE SHEET 1

LOT 1R, BLOCK 1  
1,221,361 SQ. FT. OR  
28.0385 AC.

REMAINDER OF  
LOT 1, BLOCK A  
PRAIRIE WATERS-SOUTHGATE DEVELOPMENT  
INST. NO. D216252707

TA SOUTHGATE LAND PARTNERS, LP  
INST. NO. D217117672

LOT 2, BLOCK B  
PRAIRIE WATERS-SOUTHGATE DEVELOPMENT  
INST. NO. D216258599

LOT 3, BLOCK B  
PRAIRIE WATERS-SOUTHGATE DEVELOPMENT  
INST. NO. D216258599

FINAL PLAT  
PRAIRIE WATERS-SOUTHGATE DEVELOPMENT  
LOT 1R AND 2, BLOCK 1

29.547 ACRES, BEING A REPLAT OF  
LOT 1, BLOCK 1, PRAIRIE WATERS-SOUTHGATE DEVELOPMENT  
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS  
SITUATED IN THE JAMES C. ARMSTRONG SURVEY, ABSTRACT NO. 43 AND JAMES  
H. HUGES SURVEY, ABSTRACT NO. 732  
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS

CITY CASE NO. P200201

JOB NO.	18-0922	PEISER & MANKIN SURVEYING, LLC	SHEET
DATE	12/09/2019	www.peisersurveying.com	2
FIELD DATE	10/8/2019		OF
SCALE	1" = 60'		3
FIELD	T.R.M.		
DRAWN	J.M.N.		
CHECKED	T.R.M.		

1804 HART STREET  
SOUTHPLAKE, TEXAS 76092  
817-481-1806 (O)

COMMERCIAL  
RESIDENTIAL  
BOUNDARIES  
TOPOGRAPHY  
MORTGAGE

100999-00  
Member Since 1977

DEVELOPER:  
MCCLURE PARTNERS  
P.O. BOX 2935 WYLE, TX 75098  
PH (214) 384-3470  
CONTACT: JOHN MCCLURE

OWNER:  
TA LAND FUND L LP  
C/O CBA MANAGEMENT, LLC  
4601 LOVERS LANE  
DALLAS, TEXAS 75209  
PH (214) 739-5553  
CONTACT: CHARLIE ANDERSON

ENGINEER:  
JIAN J. VASQUEZ, P.E.  
VASQUEZ ENGINEERING, L.L.C.  
1919 S. SHILOH ROAD  
SUITE 440, LB 44  
GARLAND, TEXAS 75042

LEGEND:

AUE - ACCESS & UTILITY EASEMENT  
WE - WATER EASEMENT  
UE - UTILITY EASEMENT  
SSE - SANITARY SEWER EASEMENT  
SWE - SIDEWALK EASEMENT  
DE - DRAINAGE EASEMENT  
VE - VISIBILITY EASEMENT  
ROW - RIGHT-OF-WAY  
BL - BUILDING SETBACK

GRAPHIC SCALE

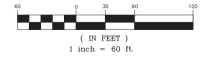


Exhibit B - Replat  
Page 3 of 3

OWNERS CERTIFICATE

STATE OF TEXAS

COUNTY OF TARRANT

WHEREAS, TA Southgate Land Partners, LP is the sole owner of all that certain 29.548 acre tract of land situated in the James C. Armstrong Survey, Abstract No. 43 and the James H. Hughes Survey, Abstract No. 732, City of Grand Prairie, Tarrant County, Texas, and being the remainder of Lot 1, Block A, Prairie Waters-Southgate Development, an addition to the City of Grand Prairie, Tarrant County, Texas, according to the plat thereof recorded in instrument Number D216252707, Official Public Records, Tarrant County, Texas, and being all that certain tract of land conveyed to TA Southgate Land Partners, LP, by deed recorded in instrument Number D217117672, Official Public Records, Tarrant County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found for the most easterly northeast corner of said Lot 1, Block A, same being the southeast end of a corner clip in the intersection of Ragland Road (County Road 2016) (variable width right-of-way) and Day Mir Road (County Road 2007) (variable width right-of-way);

THENCE along the common line of said Lot 1, Block A and said Day Mir Road as follows:  
South 30 deg. 47 min. 36 sec. East, a distance of 10.85 feet to a 1/2 inch iron rod with "Peiser & Mankin SURV" red plastic cap (hereinafter referred to as 1/2 inch iron rod set) for angle point;  
South 30 deg. 10 min. 29 sec. East, a distance of 176.75 feet to a 5/8 inch iron rod with yellow cap stamped "StanteC" found for an easterly corner of said Lot 1, Block A, same being the northeast corner of Lot 1, Block 1, Southgate Commercial Addition, an addition to the City of Grand Prairie, Tarrant County, Texas, according to the plat thereof recorded in Cabinet A, Slide 10278, Plat Records, Tarrant County, Texas;

THENCE along the common line of said Lot 1, Block A and said Lot 1, Block 1, Southgate Commercial Addition as follows:  
South 59 deg. 03 min. 08 sec. West, a distance of 233.09 feet to a 5/8 inch iron rod with yellow cap stamped "StanteC" found for corner, same being the northwest corner of said Lot 1, Block 1, Southgate Commercial Addition;  
South 30 deg. 47 min. 36 sec. East, a distance of 50.00 feet to an "X" call found for corner, same being the southwest corner of said Lot 1, Block 1, Southgate Commercial Addition, same being in the northwesterly line of Lot 1, Block 1, Lakeview Boat and RV Storage, an addition to the City of Grand Prairie, Tarrant County, Texas, according to the plat thereof recorded in instrument Number D214045600, aforesaid Official Public Records;

THENCE along the common line of said Lot 1, Block A and said Lot 1, Block 1, Lakeview Boat and RV Storage as follows:  
South 59 deg. 03 min. 08 sec. West, a distance of 165.00 feet to an "X" cut found for corner, same being the northwest corner of said Lot 1, Block 1, Lakeview Boat and RV Storage;  
South 30 deg. 47 min. 36 sec. East, a distance of 615.40 feet to a point for corner, from which a 1/2 inch iron rod with red cap stamped "Fulton Surveying" found bears South 08 deg. 33 min. East, 0.38 feet, same being the southwest corner of said Lot 1, Block 1, Lakeview Boat and RV Storage;  
North 59 deg. 10 min. 52 sec. East, a distance of 380.00 feet to a 1/2 inch iron rod set for corner, same being in the westerly right-of-way line of aforesaid Day Mir Road;

THENCE South 30 deg. 10 min. 29 sec. East, along the common line of said Lot 1, Block A and said Day Mir Road, a distance of 50.00 feet to a 1/2 inch iron rod set for corner, same being the northeast corner of Lot 1X, said Block A, Prairie Waters-Southgate Development;

THENCE along the common line of said Lot 1, Block A and said Lot 1X as follows:  
South 59 deg. 10 min. 52 sec. West, a distance of 190.31 feet to a point for the beginning of a curve to the left, having a radius of 475.00 feet and a central angle of 23 deg. 24 min. 32 sec.;  
Along said curve to the left, on arc distance of 194.07 feet and a chord bearing and distance of South 47 deg. 28 min. 37 sec. West, 192.72 feet to a point for the beginning of a reverse curve to the right, having a radius of 925.00 feet and a central angle of 09 deg. 14 min. 30 sec.;  
Along said reverse curve to the right, on arc distance of 149.20 feet and a chord bearing and distance of South 40 deg. 23 min. 38 sec. West, 149.04 feet to a point for corner, same being the southwest corner of said Lot 1X;  
South 87 deg. 48 min. 17 sec. East, a distance of 254.68 feet to a point for angle point;  
North 59 deg. 44 min. 05 sec. East, a distance of 304.00 feet to a 1/2 inch iron rod set, same being the southeast corner of said Lot 1X, same being in the westerly right-of-way line of aforesaid Day Mir Road;

THENCE South 30 deg. 10 min. 29 sec. East, along the common line of said Lot 1, Block A and said Day Mir Road, a distance of 242.32 feet to a 1/2 inch iron rod set for the most easterly southeast corner of said Lot 1, Block A, same being the northerly end of a corner clip in the intersection of said Day Mir Road and Prairie Waters Drive (70 foot public right-of-way);

THENCE South 14 deg. 46 min. 48 sec. West, along the common line of said Lot 1, Block A and said corner clip, a distance of 21.23 feet to a 1/2 inch iron rod set for the most southerly southeast corner of said Lot 1, Block A, same being the southerly end of said corner clip;

THENCE along the common line of said Lot 1, Block A and said Prairie Waters Drive as follows:  
South 59 deg. 44 min. 05 sec. West, a distance of 248.92 feet to a 1/2 inch iron rod set for the beginning of a curve to the right, having a radius of 562.00 feet and a central angle of 18 deg. 37 min. 00 sec.;  
Along said curve to the right, on arc distance of 182.61 feet and a chord bearing and distance of South 69 deg. 02 min. 35 sec. West, 181.81 feet to a 5/8 inch iron rod found for angle point;  
South 78 deg. 21 min. 06 sec. West, a distance of 186.49 feet to a 1/2 inch iron rod set for the beginning of a curve to the left, having a radius of 602.00 feet and a central angle of 17 deg. 35 min. 46 sec.;  
Along said curve to the left, on arc distance of 184.88 feet and a chord bearing and distance of South 69 deg. 33 min. 14 sec. West, 184.15 feet to a 1/2 inch iron rod set for angle point;  
North 76 deg. 02 min. 21 sec. West, a distance of 21.61 feet to a 1/2 inch iron rod set for the beginning of a non-tangent curve to the left, having a radius of 617.00 feet and a central angle of 01 deg. 25 min. 48 sec.;  
Along said non-tangent curve to the left, on arc distance of 15.40 feet and a chord bearing and distance of South 58 deg. 34 min. 38 sec. West, 15.40 feet to a 1/2 inch iron rod set for angle point;  
South 57 deg. 51 min. 43 sec. West, a distance of 34.60 feet to a 1/2 inch iron rod set for angle point;  
South 12 deg. 51 min. 43 sec. West, a distance of 21.21 feet to a 1/2 inch iron rod set for angle point;  
South 57 deg. 51 min. 43 sec. West, a distance of 89.99 feet to a 1/2 inch iron rod set for the beginning of a curve to the right, having a radius of 562.00 feet and a central angle of 34 deg. 05 min. 08 sec.;  
Along said curve to the right, on arc distance of 334.34 feet and a chord bearing and distance of South 74 deg. 54 min. 17 sec. West, 329.43 feet to a 1/2 inch iron rod set for angle point;  
North 88 deg. 03 min. 08 sec. West, a distance of 359.80 feet to a 5/8 inch iron rod found for the most southerly southwest corner of said Lot 1, Block A, same being the southerly end of a corner clip in the intersection of said Prairie Waters Drive and State Highway 360 (variable width right-of-way);

OWNERS CERTIFICATE (CONTINUED)

THENCE North 43 deg. 03 min. 08 sec. West, along the common line of said Lot 1, Block A and said corner clip, a distance of 35.35 feet to a 5/8 inch iron rod with illegible yellow cap found for the most westerly southwest corner of said Lot 1, Block A, same being the westerly end of said corner clip;

THENCE along the common line of said Lot 1, Block A and said State Highway 360 as follows:  
North 01 deg. 36 min. 52 sec. East, a distance of 188.02 feet to a TXDOT monument found for the beginning of a curve to the right, having a radius of 1402.39 feet and central angle of 22 deg. 43 min. 17 sec.;  
Along said curve to the right, on arc distance of 556.14 feet and a chord bearing and distance of North 13 deg. 19 min. 44 sec. East, 552.50 feet to a broken TXDOT monument found for angle point;  
North 24 deg. 41 min. 22 sec. East, a distance of 272.01 feet to a 1/2 inch iron rod set for the beginning of a curve to the left, having a radius of 984.93 feet and a central angle of 16 deg. 15 min. 49 sec.;  
Along said curve to the left, on arc distance of 279.58 feet and a chord bearing and distance of North 16 deg. 33 min. 46 sec. East, 278.64 feet to a 5/8 inch iron rod found for angle point;  
North 32 deg. 32 min. 01 sec. East, a distance of 162.23 feet to a TXDOT concrete monument found for the northeast corner of the herein described tract, same being in the intersection of said State Highway 360 and aforesaid Ragland Road, same being the southwest corner of a right-of-way dedication as recorded in instrument Number D217104506, aforesaid Official Public Records;

THENCE North 58 deg. 20 min. 12 sec. East, through the interior of said Lot 1, Block A, and along the southeasterly right-of-way way line of said Ragland Road and the southeasterly line of said right-of-way dedication, a distance of 272.33 feet to a 1/2 inch iron rod set for angle point, same being an angle point of said Lot 1, Block A;

THENCE North 59 deg. 42 min. 07 sec. East, along the common line of said Lot 1, Block A and said Ragland Road, a distance of 254.82 feet to a 5/8 inch iron rod found for the northwesterly end of aforesaid corner clip in the intersection of Ragland Road and aforesaid Day Mir Road;

THENCE South 75 deg. 32 min. 44 sec. East, along the common line of said Lot 1, Block A and said corner clip, a distance of 35.50 feet to the POINT OF BEGINNING and containing 1,287,076 square feet or 29.547 acres of computed land, more or less.

SURVEYOR'S CERTIFICATE

STATE OF TEXAS ( )  
COUNTY OF TARRANT ( )

That I, Timothy R. Mankin, Registered Professional Land Surveyor in the State of Texas, do hereby certify that I have prepared this plat from an actual on the ground survey of the land, and the monuments shown hereon were found and/or placed under my personal supervision in accordance with the platting rules and regulations of the City plan Commission of the City of Grand Prairie.

PRELIMINARY-FOR REVIEW ONLY  
NOT TO BE RECORDED FOR ANY PURPOSE

TIMOTHY R. MANKIN, R.P.L.S. 6122

STATE OF TEXAS:  
COUNTY OF TARRANT:

BEFORE me, the undersigned authority, a Notary Public in and for Tarrant County, Texas, on this day personally appeared Timothy R. Mankin, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of the office this \_\_\_\_ day of \_\_\_\_\_, 2020.

NOTARY PUBLIC in and for TARRANT COUNTY, TEXAS

OWNERS DEDICATION

STATE OF TEXAS

COUNTY OF TARRANT

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT **TA SOUTHGATE LAND PARTNERS, LP** does hereby adopt this plat designating the herein above described property as **PRAIRIE WATERS-SOUTHGATE DEVELOPMENT** an addition to the City of Grand Prairie, Texas and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water conveyance areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes as indicated. The utility, access, GPS monuments and fire line easements shall be open to the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire line easements is the responsibility of the property owner. No buildings or other improvements, including fences, shall be permitted in an erosion hazard easement. No buildings or other improvements or growths, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments showed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

WITNESS, my hand this the \_\_\_\_ day of \_\_\_\_\_, 2020.

TA SOUTHGATE LAND PARTNERS, LP

By:  
CHARLIE ANDERSON

STATE OF TEXAS:  
COUNTY OF DALLAS:

BEFORE me, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Charlie Anderson, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of the office this the \_\_\_\_ day of \_\_\_\_\_, 2020.

NOTARY PUBLIC in and for Dallas County, Texas

FINAL PLAT  
PRAIRIE WATERS-SOUTHGATE DEVELOPMENT  
LOT 1R AND 2, BLOCK 1

29.547 ACRES, BEING A REPLAT OF  
LOT 1, BLOCK 1, PRAIRIE WATERS-SOUTHGATE DEVELOPMENT  
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS  
SITUATED IN THE JAMES C. ARMSTRONG SURVEY, ABSTRACT NO. 43 AND JAMES  
H. HUGHES SURVEY, ABSTRACT NO. 732  
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS

CITY CASE NO. P200201

JOB NO.: 19-0922	PEISER & MANKIN SURVEYING, LLC		SHEET
DATE: 12/05/2019	www.peisersurveying.com		
FIELD DATE: 10/8/2019		1604 HART STREET SOUTHGATE, TEXAS 76092 817-481-1800 (O)	COMMERCIAL RESIDENTIAL BOUNDARIES TOPOGRAPHY MORTGAGE
SCALE: N.T.S.			
FIELD: T.R.M.			OF
DRAWN: J.A.N.			
CHECKED: T.R.M.	tmankin@peisersurveying.com	FIRM NO. 100999-00	Member Since 1977

DEVELOPER:

MCCLURE PARTNERS  
P.O. BOX 2935 WILEY, TX 75098  
PH (214) 384-3470  
CONTACT: JOHN MCCLURE

OWNER:

TA LAND FUND I, LP  
C/O CWA MANAGEMENT, LLC  
4801 LOWERS LANE  
DALLAS, TEXAS 75209  
PH (214) 739-5553  
CONTACT: CHARLIE ANDERSON

ENGINEER:

JUAN J. VASQUEZ, P.E.  
VASQUEZ ENGINEERING, L.L.C.  
1919 S. SILVER ROAD, SUITE 440, LB 44  
GARLAND, TEXAS 75042



## Legislation Details (With Text)

<b>File #:</b>	19-9528	<b>Version:</b>	1	<b>Name:</b>	CPA190604 – Grand Oaks
<b>Type:</b>	Ordinance	<b>Status:</b>		<b>Status:</b>	Postponement
<b>File created:</b>	10/28/2019	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	CPA190604 - Comprehensive Plan Amendment- Grand Oaks (Commissioner Hedin/City Council District 2). Amendment to the Comprehensive Plan from Open Space/Drainage to Medium Density Residential on 9.4 acres out of the Aaron Wilson Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-198) and addressed as 3502 Country Club Dr. Table				

### Sponsors:

### Indexes:

### Code sections:

### Attachments:

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

CPA190604 - Comprehensive Plan Amendment- Grand Oaks (Commissioner Hedin/City Council District 2). Amendment to the Comprehensive Plan from Open Space/Drainage to Medium Density Residential on 9.4 acres out of the Aaron Wilson Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-198) and addressed as 3502 Country Club Dr.

### Table

### Presenter

David P. Jones, AICP, Chief City Planner

### Recommended Action

Tabled

### Analysis

### Body



## Legislation Details (With Text)

<b>File #:</b>	19-9189	<b>Version:</b>	1	<b>Name:</b>	Z190604/CP190604 - Grand Oaks Single Family Residences
<b>Type:</b>	Ordinance	<b>Status:</b>		<b>Status:</b>	Postponement
<b>File created:</b>	7/26/2019	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	Z190604/CP190604 - Planned Development Request/Concept Plan - Grand Oaks Single Family Residences (Commissioner Hedin/City Council District 2). Zoning Change and Concept Plan/PD Amendment for 59 lots intended for single-family residential development consisting of attached and detached units on the site of the former clubhouse for Grand Oaks Country Club. 9.4 acres out of the Aaron Wilson Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-198) and addressed as 3502 Country Club Dr. The agent is Michael Salcedo, Salcedo Group, Inc. and the owner is Rick Mai, Rowsco, Inc. Table				

### Sponsors:

### Indexes:

### Code sections:

### Attachments:

Date	Ver.	Action By	Action	Result
11/19/2019	1	City Council		Tabled
11/4/2019	1	Planning and Zoning Commission		
8/20/2019	1	City Council		Tabled
8/5/2019	1	Planning and Zoning Commission		

### From

Chris Hartmann

### Title

Z190604/CP190604 - Planned Development Request/Concept Plan - Grand Oaks Single Family Residences (Commissioner Hedin/City Council District 2). Zoning Change and Concept Plan/PD Amendment for 59 lots intended for single-family residential development consisting of attached and detached units on the site of the former clubhouse for Grand Oaks Country Club. 9.4 acres out of the Aaron Wilson Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-198) and addressed as 3502 Country Club Dr. The agent is Michael Salcedo, Salcedo Group, Inc. and the owner is Rick Mai, Rowsco, Inc.

### Table

### Presenter

David P. Jones, AICP, Chief City Planner

### Recommended Action

Tabled

### Analysis

**Body**



## Legislation Details (With Text)

<b>File #:</b>	20-9736	<b>Version:</b>	1	<b>Name:</b>	S200201 - Site Plan - Presidium Hill Street Apartments
<b>Type:</b>	Agenda Item	<b>Status:</b>			Items for Individual Consideration
<b>File created:</b>	1/23/2020	<b>In control:</b>			Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>			
<b>Title:</b>	S200201 - Site Plan - Presidium Hill Street Apartments (Commissioner Moser/City Council District 5). A Site Plan for Presidium Hill Street Apartments, a 290 unit multi-Family Development. 13.1509 acres out of the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas. Zoned PD-392 District within the SH-161 Overlay and addressed as 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski. City Council Action: February 18, 2020				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A - Location Map](#)  
[Exhibit B - Site Plan](#)  
[Exhibit C - Elevations](#)  
[Exhibit D - Landscape Plan](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

S200201 - Site Plan - Presidium Hill Street Apartments (Commissioner Moser/City Council District 5). A Site Plan for Presidium Hill Street Apartments, a 290 unit multi-Family Development. 13.1509 acres out of the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas. Zoned PD-392 District within the SH-161 Overlay and addressed as 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.

**City Council Action: February 18, 2020**

### Presenter

Nyliah Acosta, Planner

### Recommended Action

Approve

### Analysis

#### SUMMARY:

A request to approve a Site Plan authorizing the construction of a four story 290 unit Multi-Family



development on 13.1509 acres out of the Hein Bilsmirer Survey, Abstract No. 111 & Pablo Mansola Survey, Abstract No. 993. The 13.1509 acre lot is generally located east at the intersection of State Highway 161 and Hill Street, zoned Planned Development-392 District, and within the SH 161 Overlay.

### **PURPOSE OF REQUEST:**

The applicant is seeking approval of a site plan to allow for a 290 unit Multi-Family development. The complex will compose of 198 one bedroom units, 80 two bedroom units, and 12 three bedroom units. City Council approval of a site plan is required for properties within a planned development district, or an overlay district. Development at this location requires site plan approval by City Council, because the property is zoned PD-392 and within the 161 Overlay Corridor.

### **ADJACENT LAND USES AND ACCESS:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Zoning and Land Uses**

Direction	Zoning	Existing Use
North	SF-2, MF-1	Single-Family Residences; Quad
South	None	Hill St; Hwy 161
West	SF-4, CO, C	Undeveloped Lots
East	SF-4	Single-Family Residences; Hill S Inst.

### **HISTORY:**

- September 17, 2019 City Council approved PD-392 and a Concept Plan, rezoning the property from SF- and CO to PD-392 for Multi-Family, Retail, and Restaurant uses (Case Number Z190801/CP190801).
- September 17, 2019 City Council approved a Future Land Use Map (FLUM) change to Mixed Use from the Open Space/Drainage and Mixed Use designation (Case Number CPA190801).

### **PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The 290 unit development is accessible from Hill Street and has two access points, one being an emergency access only gate. The development includes a clubhouse, pool, dog park and dog washing station, and outdoor recreational spaces.

#### *Access and Parking*

The property is accessible from two drives on Hill Street; however, one will be an emergency access only gate. The required number of parking spaces is determined by use. Table 2 provides the parking calculations for the proposed development. The number of parking spaces provided meets the number of spaces required.

**Table 2: Parking Calculations**

Standard	Calculation	Required	Provided	Meets
Min. Spaces 1 Bd Un198 (68%) x 1.25 SP/248		-	-	-
Min. Spaces 2 & 3 Bd92 (32%) x 2 SP/Unit184		-	-	-
<b>Total</b>		<b>432</b>	<b>444</b>	<b>Yes</b>
Garages	20% of Required Parl86		89	Yes

Carports	20% of Required Parking	134	Yes
Guest Parking	10% of Required Parking	44	Yes
<b>Total Spaces</b>	<b>432</b>	<b>444</b>	<b>Yes</b>

## **ZONING REQUIREMENTS:**

### *Density and Dimensional Requirements*

The subject property is zoned PD-392 with a base zoning of “MF-3” Multi-Family Three Residential District; development is subject to the “MF-3” standards in the Unified Development Code (UDC). The following table evaluates the density and dimensional standards of the proposed development. The proposal meets or exceeds the density and dimensional requirements.

**Table 3: Site Data Summary**

Standard	Required	Provided	Meets
Maximum Single Bed Units (65%)	189	198 (68%)	No
Minimum Living Area (Sq. Ft.)	600	678	Yes
Min. Lot Area (Sq. Ft.)	12,000	572,853	Yes
Min. Lot Width (Ft.)	100	1,321	Yes
Min. Lot Depth (Ft.)	120	571	Yes
Front Setback (Ft.)	30	30	Yes
Rear Setback (Ft.)	45	45	Yes
Side Yard Setback Interior	45	45	Yes
Side Yard Setback Street	30	30	Yes
Max. Height (Ft.)	60	50	Yes

### *Landscape and Screening*

The property is subject to the landscaping and screening requirements found in Article 8 and Appendix W of the UDC. Table 4 summarizes what is required and what is proposed. The proposal meets the landscape and screening requirements.

**Table 4: Landscape & Screening Requirements**

Standard	Required	Provided	Meets
Landscape Area (Sq. Ft.)	85,928	85,928	Yes
Trees	172	172	Yes
Street Trees	14	12	
Shrubs	1,719	2,241	Yes
Dumpster Enclosure	Masonry Enclosure	Masonry Enclosure	Yes

### *Exterior Building Materials and Architecture*

The exterior finish includes stucco, manufactured stone, wood tone fiber cement panels, and fiber cement siding material. The proposed building elevations meet the material and architectural requirements.

### *Appendix W Amenities*

Amenities include: dog park, dog washing station, gated access to adjacent park, pool, water feature, cabanas, outdoor swings and ping pong, and outdoor grill and dining area. The proposal meets Appendix W requirements for amenities.

**VARIANCES:**

The applicant is requesting 68% one bedroom units. The applicant meets the recommended design standards, Council can approve up to a 10% increase in one bedroom units.

**RECOMMENDATION:**

The Development Review Committee recommends approval.





**CASE LOCATION MAP**  
 Case Number S200201  
**Presidium Hill Street Apartments**



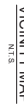
**City of Grand Prairie**  
 Development Services

☎ (972) 237-8255  
 🌐 [www.gptx.org](http://www.gptx.org)





## SITE DATA TABLE



### LEGEND

MANHATTAN IS TO BE LOCATED A CLUBHOUSE LEASING CENTER.

- MANHATTAN IS TO BE LOCATED A CLUBHOUSE LEASING CENTER.

## OVERALL SITE PLAN

RECEIVED: JANUARY 24, 2020

Tel. No.	
Cont'd	
	1-305-658-9

7-2

## SITE PLAN

**Kimley»»Horn**

No.	REVISIONS	DATE	BY
-----	-----------	------	----



Exhibit C- Elevations



Building Material Calculations					
Bldg. 1					
FACE	STUCCO	MANUFACTURED STONE	FIBER CEMENT PANEL	FIBER CEMENT SIDING	
NORTH	2274	202	1151	1201	
SOUTH	4401	1195	543	491	
EAST	4802	1000	507	426	
WEST	2501	2420	814	461	
Total	14278	4622	3025	2468	
% of Total	51%	26%	11%	26%	

HILL STREET

PRESIDIUM

Bldg. 1 SOUTH / NORTH ELEVATIONS

Scale: 1/8" = 1'-0" Date: 01.15.2020

CORREN

Exhibit C- Elevations



HILL STREET

PRESIDIUM

Bldg. 1 EAST / WEST ELEVATIONS

Scale: 1/8" = 1'-0" Date: 01.15.2020

CORRIEN

Exhibit C- Elevations



Building Material Quantities					
Bldg. 2					
FACE	STUCCO	MANUFACTURED STONE	FIBER CEMENT PANEL	FIBER CEMENT SIDING	
NORTH	4150	18	912	462	
SOUTH	2113	103	1118	1061	
EAST	2792	207	1435	795	
WEST	5188	103	1179	562	
TOTAL	14243	790	4624	2880	
% of Total	45%	2%	15%	18%	

HILL STREET

PRESIDIUM

Bldg. 2 SOUTH / NORTH ELEVATIONS  
Scale: 1/8" = 1'-0" Date: 01.15.2020

CORRIEN



Exhibit Elevations





Paving Material Categories			
RUC 3			
	STICCO	MANUFACTURED STONE	FIBER CEMENT PANEL
FACE			
NORTH	3409	931	796
EAST	1456	2506	1007
SOUTH	527178	232	2726
WEST	2277	205	1407
TOTAL	11837	605	4411
% of Total	45%	27%	20%





HILL STREET

PRESIDIUM

Bldg. 3 EAST / WEST ELEVATIONS

Scale: 1/8" = 1'-0" Date: 01.15.2020

OBRIEN

Exhibit C- Elevations



Building Material Calculations				
Bldg. 4				
FLAZGE	STUCCO	MANUFACTURED STONE	FIBER CEMENT PANEL	FIBER CEMENT SIDING
NORTH	4339	130	1116	467
SOUTH	2116	205	1316	1073
EAST	3243	110	673	403
WEST	1817	250	960	409
Total	11517	700	4065	2352
% of Total	44%	25%	16%	10%



HILL STREET  
PRESIDIUM

Bldg. 4 EAST / WEST ELEVATIONS  
Scale: 1/8" = 1'-0" Date: 01.15.2018

CORRIEN

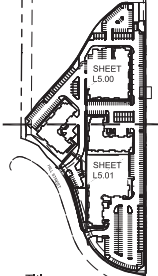
studioOutside

824 Exposition Avenue, Ste. 5  
Dallas, Texas 75226  
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f214.954.7162

Project Name

PRESIDIUM  
HILL STREET

1610 HILL STREET  
GRAND PRAIRIE, TEXAS



Issue Title

REVISED CITY SUBMITTAL II

Issue / Addenda / Revisions

Date	Description
2019.12.10	FIRST CITY SUBMITTAL
2020.01.17	REVISED CITY SUBMITTAL
2020.01.24	REVISED CITY SUBMITTAL II

Seal



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Drawing Title

Issue Date: 2020.01.24  
Project No: 19131  
Reviewed By: WTA  
Drawn By: CK

Sheet No.

L5.00

NOT FOR  
CONSTRUCTION

PLANT LEGEND:

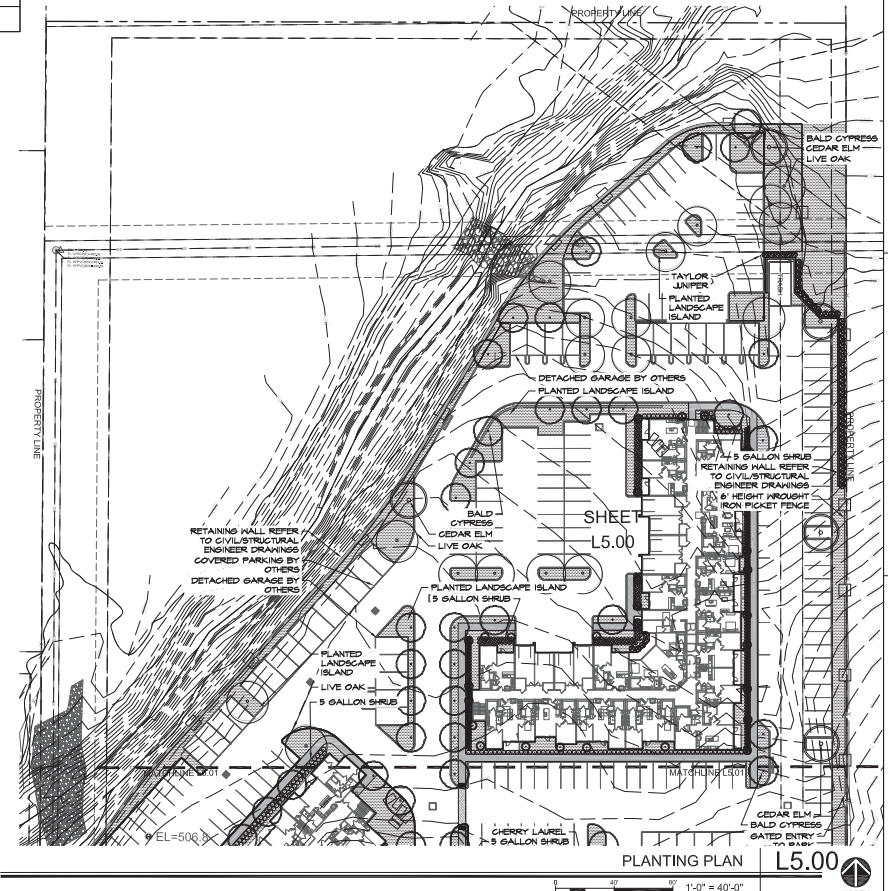
PLANT SYM.	PLANT ABBR.	COMMON NAME BOTANICAL NAME	QTY.	MINIMUM SIZE	MINIMUM HEIGHT	MINIMUM SPREAD	MAXIMUM SPACING	COMMENTS
TREES								
LO	LO	LIVE OAK <i>Quercus virginiana</i>	24	5" CAL.	18'-20'	1'-4"	AS SHOWN	NURSERY GROWN, STANDARD, STRONG CENTRAL LEADER, MATCHED, FULL, WELL BRANCHED
BC	BC	BALD CYPRESS <i>Taxodium distichum</i>	4	4" CAL.	15'-16'	5'-6"	AS SHOWN	NURSERY GROWN, STANDARD, STRONG CENTRAL LEADER, FULL, WELL BRANCHED
CE	CE	CEDAR ELM <i>Ulmus crassifolia</i>	4	5" CAL.	14'-15'	5'-6"	50'-0"	NURSERY GROWN, STANDARD, STRONG CENTRAL LEADER, MATCHED, FULL, WELL BRANCHED
YH	YH	YAUPOH HOLLY TREE <i>Ilex vomitoria</i>	8	5" CAL.	12'-14'	5'-6"	AS SHOWN	NURSERY GROWN, MULTI-TRUNK, FULL, WELL BRANCHED
RM	RM	OCTOBER GLORY RED MAPLE <i>Acer rubrum</i> 'PNC 0268'	5	5" CAL.	12'-14'	5'-6"	AS SHOWN	NURSERY GROWN, STANDARD, STRONG CENTRAL LEADER, PLANT AS SHOWN
ORNAEMENTAL TREES/LARGE SHRUBS								
TR	TR	TEXAS REDBUD <i>Cercis canadensis</i> var. <i>texensis</i>	17	6" GAL.	10'-12'	6'-1"	AS SHOWN	NURSERY GROWN, SINGLE TRUNK, MATCHED, FULL, WELL BRANCHED, NO GRAFTED VARIETIES
TJ	TJ	TAYLOR JUNIPER OR EQUAL <i>Juniperus virginiana</i> 'Taylor'	30	30 GAL.	7'-8'	2'	-	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, PLANT AS SHOWN
CL	CL	CHERRY LAUREL <i>Prunus caroliniana</i>	81	50 GAL.	7'-8'	2'-5"	AS SHOWN	NURSERY GROWN, MULTI-TRUNK, FULL AND WELL BRANCHED
SHRUBS & GROUNDCOVERS								
SH	SH	DWARF BURFORD HOLLY <i>Ilex cornuta</i>	775	5 GAL.	-	-	-	NURSERY GROWN, FULL, TRIANGULATE PLANT 56" O.C.
FM	FM	DWARF PALMETTO <i>Sabal minor</i>	571	5 GAL.	-	-	-	NURSERY GROWN, FULL, TRIANGULATE PLANT 56" O.C.
AC	AC	ABELIA ROSE CREEK <i>Abelia x grandiflora</i> 'Rose Creek'	124	5 GAL.	-	-	-	NURSERY GROWN, FULL, TRIANGULATE PLANT 50" O.C.
BL	BL	BLUE GRAHAM BLONDE AMBITION <i>Bouteloua gracilis</i> 'Blonde Ambition'	650	5 GAL.	-	-	-	NURSERY GROWN, FULL, TRIANGULATE PLANT 24" O.C.
GR	GR	PLANTED LANDSCAPE AREA TURF GRASS OR GROUNDCOVER	500	4" POT	-	-	-	NURSERY GROWN, FULL, TRIANGULATE

APPENDIX W: RESIDENTIAL  
DEVELOPMENT STANDARDS

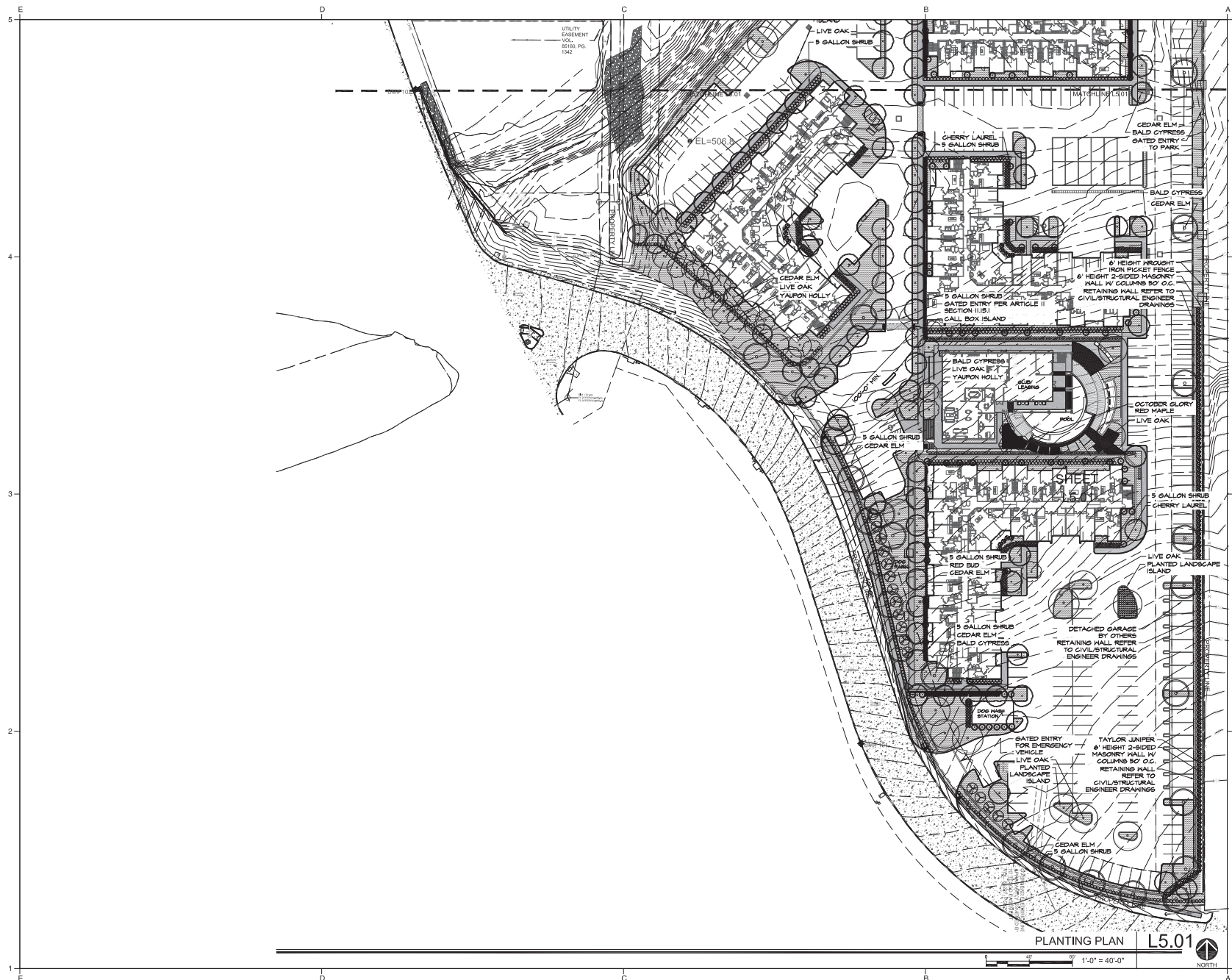
G. LANDSCAPING REQUIREMENTS	REQUIRED	PROVIDED
1. 15% OF TOTAL SITE (672,852 SF.) (PLANTED)	85,928 SF	87,487 SF
EXISTING LANDSCAPE TO REMAIN		153,698 SF
2. 3" CAL. TREE FOR EVERY 500 SF		
LIVE OAK - 6" CAL.		24
CEDAR ELM - 4" CAL.		36
BALD CYPRESS - 4" CAL.		91
OCTOBER GLORY RED MAPLE - 3" CAL.		3
YAUPOH HOLLY - 4" CAL.		18
Total:	172	172
5 GALLON SHRUBS OR LARGER - (10) SHRUBS EQUIVALENT TO (1) TREE - FOR UP TO 50% OF TREES REQUIRED FOR SITE		2,182
2A. STREET TREE REQUIREMENTS		
STREET TREE PLANTED 25' MIN. & 50' MAX LONG COLLECTORS AND ARTERIALS		
HILL STREET		
CEDAR ELM	12 @ 40' O.C.	
2B. PARKING LOT TREES		
ONE TREE FOR EACH 20 PARKING SPACES	23	130

PLANTING NOTES:

- CONTRACTOR SHALL STAKE OUT ALL TREE LOCATIONS IN FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- PLANTING BEDS SHALL BE STAKED FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION AND BED PREP.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- CONTRACTOR TO PROVIDE ONE-YEAR PLANT WARRANTY.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINE GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- REFER TO PLANS FOR STEEL EDGING LAYOUT / LOCATIONS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. LATEST EDITION AMERICAN ASSOCIATION OF NURSERMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- CONTRACTOR IS REQUIRED TO PERFORM A PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF DRAINAGE DOES NOT OCCUR WITHIN 24 HOURS THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC, AND STAND PIPE. ALL SUMPS SHOULD BE INCLUDED IN THE BASE BID AND PROVIDED AS A DEDUCT ALTERNATE IF NOT REQUIRED AFTER THE PERCOLATION TEST IS PERFORMED.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS, OVER DRIVE ON STREETS AND WALKS IS PROHIBITED.
- IMPORT TOPSOIL IF EXISTING TOPSOIL IS NOT ACCEPTABLE. EXCAVATE & REPLACE WITH ACCEPTABLE IMPORTED TOP SOIL AT A DEPTH OF -12" IN TURF AREAS & 24" IN SHRUB & GROUND COVER AREAS.







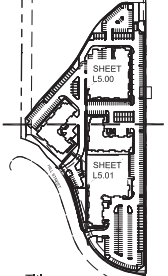
studioOutside

824 Exposition Avenue, Ste. 5  
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o214.954.7160  
f214.954.7162

Project Name

PRESIDIUM  
HILL STREET

1610 HILL STREET  
GRAND PRAIRIE, TEXAS



### Issue Title

## REVISÉD CITY SUBMITTAL II

### Issue / Addenda / Revisions

[illegible]

Seal



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Drawing Title

## PLANTING PLAN

Issue Date: 2020.01.24  
Project No: 19131  
Reviewed By: WTA  
Drawn By: CK

Sheet No. \_\_\_\_\_

L5.01

NOT FOR  
CONSTRUCTION





## Legislation Details (With Text)

<b>File #:</b>	20-9737	<b>Version:</b>	1	<b>Name:</b>	S200202 - Longhorn Steakhouse at Epic West Towne Crossing
<b>Type:</b>	Agenda Item	<b>Status:</b>		<b>Status:</b>	Items for Individual Consideration
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	S200202 - Site Plan - Longhorn Steakhouse at Epic West Towne Crossing (Commissioner Hedin/City Council District 2). Site Plan for a 5,660-sq. ft. restaurant on 1.463 acres. Lot 6R, Block B, Epic West Towne Crossing Phase 1, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH-161 Corridor Overlay District, and addressed as 3134 S HWY 161. The applicant is James Powell, Darden, the consultant is Kourtnie Airheart, CDS Development, and the owner is John Weber, Epic West Towne Crossing LP. City Council Action: February 18, 2020				
<b>Sponsors:</b>					
<b>Indexes:</b>					
<b>Code sections:</b>					
<b>Attachments:</b>	<a href="#">Exhibit A - Location Map.pdf</a> <a href="#">Exhibit B - Site Plan.pdf</a> <a href="#">Exhibit C - Building Elevations.pdf</a> <a href="#">Exhibit D - Landscape Plan.pdf</a> <a href="#">Exhibit E - Appendix F Checklist.pdf</a>				

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

S200202 - Site Plan - Longhorn Steakhouse at Epic West Towne Crossing (Commissioner Hedin/City Council District 2). Site Plan for a 5,660-sq. ft. restaurant on 1.463 acres. Lot 6R, Block B, Epic West Towne Crossing Phase 1, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH-161 Corridor Overlay District, and addressed as 3134 S HWY 161. The applicant is James Powell, Darden, the consultant is Kourtnie Airheart, CDS Development, and the owner is John Weber, Epic West Towne Crossing LP.

**City Council Action: February 18, 2020**

### Presenter

Savannah Ware, AICP, Senior Planner

### Recommended Action

Approve

### Analysis

#### SUMMARY:

Site Plan for a 5,660-sq. ft. restaurant on 1.463 acres. Lot 6R, Block B, Epic West Towne Crossing Phase 1,

City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH-161 Corridor Overlay District, and addressed as 3134 S HWY 161.

### **PURPOSE OF REQUEST:**

The applicant intends to construct a 5,660 sq. ft. restaurant on Lot 6R, Block B, Epic West Towne Crossing Phase 1. Development in a Planned Development District or a Corridor Overlay District requires City Council approval of a Site Plan. Development at this location requires City Council approval of a Site Plan because the property is zoned PD-3 and within the SH-360 Corridor Overlay District.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

### **ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	PD-364	Creek; SP Approved for Twin Peaks
South	PD-364	Restaurant (Olive Garden)
West	PD-364	Retail/Restaurants
East	PD-364	Undeveloped

### **PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The applicant is proposing to construct a 5,660 sq. ft. restaurant. The site will be accessible from two points on Esplanade. The first drive, already constructed, will provide direct access. The second drive will provide access via a mutual access drive across the Olive Garden site.

The Site Plan includes the 5,660 sq. ft. building, parking, fire lane and access drives, and a dumpster enclosure.

### **ZONING REQUIREMENTS:**

#### *Density and Dimensional Requirements*

The subject property is zoned PD-364 with a base zoning district of Commercial (C). Development is subject to the standards in PD-364 and the UDC. The following table evaluates the density and dimensional standards of the proposed development. The proposal meets or exceeds the density and dimensional requirements.

**Table 2: Site Data Summary**

Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	5,000	63,719	Yes
Min. Lot Width (Ft.)	50	244.23	Yes
Min. Lot Depth (Ft.)	100	232.16	Yes
Front Setback (Ft.)	25	25	Yes
Rear Setback (Ft.)	0	0	Yes
Max. Height (Ft.)	25	24*	Yes
Max. Floor Area Ratio	.5:1	.08:1	Yes

\*The flag poles on the roof extend to a height of 33.5 ft. Article 6 of the UDC allows certain features to be constructed 15 ft. higher than the maximum height requirement if not more than one-third of the total roof area is consumed by such

features and the features are set back from the edge of the roof a minimum distance of one foot for every foot by which such features extend above the roof surface of the principal building to which they are attached. The flag poles require an exception because they are set back 3 ft. from the roof.

### *Parking*

Appendix F states that parking calculations in Article 10 of the UDC shall serve as parking maximums. The proposal includes 93 parking spaces, which exceeds the maximum allowed.

### *Landscape and Screening*

The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC and PD-364. The table below summarizes these requirements. The proposal meets the landscape and screening requirements.

**Table 3: Landscape & Screening Requirements**

Standard	Required	Provided	Meets
Area (Sq. Ft.)	6,372	19,645	Yes
Trees	22	16	Yes*
Shrubs	128	194	Yes
Seasonal Color (C.G.)	96	364	Yes

\*The UDC allows shrubs to be substituted for trees at the rate of 10 shrubs equal one tree. The applicant is proposing to substitute 60 shrubs for six trees.

## **APPENDIX F STANDARDS:**

### *Building Design*

The exterior building materials include brick, stone, stucco, and fiber cement siding. Appendix F contains two windows requirements. The first is that facades shall include windows in an area that equals 50% of the overall vertical surface of all facades or that equals 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades. The building includes wood shutters on the west, north, and south facades. The applicant is proposing that the wood shutters count towards the window requirements and are included in the calculations below. The proposed building elevations do not meet the window requirements.

**Table 4: Windows**

Façade	Required	Provided	Meets
West	30%	7%	No
East	30%	16%	No
Total (Area)	50%	23%	No
Total (Length)	50%	35%	No

### *Menu Items*

Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The table below lists the Menu Items included in the proposal. The proposal includes 13 Menu Items and exceeds the Appendix F Menu Items requirements.

**Table 5: Appendix F Menu Items**

Category	Amenity
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Building Design	Materials Mix
Building Design	Stone Accent
Building Design	Color Contrast
Building Design	Articulated Public Entrance
Building Design	Roof Profile Variation
Building Design	Articulation Elements
Building Design	Canopy Variation
Building Design	Design Elements
Healthy, Smart & Sustainable Community	70% Native Plants
Healthy, Smart & Sustainable Community	Recycling Program
Healthy, Smart & Sustainable Community	Pollinator Friendly Flowers
Alternative Compliance	Foundation Plantings
Alternative Compliance	Enhanced Landscape Area
Alternative Compliance	Darden Harvest Program
Alternative Compliance	Community Involvement

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### **VARIANCES:**

City Council may approve variances to Appendix F if the applicant demonstrates that the proposal meets the intent of the ordinance and that the alternative design or measure provides an equal or greater level of quality and standard of development as mandated by the regulations.

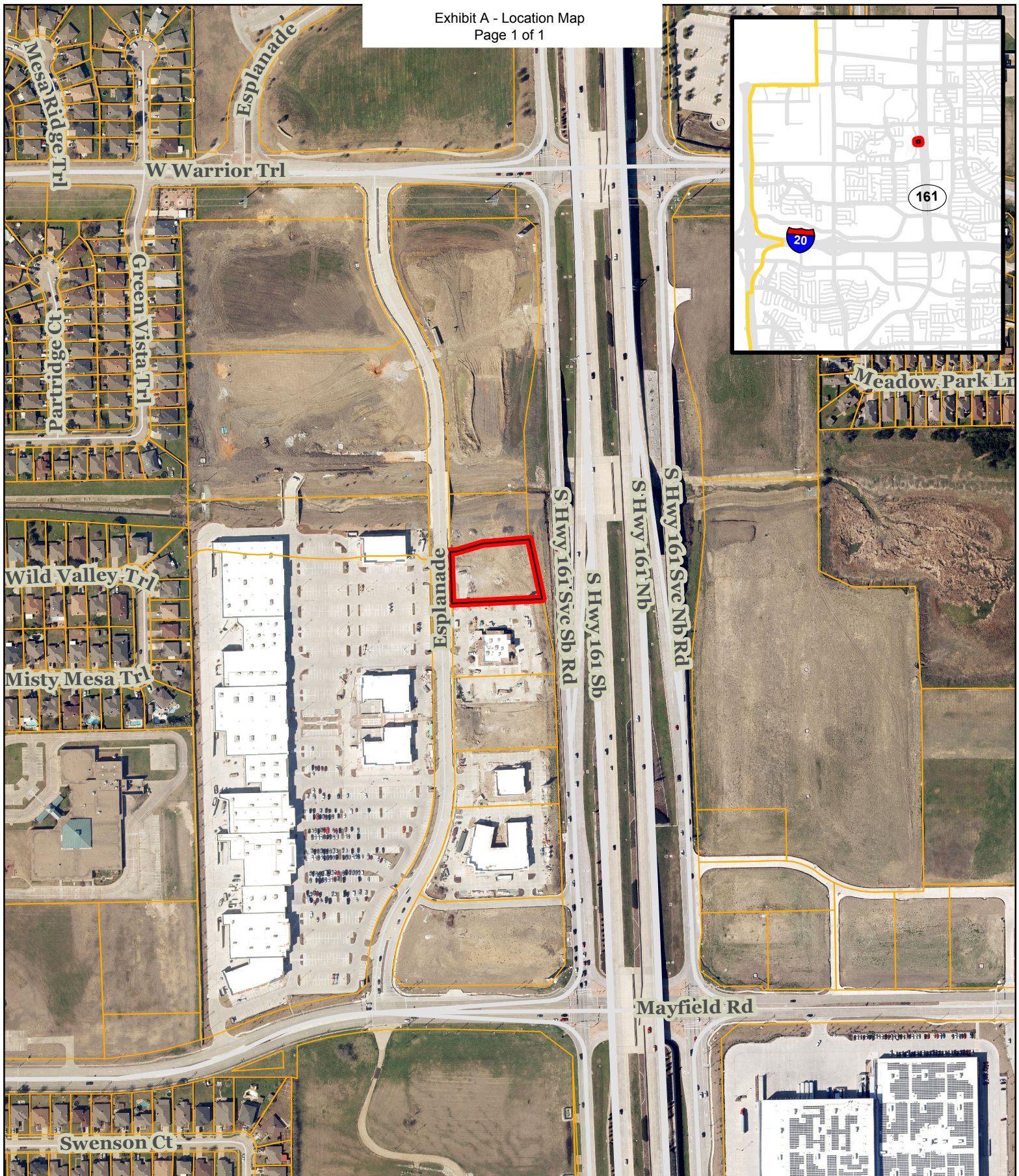
As a part of this Site Plan, the applicant is requesting the variances listed below.

1. Windows on Street-Facing Facades. Appendix F requires that windows account for 30% of street-facing facades. Windows account for 7% of the west facade and 16% of the east facade when 30% is required.
2. Total Windows. Appendix F requires that windows account for 50% of the area of all facades or 50% of the length of all facades. Windows account for 35% of the length of all facades when 50% is required.
3. Number of Parking Spaces. The proposed number of spaces exceeds what is allowed.
4. Maximum Height of Architectural Features: The maximum height of the architectural roof is 24 ft. The flag poles on top of the building extend to 33.5 ft. Article 6 of the UDC allows certain features to be constructed 15 ft. higher than the maximum height requirement if not more than one-third of the total roof area is consumed by such features and the features are set back from the edge of the roof a minimum distance of one foot for every foot by which such features extend above the roof surface of the principal building to which they are attached. The flag poles require an exception because they are set back 3 ft. from the roof.

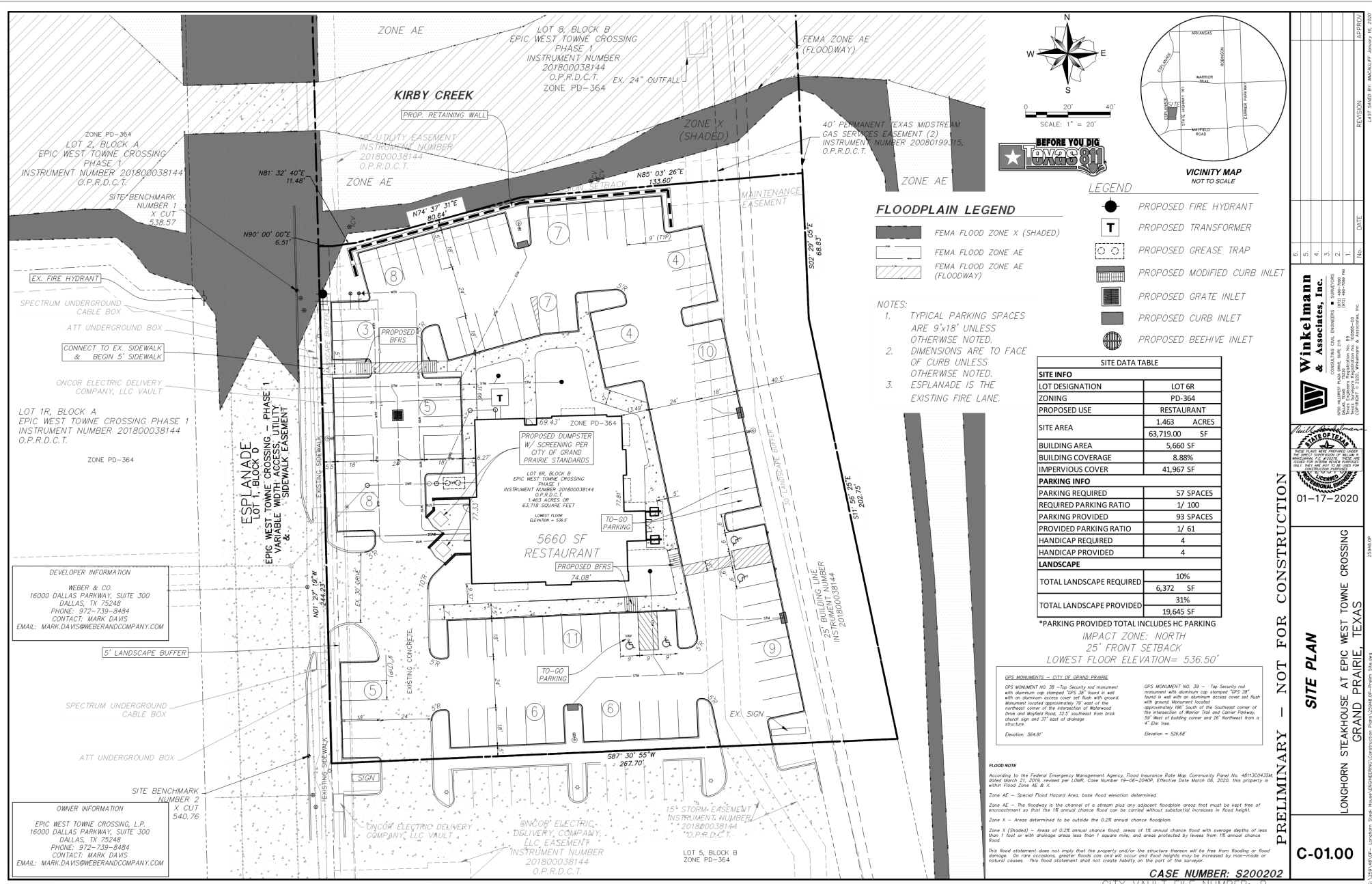
### **RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval with the condition that the applicant add windows to the east facade.











FAÇADE PLAN CHECKLIST			
THIS FAÇADE IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DEPARTMENT.			
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOFTOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PARAPET WALL OR SCREENING WALL. SCREENING WALLS SHALL BE THE SPECIFICATIONS OF THE ZONING ORDINANCE.			
WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.			
ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DEPARTMENT.			
WINDOWS SHALL HAVE A MAXIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.			
ANY DEVIATION FROM THE APPROVED FAÇADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN.			

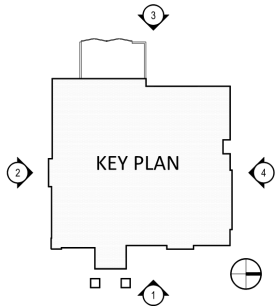


REQUIRED WINDOWS			
ELEVATION	REQUIRED	PROVIDED	MEETS
EAST (FRONT)	30%	284 SF	16%
WEST (REAR)	30%	0	0
TOTAL (AREA)	50%	284 SF	16%
TOTAL (LENGTH)	50%	36'-3"	24%

REQUIRED WINDOWS INCLUDING FAKE WINDOWS			
ELEVATION	REQUIRED	PROVIDED	MEETS
EAST (FRONT)	30%	284 SF	16%
WEST (REAR)	30%	125 SF	7%
TOTAL (AREA)	50%	409 SF	23%
TOTAL (LENGTH)	50%	53'-2"	35%

CANOPY CALCULATIONS		
ELEVATION	CANOPY LENGTH	CANOPY LINEAR %
EAST (FRONT)	43'-6"	56%
WEST (REAR)	0	0

MATERIAL LEGEND	
	OLD COUNTRY LEDGE CORONADO STONE
	EXTERIOR STAIN BY OLYMPIC 708 WALNUT
	GAF ROOFING TIMBERLINE NATURAL SHADOW, HICKORY
	STUCCO BENJAMIN MOORE PAINT HC-71 HASBROUCK BROWN
	HARDIE PLANK BENJAMIN MOORE PAINT 2164-20 MARSH BROWN
	HARDIE PLANK BENJAMIN MOORE PAINT PM-16 COUNTRY REDWOOD
	STUCCO BENJAMIN MOORE PAINT 063 PENNIES FROM HEAVEN
	STUCCO BENJAMIN MOORE PAINT HC-47 BROOKLINE BEIGE
	BRICK SOLDIER COURSE BELDEN BRICK QUAKER BLEND VELOR



**FRCH NELSON**  
A NELSON BRAND

ARCHITECT:  
NELCO ARCHITECTURE, INC.  
305 ELM ST.  
CINCINNATI, OH 45202  
T: (513) 243-3000

**LONGHORN**  
RESTAURANTS

OWNER:  
DARDEN RESTAURANTS, INC.  
1000 DARDEN CENTER DR.  
ORLANDO, FL 32839  
T: (407) 245-4000

ISSUE INFORMATION

01.17.2020

REVISIONS

NELCO ARCHITECTURE, INC.

PROJECT INFORMATION

**LONGHORN LH9.1**  
Grand Prairie, TX  
SH-101 & Mayfield  
Grand Prairie, TX 75052

PROJECT #:  
191004650.000

SHEET INFORMATION

EXTERIOR ELEVATIONS

DRAWN BY:  
E. Clavin

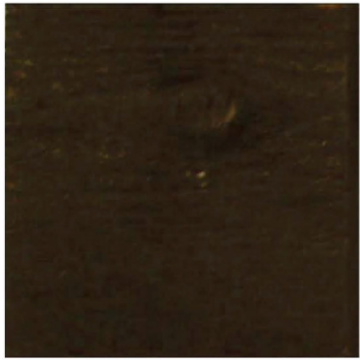
REVIEWED BY:  
J. Nelson

SCALE:  
As Noted

AUTHORIZED FOR:  
SITE PLAN SUBMITTAL

**A5.2**

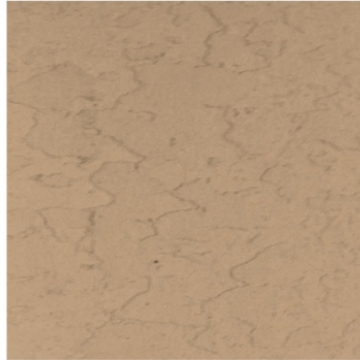




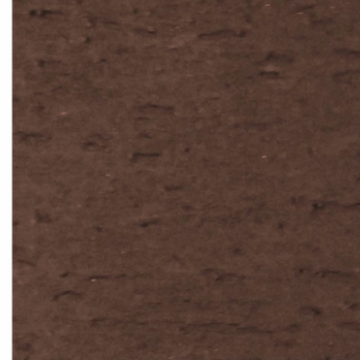
ST 5



S 1



S 2



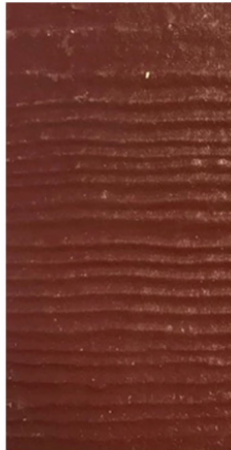
S 4



BR 1



STN 1



HP 1



HP 2

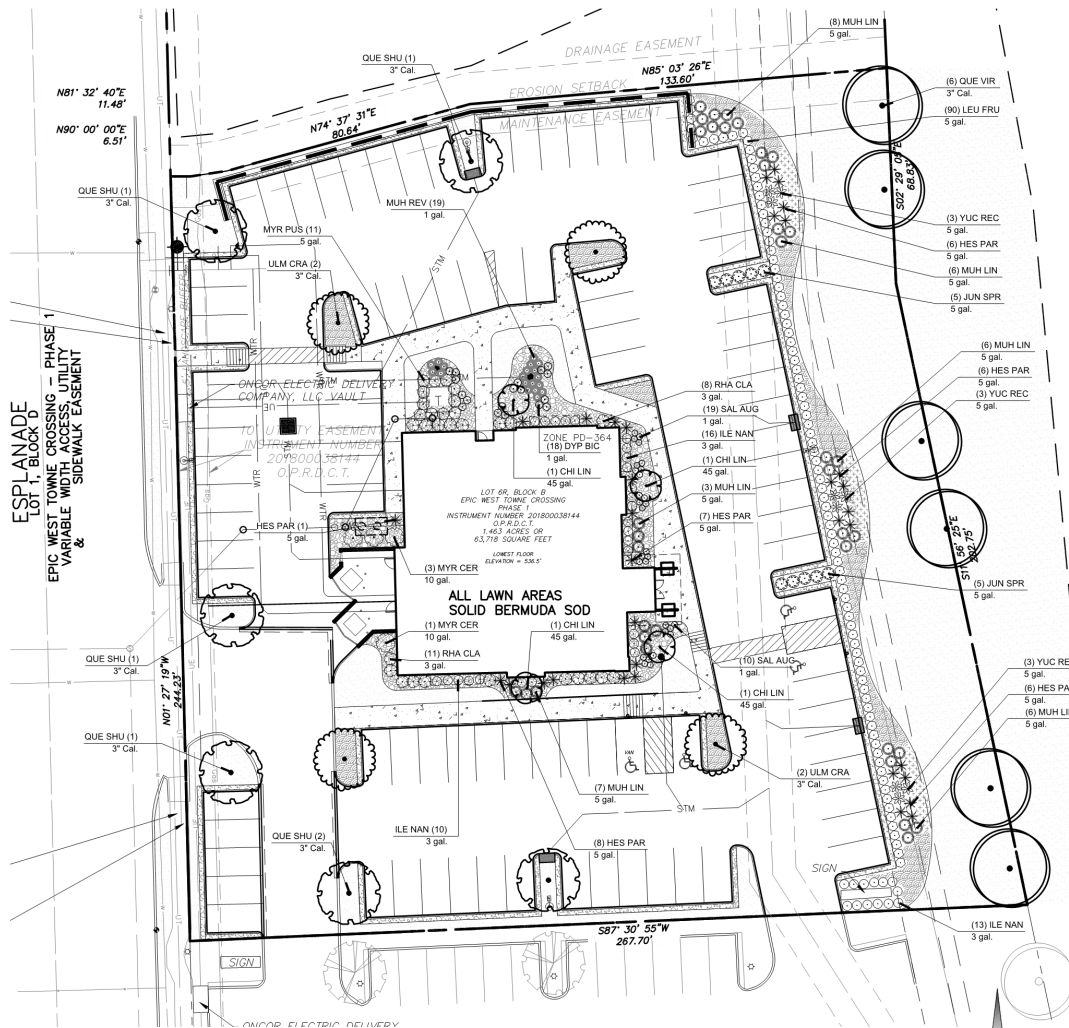


R 1



P 15

EXTERIOR FINISH LEGEND	
PAINT	
P 15	HASBROUCK BROWN
STAIN	
ST 5	WALNUT STAIN
STONE	
STN 1	CORONADO STONE - OLD COUNTRY LEDGE / OLD ENGLISH RUBBLE BLEND
SIDING	
HP 1	HARDIPLANK H2S LAP SIDING, COUNTRYLANE RED
HP 2	HARDIPLANK H2S LAP SIDING, CHESTNUT BROWN
BRICK	
BR 1	BELDEN BRICK SOLDIER COURSE
ROOF	
R 1	16. GAF TIMBERLINE NATURAL SHADOW IMPACT RESISTANT SHINGLES. COLOR: HICKORY
STUCCO	
S 1	NA15-0036 TO MATCH BM1124 WITH MOTTLING EFFECT IN NA15-0037
S 2	NA16-0004 TO MATCH BMHC-47
S 4	NA16-0008 TO MATCH BMHC-71



TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. SOD TURF IN ALL DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS.

**CAUTION!!!**  
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG:  
TEXAS EXCAVATION SAFETY SYSTEM (TESS)  
1-800-344-8377  
TEXAS ONE CALL SYSTEMS  
1-800-245-4545  
LONE STAR NOTIFICATION CENTER  
1-800-669-8344 EXT. 5



**BEFORE  
YOU DIG...**






















NOTE:

- NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.

PLANTING NOTES:

1. PLANT SIZE, TYPE, AND CONDITION SUBJEC TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL PLANTER AND PLANTING PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED, ALL TREES WITH SPREAD OF CANOPY TO BE AT LEAST 10 FEET.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
7. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL EXITS/ENTRIES TO SITE.
8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS, WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 12" TO 18".
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, CABLE, GAS, ELECTRIC, WATER AND SEWER, ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER. EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE ONLY ON THE BASIS OF CITY OF CHICAGO TREE MAINTENANCE AND REMOVAL OF SUBSTANTIAL GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS, VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO TRUNK OR LIMB. REMOVAL OF BRANCHES OR PARTS OF PLANT, ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
11. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES, CONTRACTOR TO VERIFY PRIOR TO PRICING.
12. INFO REGARDING PLANTING AND PLANTING BEDS, REFER TO SPECIFICATIONS FILE ALL CORNERS SMOOTH.
13. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURERS INSTRUCTIONS FOR PROTECTING GROUNDWORK FROM PLANTING AND PLANTING BEDS.
14. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND MAINTAIN ALL B&B PLANTS AND PLANTING BEDS IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
15. 12" X 16" ROCK MULCH BUILDING PAD AREA, PERIPHERAL AREAS AND PARKING LOT ISLANDS SHALL HAVE 3" OF HARDWOOD MULCH.
16. BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
17. PRIOR TO PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

## PLANT SCHEDULE

TRAIL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	QTY	REMARKS
	CHI LIN	Chilopsis linearis	Desert Willow	45 gal	8' Min Ht	As Shown	4	Multi Trunk, Tree Form, Native, Pollinator
	QUE SHU	Quercus shumardii	Shumard Red Oak	3" Cal.	12' Min Ht	As Shown	6	Single Straight Trunk, Native
	QUE VIR	Quercus virginiana	Southern Live Oak	3" Cal.	12' Min Ht	As Shown	6	Single Straight Trunk, Native
	ULM CRA	Ulmus crassifolia	Cedar Elm	3" Cal.	12' Min Ht	As Shown	4	Single Straight Trunk, Native
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	QTY	REMARKS
	DYP BIC	Dielsia bicolor 'African Gold' TM	Pure Gold Footlight Lily	1 gal.	18"	30" O.C.	18	
	HES PAR	Hesperaloe parviflora	Red Yucca	5 gal.	18"-24"		34	Native, Pollinator
	ILE NAN	Ilex vomitoria 'Nana'	Dwarf Yaupon	3 gal.	18"-24"	36" O.C.	39	Native
	JUN SPR	Juniperus chinensis 'Sea Spray'	Sea Spray Juniper	5 gal.	30"-36" Min HT	48" O.C.	10	
	LEU FRU	Leucophyllum frutescens	Texas Sage	5 gal.	30"-36" Min HT	36" O.C.	90	Native, pollinator
	MUH LIN	Muhlenbergia lindheimeri	Lindheimer's Muly	5 gal.	18"-24"	48" O.C.	36	Native
	MUH REV	Muhlenbergia reverchonii	Seep Muly	1 gal.	18"	30" O.C.		
	MYR CER	Myrica cerifera	Wax Myrtle	10 gal.		As Shown	4	Native
	MYR PLUS	Myrica pusilla	Dwarf Southern Wax Myrtle	5 gal.	30"-36" Min HT	48" O.C.	11	Native
	RHA CLA	Rhaphiolepis indica 'Clara'	Clara Indian Hawthorn	3 gal.	18"-24"	48" O.C.	19	Pollinator
	SAL AUG	Salvia fernandae 'Augusta Overberg'	Mealy White Sage	1 gal.	18"	24"	29	Native, pollinator
	YUC REC	Yucca rostrifolia	Spineless Yucca	5 gal.	30"-36" Min HT	48" O.C.	9	Native, Pollinator
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY	REMARKS
	CYN DAC	Cynodon dactylon	Bermuda Grass	sod			22,705 sf	
	DEC SIP	Decomposed Granite	Decomposed Granite	4"	Depth		1,627 sf	
	NAS PON	Nassella tenuissima 'Pony Tails'	Mexican Feathergrass	4"	Pot	18" O.C. 18" o.c.	585	Native
	RIV RCK	River Rock river Rock	River Rock	4"	Depth		2,354 sf	
	SAL GRE	Salvia greggii	Autumn Sage	1 gal.	Pot	24" O.C. 24" o.c.	80	Native, Pollinator

NOT

SITE SHALL BE IRRIGATED IN ACCORDANCE WITH CITY OF GRAND PRAIRIE LANDSCAPE ORDINANCE, SECTION VIII.7.6.

SITE WILL INCLUDE AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH RAIN, WIND & FREEZE SENSOR, DESIGNED AND INSTALLED BY A TEXAS LICENSED IRRIGATOR.

ALL LAWN AREA SHALL BE SOLID BERMUDA SOG

CITY OF GRAND PRAIRIE LANDSCAPE REQUIREMENTS		
AREA		
MIN. LANDSCAPE AREA	10% OF SITE REQUIRED TO BE LANDSCAPE	
	REQUIRED	PROVIDED
	60,718 SF @ 10% = 6,372 SF	10,645 SF (21%)
MIN. FRONT YARD LANDSCAPE	75% OF REQUIRED LANDSCAPE IN FRONT YARD	
	REQUIRED	PROVIDED
	6,372 SF @ 75% = 4,779 SF	13,790 SF (100%)
STREET TREES	1 TREE PER EACH 50 LF OF STREET FRONTAGE 27.0 LF @ 50 LF STREET TREES	
	REQUIRED	PROVIDED
	5 TREES	5 TREES
HWY 161		
	5 TREES	5 TREES
SITE TREES	1 TREE PER EACH 500 SF OF REQ. LANDSCAPE 6,372 SF / 500 = 13 SITE TREES	
	REQUIRED	PROVIDED
	13 TREES	16 TREES
INTERIOR PARKING TREES	PARKING LOT TREE FOR 20 SPACES 85 SPACES / 20 = 5 PARKING LOT TREES	
	REQUIRED	PROVIDED
	5 TREES	5 TREES
SITE SHRUBS	1 SHRUB PER EACH 50 SF OF REQ. LANDSCAPE 6,372 / 50 = 128 SITE SHRUBS	
	REQUIRED	PROVIDED
	128 5-GAL. SHRUBS	176 5-GAL. SHRUBS 10% OF TOTAL SHRUBS ARE NATIVE
FLOWERING PLANTINGS	15% OF REQUIRED SHRUBS	
	REQUIRED	PROVIDED
	128 x 5" = 390 (1" = 96 GAL)	160 (1" GAL) 19 (5" GAL) 132 (5" GAL) 261 POLLINATOR PLANTS

PRELIMINARY – NOT FOR CONSTRUCTION

**LANDSCAPE PLAN**

**Winkelmann**  
**& Associates, Inc.**

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**CONSULTING CIVIL ENGINEERS ■ SURVEYORS**  
 1750 WEST PULASKI AVENUE, SUITE 215  
 CHICAGO, ILLINOIS 60610  
 (312) 480-7090  
 (312) 480-7099 FAX

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Professional Engineers Registration No. 000866-00  
 Texas Surveyors Registration No. 100866-00  
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CASE #S200202  
LANDSCAPE PLAN

## Appendix F Menu Items Checklist

The Appendix F Menu Items Checklist intended to help developers organize their Development Request submittal and communicate Menu Items choices to Staff. This checklist is not intended to be used without first reading Appendix F. Developers must select a total of 12 Menu Items. Unless otherwise indicated, each Menu Item counts as 1 Menu Item.

**Instructions:** Complete checklist by indicating which Menu Items you select. After completing the checklist fill out the Menu Item Summary Table.

Usable Open Space & Pedestrian Linkages		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	Enhanced Usable Open Space	Usable Open Space that exceeds the minimum requirements with at least four Tier 1 amenities and three or more Tier 2 amenities. <ul style="list-style-type: none"> <li>Tier 1 Amenities: two types of seating, active water feature, furnished play area, dog park, sculpture, artwork, furnished outdoor game area, or comparable amenity proposed by the developer.</li> <li>Seasonal plantings in decorative planters, textured paving, living wall, mural, decorative lighting, USB charging station, electrical hook-up to allow programming, or a comparable amenity proposed by the developer.</li> </ul> → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Above-and-Beyond Usable Open Space (2)	Developers who are able to demonstrate to the Planning and Zoning Commission and City Council that the proposed Usable Open Space goes above-and-beyond the Enhanced Usable Open Space may count the space as two Menu Items. <ul style="list-style-type: none"> <li>* Include project narrative or exhibit that lists the proposed amenities and describes why the space should be considered above-and-beyond Usable Open Space.</li> </ul>
<input type="checkbox"/>	Public Art Piece	Dedicate at least 1% of the total project cost to one major public art piece to be centrally located.
<input type="checkbox"/>	Public Art Series	Dedicate at least 1% of the total project cost to multiple public art pieces to be located throughout the development.
Site Design & Building Orientation (Select at Least Two Menu Items)		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	75% Parking Behind Buildings	Buildings shall be placed towards the street with 75% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	100% Parking Behind Buildings (1.5)	Buildings shall be placed towards the street with 100% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	Add Parking Lot Trees	Provide one parking lot tree per five spaces. Parking lot trees should be capable of achieving 30% canopy coverage over the parking area within 10 years of planting.
<input type="checkbox"/>	Rain Gardens	Provide bioretention areas, or rain gardens, between every other row of parking.
<input type="checkbox"/>	Permeable Surface	Use permeable concrete and pavers on 15% of the surface parking lot.
<input type="checkbox"/>	Strategic Parking	Submit one of the following Strategic Parking Plans: <ul style="list-style-type: none"> <li>Parking Reclamation Plan – Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.</li> <li>Parking Flex Plan – Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.</li> </ul>

		<ul style="list-style-type: none"> <li>Phased Parking Plan – Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green spaces until converted to parking spaces. If, after five years, future parking spaces have not been constructed, they shall become permanent green space.</li> </ul> <p>→ Circle or highlight selected parking plan.</p>
<input type="checkbox"/>	Ceremonial Drive	Developments over 20 acres or developments that include multiple lots/buildings shall provide a grand promenade or ceremonial drive with trees planted every 30 feet.
<input type="checkbox"/>	Gateway	Developments over 20 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a gateway, frame usable open space, or create a view corridor with appropriate terminus.
<input type="checkbox"/>	Park Once Environment (1.5)	<p>Developments over 10 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a park once environment.</p> <ul style="list-style-type: none"> <li>Shared parking agreements between different lots/occupants must be in place.</li> </ul>
<b>Building Design (Select at Least Six Menu Items)</b>		
<b>✓ If Selected</b>	<b>Menu Item</b>	<b>Description</b>
<input checked="" type="checkbox"/>	Materials Mix	A single material, color, or texture shall not exceed 60% of a single facade.
<input checked="" type="checkbox"/>	Stone Accent	All four facades shall include a stone accent in a contrasting color and texture from the primary building material. The combined area of the stone accent shall be at least 25% of the vertical surface area of all facades.
<input checked="" type="checkbox"/>	Color Contrast	Each facade shall include at least two contrasting colors.
<input type="checkbox"/>	Specialty Accent	Color and/or material shall be used to highlight entrances of multi-tenant buildings. Specialty accents should reflect the personality or character of the occupant.
<input type="checkbox"/>	Corner Treatment	<p>Developers shall use at least three architectural elements to emphasize corners of the buildings: corner entrance, accent material, projecting cornice, tower element, enhanced windows, cupolas, gables, dormers, balconies, articulation, or a comparable element chosen by the developer. Corner treatments must be one of the Menu Items for buildings at key intersections.</p> <p>→ Circle or highlight the proposed architectural elements.</p>
<input checked="" type="checkbox"/>	Articulated Public Entrance	<p>The primary building entrance shall be visibly prominent from a public street. At least three of the following shall be used: recessed facade, projecting facade, raised canopy, taller door dimensions, double doors, lighting fixtures on either side of the entry, steps or stoops, changes in materials, arches, columns, eave treatment, transom windows, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed elements.</p>
<input type="checkbox"/>	Buildings at Key Intersections	<p>Developers should highlight key intersections by using additional design elements to create gateways or landmarks. Buildings at key intersections shall include at least three of the following features: corner plaza with plantings and seating, corner tower form, cupolas, large window openings, sloped or pitched roof form, richer colors, seasonal plantings, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed features.</p>
<input checked="" type="checkbox"/>	Roof Profile Variation	Developers shall use parapets or another technique to create a distinctive roof profile.
<input checked="" type="checkbox"/>	Articulation Elements	Each facade shall include at least three of the following items every 60 feet: change in roofline, facade modulation, window



		fenestration patterns, vertical columns, and change in material or texture. → Circle or highlight the proposed items.
<input type="checkbox"/>	Enhanced Windows	All facades with windows shall include at least two types of windows that differ in the style, size, shape, or placement.
<input checked="" type="checkbox"/>	Canopy Variation	Facades shall include multiple types of canopies. Changes in shape, color, or material should be used to highlight an architectural feature or particular user while complementing the established design theme.  * It is likely that individual tenants will determine the final design of the canopy. If tenants are unknown at this time, submit an exhibit that illustrates variations in shape, color, and material within the intended design theme.
<input checked="" type="checkbox"/>	Design Elements	Facades shall include at least three other design elements: trellises, towers, overhang eaves, banding, pilasters, projecting cornices, columns, string courses, rustication, lintels, or a comparable element proposed by the developer. → Circle or highlight the proposed design elements.
<b>Healthy, Smart, and Sustainable Community (Select at Least Two Menu Items)</b>		
<b>✓ If Selected</b>	<b>Menu Item</b>	<b>Description</b>
<input type="checkbox"/>	Mature Trees	Provide mature trees for 30% of required trees. The locations of the mature trees should be focused in usable open spaces and along pedestrian paths.
<input type="checkbox"/>	Connect to Parks and/or Trails	Provide a connection to existing or proposed parks and/or trails. The connection should function as a continuation, not just a point of access. The connection shall include appropriate amenities such as bike racks, pet waste disposal stations, water fountains, misting stations, or a comparable amenity proposed by the developer. → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Community Garden	Provide a community garden and participate in the City's community gardens partnership program.
<input type="checkbox"/>	Parking Reclamation Plan	Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.
<input type="checkbox"/>	Parking Flex Plan	Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.
<input type="checkbox"/>	Phased Parking Plan	Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green space until converted to parking spaces. If, after five years, future parking phases have not been constructed, they shall become permanent green space.
<input type="checkbox"/>	Green Infrastructure	Provide and maintain green infrastructure such as bioretention areas (rain gardens), planter boxes, or vegetated buffer strips consistent with NCTCOG's integrated Stormwater Management (iSWM) Program.
<input type="checkbox"/>	Solar Energy	Use solar energy to satisfy 25% or more of on-site energy demand.
<input type="checkbox"/>	Preserve Open Space	Reserve existing natural areas comprising at least 5% of the overall project size. Such areas should incorporate quality non-invasive tree stands, habitat or riparian areas. Such areas should not include existing floodplain or other areas already protected or inherently unsuitable for development.

<input checked="" type="checkbox"/>	70% Native Plants	Use native and drought tolerant species for at least 70% of planting materials.
<input type="checkbox"/>	Wi-Fi (.5)	Provide Free Wi-Fi in common areas.
<input type="checkbox"/>	USB Charging Stations (.5)	Provide USB charging stations in usable open spaces.
<input type="checkbox"/>	Smart Parking (.5)	Provide web-connected sensors in pavement that help people find and/or reserve a parking space.
<input type="checkbox"/>	Ride-Sharing Drop-Off (.5)	Provide designated spaces for ride-sharing pick-ups and drop-offs.
<input type="checkbox"/>	Permeable Paving (.5)	Use permeable pavement on 15% of the parking lot.
<input type="checkbox"/>	Green Roofs (.5)	Provide a green roof that is at least 50% of total roof area.
<input type="checkbox"/>	Living Wall (.5)	Provide a living wall that is at least 60% of the area of the facade on which it is constructed.
<input checked="" type="checkbox"/>	Recycling Program (.5)	Institute a mandatory recycling program for occupants. Provide recycling bins in addition to trash bins in common areas.
<input type="checkbox"/>	30% Native Plants (.5)	Use native and drought tolerant species for at least 30% of planting materials.
<input checked="" type="checkbox"/>	Pollinator Friendly Flowers (.5)	Use native plants that attract bees, butterflies, moths, and hummingbirds for at least 20% of required landscape materials.

#### Alternative Compliance

The Menu Items listed do not represent an exhaustive list. Developers may propose a comparable item not listed. If developers are able to prove that the proposed item meets the intent of Appendix F, Staff may recommend that the proposed item be counted as a Menu Item. Indicate the proposed item, identify which of the four elements the proposed item will count towards, and provide a brief description.

<input checked="" type="checkbox"/> If Selected	Proposed Item/Element	Description
<input checked="" type="checkbox"/>	<b>Foundation Plantings</b> Site Design & Building Orientation	Landscape area planted with shrubs around the foundation of the building on all four sides.
<input checked="" type="checkbox"/>	<b>Enhanced Landscape Area</b> Site Design & Building Orientation	Enhanced landscape areas north of the building.
<input checked="" type="checkbox"/>	<b>Darden Harvest Program</b> Healthy, Smart, and Sustainable Community Social Sustainability	Sustainable community strategies include continue to support community outreach programs and cultural events. As a participant in the Darden Harvest program, Longhorn Steakhouse will donate surplus food to local food banks, shelters, and charitable organizations.
<input checked="" type="checkbox"/>	<b>Community Involvement</b> Healthy, Smart, and Sustainable Community Social Sustainability	A portion of proceeds from pre-opening training events are donated to help local organizations in need. As restaurants are remodeled, furniture, fixtures, art, and dishes are donated to Habitat for Humanity ReStores. Darden hires local people and provides opportunities for advancement. Half of managers are promoted from hourly positions. 99% of General Managers and Directors are promoted from within.

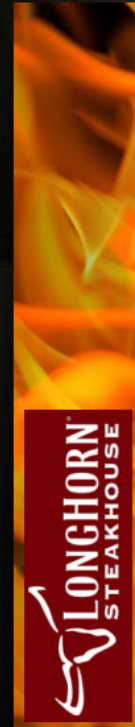
#### Menu Item Summary Table

Element	# of Menu Items
Usable Open Space & Pedestrian Walkways	
Site Design & Building Orientation	
Building Design	8
Healthy, Smart, Sustainable Community	2
Alternative Compliance	3
Total Menu Items:	13



Proposed  
Grand Prairie, Texas

<https://www.longhornsteakhouse.com/home>

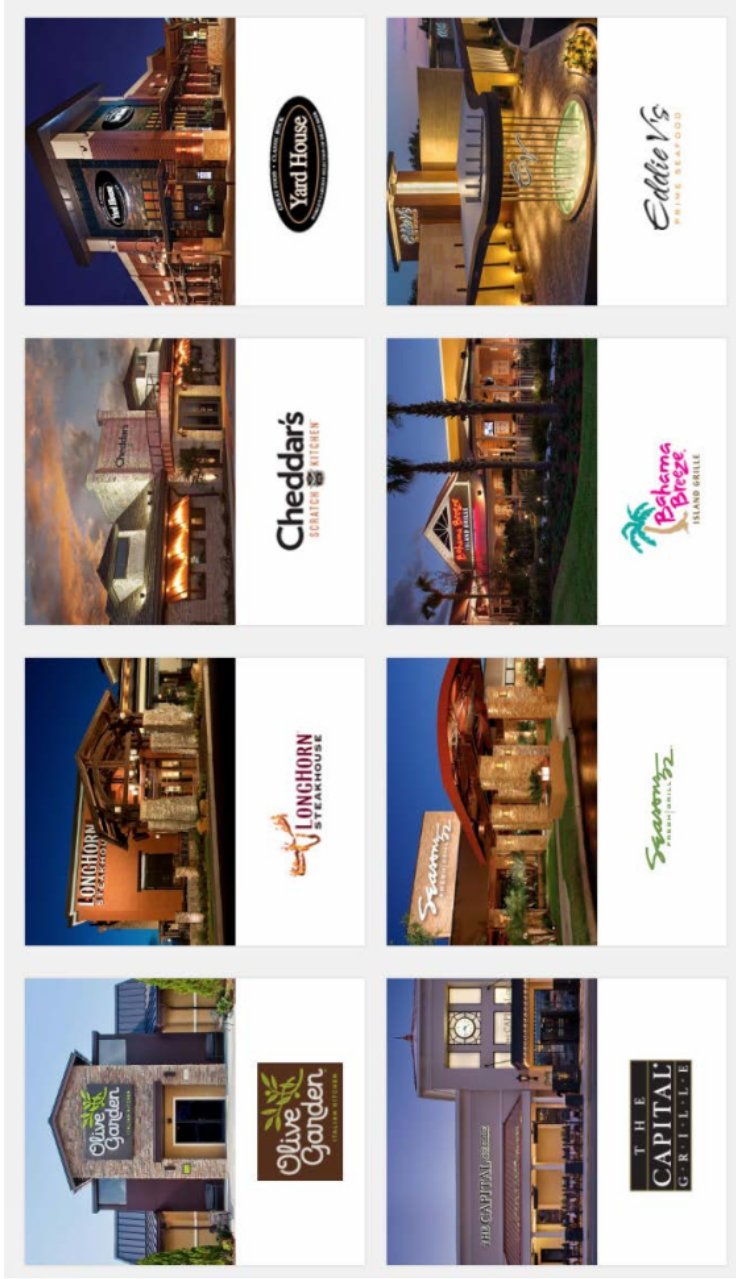


- Brings a popular full-service restaurant to Grand Prairie that averages 3,000 guests per week.
- Will be the third Longhorn in to open in DFW Metroplex.
- Restaurants that are open 7 days a week. Lunch and Dinner.
- Provides local jobs.
  - *We strive to find the best talent who match our core values and will deliver great guests experiences, and we know that with the nature of our team member base, the majority of applicants come right from the communities we serve.*
  - *Half of our managers are promoted from hourly positions. 99% of our General Managers are promoted from within, and 99% of our Directors of Operations are promoted from within.*
  - *We promote as many as 1,000 team members into management every year.*



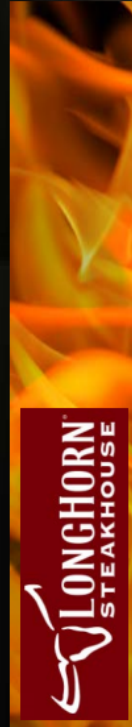
Grand Prairie, Texas





Some of the most recognizable names in full-service dining.

Darden currently employs approximately 180,000 team members in more than 1,700 restaurants, serving more than 380 million customers in hundreds of communities across North America.



Grand Prairie, Texas

## COMMUNITY

<https://www.darden.com/citizenship/people/community-involvement>

- Through the **Darden Harvest** program, Darden team members spend extra time to prepare, package, freeze, and store unserved, surplus food for donation to local food banks, shelters, and other charitable organizations. Since its inception, more than **100 million pounds of food – totaling more than 83 million meals** – have been donated through the Harvest program.
- Darden, including LongHorn Steakhouse, is a proud member of the **Women's Business Enterprise National Council** and supports Women-owned businesses throughout its supply chain, working together to provide inclusive opportunities for women entrepreneurs everywhere.
- With each new restaurant opening, a portion of proceeds from pre-opening training events are donated to help **local organizations** in need. As restaurants are remodeled, furniture, fixtures, art, and plateware are donated to **Habitat for Humanity ReStores**.
- **The Darden Restaurants, Inc. Foundation** works to bring to life this spirit of service through its philanthropic support of charitable organizations across the country. The Foundation does this by focusing its philanthropic efforts on programs that enhance the communities where our team members and guests live and work.
- Since 1995, the Darden Foundation has awarded more than \$90 million in grants to non-profit organizations such as Feeding America, the National Restaurant Association Educational Foundation (NRAEF) and American Red Cross.
- As a member of the **Red Cross** Annual Disaster Giving Program, Darden donates meals to help feed local families affected by natural disasters.
- Our funding helps support the **NRAEF ProStart program**, a national high school program that introduces students to career opportunities in the restaurant industry and provides them with an industry-driven curriculum on topics ranging from culinary techniques to management skills.





## Legislation Details (With Text)

<b>File #:</b>	20-9739	<b>Version:</b>	1	<b>Name:</b>	S200102 - Site Plan - Hakemy Retail Center
<b>Type:</b>	Agenda Item	<b>Status:</b>		<b>Status:</b>	Items for Individual Consideration
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	S200102 - Site Plan - Hakemy Retail Center (Commissioner Carranza/City Council District 3). Site Plan for an 8,000 sf retail building. Lot 1 and Lot 2, Block A, Hakemy Addition (proposed), 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP. City Council Action: February 18, 2020				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A - Location Map](#)  
[Exhibit B - Site Plan](#)  
[Exhibit C - Landscape Plan](#)  
[Exhibit D - Elevations](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

S200102 - Site Plan - Hakemy Retail Center (Commissioner Carranza/City Council District 3). Site Plan for an 8,000 sf retail building. Lot 1 and Lot 2, Block A, Hakemy Addition (proposed), 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.

**City Council Action: February 18, 2020**

### Presenter

David P. Jones, AICP, Chief City Planner

### Recommended Action

Approve

### Analysis

#### SUMMARY:

Site Plan for an 8,040-sq. ft. retail building (Liquor Store) on 1.06 acres. Hakemy Addition, Block A, Lot 1, City of Grand Prairie, Dallas County, Texas, zoned General Retail (GR), generally located northeast E. Pioneer Parkway and S. Belt Line Road, and addressed as 910 E. Pioneer Parkway.

## **PURPOSE OF REQUEST:**

The applicant intends to construct an 8,040-sq. ft. building on 1.06 acres. Site Plan approval by City Council is required for any project involving commercial use. Development at this location requires City Council approval of a Site Plan because the property is intended for commercial/retail use.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

## **ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	PD-75	Single-Family Residential
South	GR	Commercial Retail
West	GR	Undeveloped; Restaurant
East	GR	Restaurant

## **PROPOSED USE CHARACTERISTICS AND FUNCTION:**

The subject vacant property is generally located at the northeast corner of S Belt Line Road and E. Pioneer Parkway, just south of Lakeview Drive. In October 2009, a drive thru restaurant was constructed, along with a 30' driveway access easement parallel to E. Pioneer Parkway (SH 303) to serve the restaurant and future commercial properties as anticipated north of Pioneer Parkway. The proposed liquor store will share the parallel access drive with the drive thru restaurant as well as the restaurant to the east, which was developed in 2016. Future mutual access easements are being provided on the proposed plat for Lot 1. A corresponding final plat reflecting the easements is on the current agenda for the Commission's consideration (P200105).

The site will be accessible from both E. Pioneer Parkway and Lakeview Drive. A north-south access & utility easement is being provided to allow safe vehicle circulation from Pioneer to Lakeview Drive and serve the commercial center. Customer and employee parking spaces are provided on the north and west sides of the building.

12' X 12' Dumpster enclosure with exterior mason construction to match the building's color & materials is located northeast of the building.

## **ZONING REQUIREMENTS:**

### *Density and Dimensional Requirements*

Development is subject to the GR standards in the UDC. The following table evaluates the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.



**Table 2: Site Data Summary**

Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	5,000	47,173	Yes
Min. Lot Width (Ft.)	50	197	Yes
Min. Lot Depth (Ft.)	100	285	Yes
Front Setback (Ft.)	25	92	Yes
Rear Setback (Ft.)	0	0	Yes
Max. Height (Ft.)	25	25	Yes
Max. Floor Area Ratio	.35:1	0.17:1	Yes

*Parking*

The required number of parking spaces is calculated based on use. The following table shows the required parking and provided parking. The number of parking spaces exceeds what is required.

**Table 3: Required Parking**

Use	Standard	Required	Provided
Retail	1 Space/275 sq. ft.	33	38 (2 HC Spaces)

*Landscape and Screening*

The property is subject to landscape and screening requirements in Article 8 of the UDC. The table below summarizes these requirements. The proposal does not meet all of the landscape and screening requirements.

**Table 4: Landscape & Screening Requirements**

Standard	Required	Provided	Meets
Area (Sq. Ft.)	4,600	14,149	Yes
Trees (Site)	10	10	Yes
Trees (Street)	4	4	Yes
Shrubs	92	95	Yes

*Building Materials and Design*

The exterior building materials include primarily masonry materials (brick) and contrasting Stucco placed along the top portion of the exterior walls. An EFIS band and architectural metal features are incorporated into the elevation's design. The west and south facades are considered Primary Facades. Primary Facades are required to provide three elements. The west and south facades include two masonry accent materials, articulation with at least two distinct areas of vertical and horizontal offset, and windows.

The north and east facades are considered Secondary Facades. Secondary Facades must provide at least two elements. The north and east facades include masonry accent material or accent color comprising 10% to 25% of the area of the facade and articulation with at least two areas of vertical offset.

**RECOMMENDATION:**

The Development Review Committee (DRC) recommends approval.



# EXHIBIT A



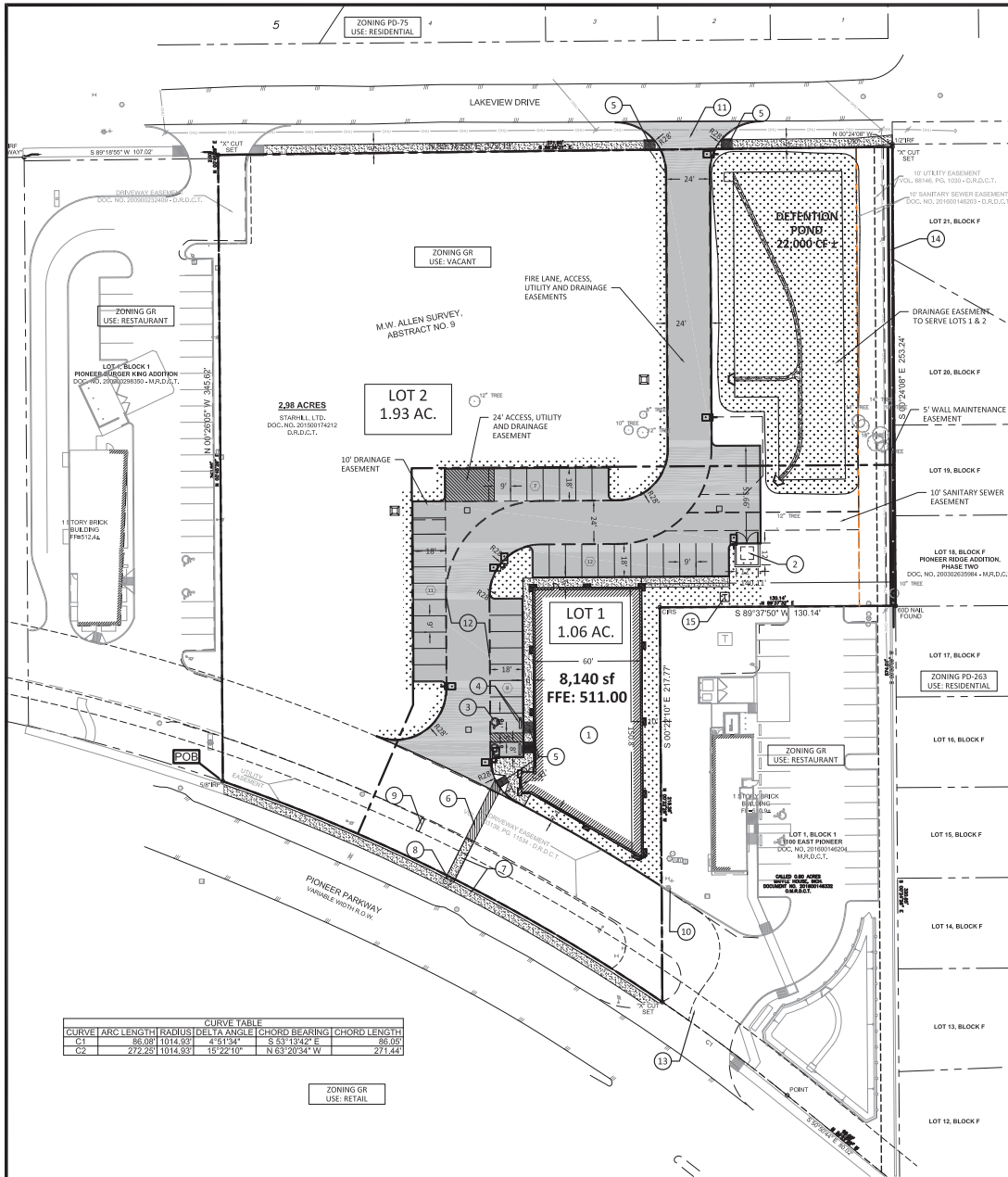
CASE LOCATION MAP  
Case Number: S200102  
Hakemy Retail Center



City of Grand Prairie  
Planning and Development  
(972) 237-8257 www.gptx.org

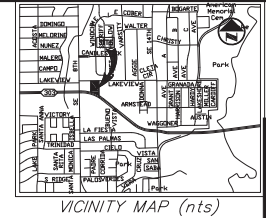


## Exhibit B - Site Plan



LEGEND:

- |  |   |
|--|---|
|  | PROPERTY LINE                                     |
|  | ADJOINED PROPERTY                                 |
|  | BUILDING SETBACK LINE                             |
|  | EASEMENTS   |
|  | EXISTING CURB                                     |
|  | PROPOSED CURB                                     |
|  | AND GUTTER  |
|  | PAINTED STRIPE<br>(TRAFFIC WHITE)                 |
|  | PAINTED WALKWAY<br>(TRAFFIC WHITE)                |
|  | NEW CONCRETE PAVING<br>(SEE DETAIL ON SHEET C-2)  |
|  | 4" THICK CONCRETE SIDE<br>COMPRESSIVE STRENGTH    |
|  | INTERIOR LANDSCAPED AREA<br>(RE: LANDSCAPE PLANS) |
|  | PARKING STALL COUNT                               |
|  | SITE LIGHTING<br>(SEE ELECTRICAL PLANS)           |



NOTES BY SYMBOL:

- 1 PROPOSED STRUCTURE.
- 2 12X12' DUMPMSTER WITH MASONRY ENCLOSURE TO MATCH BUILDING COLORS WITH 7" THICK CONCRETE APPROACH APRON. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- 3 ACCESSIBLE PARKING SPACE (TPY).
- 4 ACCESSIBLE PARKING POLE SIGNAGE & WHEELSTOPS (TPY) - 2 PLACES (1 REGULAR AND 1 VAN ACCESSIBLE SIGNAGE)
- 5 ADA COMPLIANT BARRIER FREE RAMP (BFR) TYP.
- 6 ADA COMPLIANT WALKWAY
- 7 NEW 5' WIDE SIDEWALK IN CITY & TxDOT ROW. CITY AND TxDOT PERMITS REQUIRED BEFORE CONSTRUCTION IN ROW
- 8 CONNECT ADA COMPLIANT WALKWAY TO SIDEWALK IN TxDOT ROW.
- 9 PROPOSED MONUMENT SIGN.
- 10 EXISTING FIRE HYDRANT
- 11 INSTALL DRIVEWAY PER CITY OF GRAND PRAIRIE CITY STANDARDS
- 12 FIRE LANE STRIPING PER GRAND PRAIRIE FIRE DEPARTMENT STANDARDS
- 13 SHARED EXISTING DRIVEWAY WITH ACCESS EASEMENT IN PLACE
- 14 PROPOSED 253 LF OF 6" TALL MASONRY WALL 1' INSIDE PROPERTY LINE
- 15 PAD MOUNTED TRANSFORMER BY ONCOR

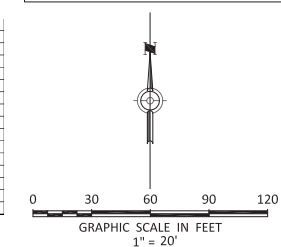
GENERAL NOTES:

1. ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
2. SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, AND DETAILS AROUND THE BUILDING.
3. ALL CURVE RADII ARE 3' UNLESS NOTED OTHERWISE.
4. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN AND DETAILS.

## FIRE DEPARTMENT ACCESS NOTES:

- INSTALL 3200 SERIES KNOX BOX FOR FIRE DEPARTMENT ACCESS TO BUILDING.
- ALL FIRE DEPARTMENT ACCESS ROADS TO BE INSTALLED, INSPECTED AND APPROVED PRIOR TO VERTICAL CONSTRUCTION.

LEGAL DESCRIPTION	HACKETT AVE. LOT 1, BLOCK
PROPOSED DEVELOPMENT	PACKAGE LIQUOR RETAIL
EXISTING ZONING	GR (GENERAL RETAIL)
IMPACT ZONE	NORTH
PROPOSED USE	LIQUOR STORE
SITE AREA (sf)	46,173
FRONT SETBACK (MIN./PROVIDED)	25/752.54'
REAR SETBACK (MIN./PROVIDED)	17/786.67'
SIDE SETBACK (MIN./PROVIDED)	10/107'
SIDE ADJACENT RESIDENTIAL SETBACK (MIN./PROVIDED)	207/104.02'
BUILDING AREA (sf)	8040.5F
FLOOR AREA RATIO	17.41%
TOTAL IMPERVIOUS SURFACE AREA (sf)	53343
PARKING REQUIRED (1 PER 250 SF)	38
PARKING PROVIDED	38
HANDICAP SPACE PROVIDED	2 SPACES



## SITE PLAN

LOT 1, BLOCK A; 1.06 AC.(146,832 SF)  
HAKEM ADDITION  
AND BEING SITUATED IN THE  
M.W. ALLEN SURVEY, ABSTRACT No. 9  
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS

**BENCHMARKS**  
GRAND PRAIRIE BM15; ALUMINUM DISK STAMPED "GPS 15"  
IN THE MEDIUM OF SPUR 303, 125' WEST OF CENTERLINE OF SW 3RD ST., &  
21' S. OF CENTERLINE OF WESTBOUND LANE OF SPUR 303  
X=2427429.01; Y=6944340.67; Z=518.12

GRAND PRAIRIE BM16; ALUMINUM DISK STAMPED "GPS 16"  
AT THE S.E. CORNER OF INTERSECTION OF SPUR 303 AND S.E. 14TH ST.  
X=2434330.39; Y=6942842; Z=481.01

DEVELOPER  
SAH REAL ESTATE, LP  
2331 W. NORTHWEST HWY, SUITE 201  
DALLAS, TX 75220  
ATTN: SHAIR AHMAD HAKEMY

ENGINEER  
THOMAS SITE DEVELOPMENT ENGINEERING INC.  
2004 BEDFORD ROAD, SUITE 200, BEDFORD, TX 76021  
ATTN: MATHEW THOMAS, PE PH: (214) 680-2726

**THOMAS**  
SITE DEVELOPMENT  
ENGINEERING INC.

**PIONEER PLAZA RETAIL**  
**LOT X, BLOCK 1, 1100 EAST PIONEER ADDITION**  
**9900 E. PIONEER PARKWAY, GRAND PRAIRIE, TX 75040**  
**CITY FILE NO. P-XXXX**

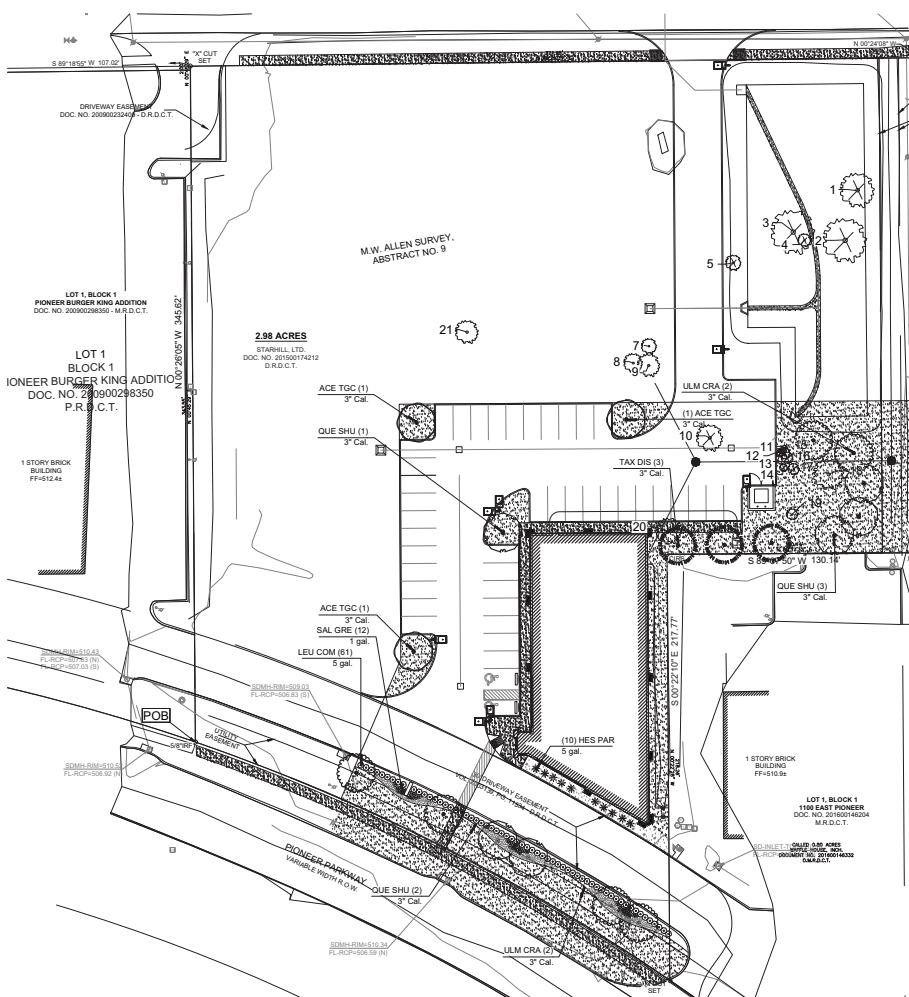
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FOR THE PURPOSE OF INTERIM  
REVIEW UNDER THE  
AUTHORITY OF:  
  
MATHEW THOMAS, P.E.  
LICENSED ENGINEER # 81576

23 Jan 2020

PRELIMINARY  
NOT FOR REGULATORY  
APPROVAL, PERMITTING OR  
CONSTRUCTION


C-2.0

Exhibit C - Landscape Plan



PLANTING NOTES:

1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY-GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL CONTAINER-GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL-ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
7. MAINTAIN PROTECT VISIBLE TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER, AND DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
11. EXISTING TREES ARE SHOWN TO REMAIN. CONTRACTOR SHALL PRUNE ONLY ON APPROVAL OF CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH, DEAD AND DISEASED BRANCHES AND LIMBS, VINES, BRUIERS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUNDCOVERS/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
16. BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
17. PRIOR TO PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

CAUTION!!!  
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATOR FOR UTILITY INFO.  
CALL BEFORE YOU DIG.  
TEXAS EXCAVATION SAFETY SYSTEM (TESS)  
1-800-344-8377  
TEXAS ONE CALL SYSTEMS  
1-800-242-6545  
LONG-TERM NOTIFICATION CENTER  
1-800-669-8344 EXT. 5



BEFORE YOU DIG...

TREE REMOVAL

Number	DBH	Common Name	Comment
1	36	COTTONWOOD	REMOVE EXEMPT
2	48	COTTONWOOD	REMOVE EXEMPT
3	48	COTTONWOOD	REMOVE EXEMPT
4	14	AMERICAN ELM	REMOVE EXEMPT
5	18	AMERICAN ELM	REMOVE EXEMPT
6	28	COTTON WOOD	REMOVE EXEMPT
7	8	ASH	PRESERVE
8	10	COTTONWOOD	PRESERVE
9	12	COTTONWOOD	PRESERVE
10	28	COTTONWOOD	REMOVE EXEMPT
11	6	PEAR	REMOVE EXEMPT
12	6	PEAR	REMOVE EXEMPT
13	8	PEAR	REMOVE EXEMPT
14	8	PEAR	REMOVE EXEMPT
15	12	PEAR	REMOVE EXEMPT
16	12	COTTONWOOD	REMOVE EXEMPT
17	12	AMERICAN ELM	REMOVE EXEMPT
18	36	COTTONWOOD	PRESERVE
19	12	AMERICAN ELM	REMOVE EXEMPT
20	28	COTTONWOOD	REMOVE EXEMPT
21	12	COTTONWOOD	PRESERVE

TOTAL CALIPER INCHES ON LOT	402"
TOTAL CALIPER INCHES RELOCATED	0" (0%)
TOTAL CALIPER INCHES REMOVED	324" (80%)

TOTAL MITIGATION REQUIRED:  
0" CALIPER INCHES

EXISTING TREE TO BE REMOVED

EXISTING TREE TO BE PRESERVED

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	QTY	REMARKS	
	ACE TGC	Acer rubrum 'October Glory'	October Glory Red Maple	3" Cal.	12' Min Ht	As Shown	3	Single Straight Trunk	
	QUE SHU	Quercus shumardii	Shumard Red Oak	3" Cal.	12' Min Ht	As Shown	6	Single Straight Trunk	
	TAX DIS	Taxodium distichum	Bald Cypress	3" Cal.	12' Min Ht	As Shown	3	Single Straight Trunk	
	ULM CRA	Ulmus crassifolia	Cedar Elm	3" Cal.	12' Min Ht	As Shown	6	Single Straight Trunk	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	QTY	REMARKS	
	HES PAR	Hesperaloe parviflora	Red Yucca	5 gal.	18"-24"	As Shown	10		
	LEU COM	Leucophyllum frutescens 'Compacta'	Compact Texas Ranger	5 gal.	30" - 36" Min HT	36" O.C.	85		
	SAL GRE	Salvia greggii	Autumn Sage	1 gal.	18"	24" O.C.	34		
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	SPACING	QTY	REMARKS
	CYN DAC	Cynodon dactylon	Bermuda Grass	sod				14,839 sf	
	NAS PON	Nassella tenuissima 'Pony Tails'	Mexican Feathergrass	4"	Pot	18" O.C.	18" o.c.	131	
	RIV XRI	River Rock x	River Rock	4"	Depth			571 sf	

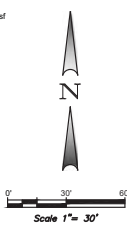
  
N

NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM PLANT MATERIAL MEETS THE CITY'S SIZE REQUIREMENTS AND TREE CALIPER MEASUREMENT HEIGHT ABOVE GRADE AS REQUIRED BY CITY.

- NOTE:
- NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.
  - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AND SHALL MAINTAIN THE LANDSCAPING FOR 90 DAYS PAST THE FINAL INSPECTION.

OF GRAND PRAIRIE LANDSCAPE REQUIREMENTS (GRAND PRAIRIE RETAIL)			
MIN. LANDSCAPE AREA	10% OF SITE REQUIRED TO BE LANDSCAPE : (46,002 SF X 10% = 4,600 SF)		
	REQUIRED	PROVIDED	
MIN FRONT YARD LANDSCAPE	4,600 SF		14,149 SF (31%)
	75% OF REQUIRED LANDSCAPE IN FRONT YARD- 4,600 SF X 75% = 3450 SF		
STREET TREES	1 TREE FOR EACH 50 LF OF STREET FRONTAGE		
	187 LF (50' X 4 STREET TREES)	PROVIDED	
SITE TREES	1 TREE PER EACH 500 SF OF REG. LANDSCAPE		
	4,600 SF / 500 = 9 SITE TREES	PROVIDED	
INTERIOR PARKING TREES	PARKING LOT TREE FOR EVERY 10 SPACES		
	41 SPACES / 10 = 4 PARKING LOT TREES	PROVIDED	
SITE SHRUBS	1 SHRUB PER EACH 50 SF OF REG. LANDSCAPE		
	4,600 SF / 50 = 92 SITE SHRUBS	PROVIDED	
POLLINATOR PLANTINGS	92 SHRUBS (5-GAL.)		95 SHRUBS
	95 NATIVE DROUGHT TOLERANT SHRUBS (100%)		

NOTE:  
SITE SHALL BE IRRIGATED IN ACCORDANCE WITH CITY OF GRAND PRAIRIE LANDSCAPE ORDINANCE, SECTION VII.7.6.  
SITE WILL INCLUDE AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH RAIN, WIND & FREEZE SENSOR, DESIGNED AND INSTALLED BY A TEXAS LICENSED IRRIGATOR.  
ALL LAWN AREAS SHALL BE SOLID BERMUDA SOD.  
ALL REQUIRED LANDSCAPE AREAS SHALL BE PERMANENTLY MAINTAINED AND SHALL HAVE AN IRRIGATION SYSTEM INSTALLED MEETING ALL APPLICABLE CITY CODES AND APPROVED BY THE BUILDING OFFICIAL.  
IN CASE OF CONFLICT WITH OTHER NOTES OR SPECIFICATIONS, CITY REQUIREMENTS OVER RULE.



TREE PRESERVATION/  
LANDSCAPE PLAN  
S200102

Date: JAN 16, 2020  
Drawn By: JAC  
Checked By: JAC  
Revisions:



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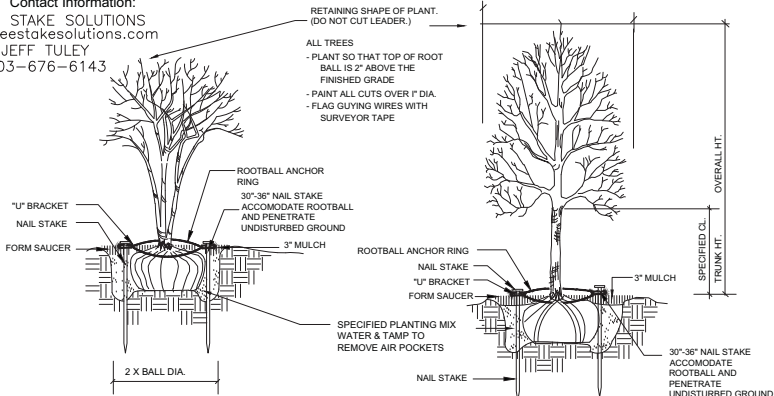
GRAND PRAIRIE RETAIL  
PIONEER PARKWAY  
GRAND PRAIRIE, TX

Sheet No.  
L-1



Exhibit C - Landscape Plan

Contact Information:  
TREE STAKE SOLUTIONS  
www.treestakesolutions.com  
JEFF TULEY  
903-676-6143

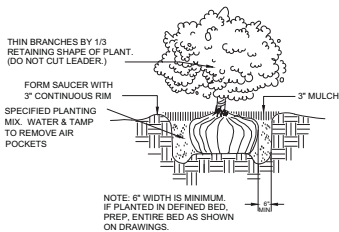


STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER

SCALE: NOT TO SCALE

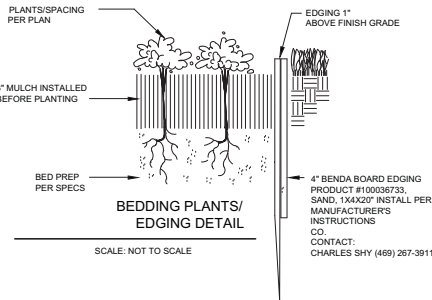
SAFETY STAKE BY TREE STAKE SOLUTIONS

SCALE: NOT TO SCALE

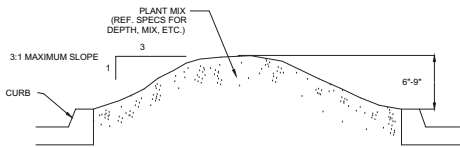


SHRUB PLANTING

SCALE: NOT TO SCALE

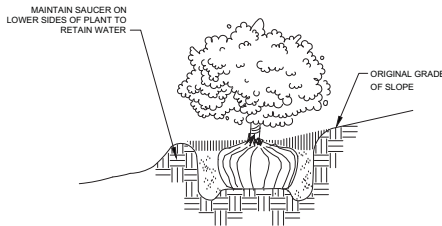


SCALE: NOT TO SCALE



TYPICAL PARKING LOT ISLAND MOUNDING

SCALE: NOT TO SCALE



TREE/SHRUB PLANTING ON SLOPES

SCALE: NOT TO SCALE

PLANTING DETAILS  
S200102

Date JAN 16, 2020  
Drawn By JAC  
Checked By GAC  
Revisions



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GRAND PRAIRIE RETAIL  
PIONEER PARKWAY  
GRAND PRAIRIE, TX

Sheet No.

L-2

Exhibit C - Landscape Plan

SECTION 02830

TREES, SHRUBS, AND GROUND-COVERS

PART I - GENERAL

1.01 DESCRIPTION OF WORK

A. Scope

1. Bed prep
2. Metal edging
3. Topsoil
4. Planting
5. Mulching
6. Guarantee

B. Related Work Specified Elsewhere

1. General Requirements - All locations
2. Section 02740 - Irrigation Trenching
3. Section 02750 - Irrigation
4. Section 02800 - Lawns

1.02 QUALITY ASSURANCE

A. Contractor Qualifications

Minimum of three (3) years experience on projects of similar characteristics and size.

B. Reference Standards:

1. American Joint Committee Of Horticultural Nomenclature: Standardized Plant Names, Second Edition, 1942;
2. American Association Of Nurserymen: American Standard For Nursery Stock, 1973

C. Substitutions

1. Substitutions accepted only upon written approval of Landscape Architect and Owner.
2. Submit substitutions possessing same characteristics as indicated on plans and specifications.

D. Inspection and Testing

1. The project Owner's representative reserves the right to inspect and tag plants at the place of growth with the Contractor.
2. Inspection at place of growth does not preclude the right of rejection due to improper digging or handling.
3. Owner's representative reserves the right to request soil samples and analysis of soil and plant mix. Remove or correct unacceptable soil. Cost of testing by Contractor.

1.03 SUBMITTALS

A. Certificates

1. Submit State and Federal certificates of inspection with invoice. (Only if required by Landscape Architect.)
2. File certificates with Owner's representative prior to material acceptance.

1.04 PRODUCT DELIVERY, STORAGE, & HANDLING

A. Preparation of Delivery

1. Balled & Burlaped (B&B) Plants
  - a. Dig and prepare for shipment in manner that will not damage roots, branches, shape, and future development after replanting.
  - b. Ball with firm, natural ball of soil, wrapped tightly with burlap covering entire ball.
  - c. Ball size and ratios: conform to American Association of Nurserymen standards unless otherwise shown on plant list.

2. Pack plant material to protect against climatic & seasonal damage, as well as breakage injuries during transit.
3. Securely cover plant tops with ventilated tarpaulin or canvas to minimize wind-whipping and drying in transit.
4. Pack and ventilate to prevent sweating of plants during transit. Give special attention to insure prompt delivery and careful handling to point of delivery at job site.

B. Delivery

1. Deliver fertilizer, fertilizer tablets, peat, mulch, soil additives, and amendment materials to site in original, unopened containers, bearing manufacturer's guaranteed chemical analysis, name, trade name, trademark, and conformance to State law.
2. Deliver plants with legible identification and size labels on example plants.
3. Protect during delivery to prevent damage to root ball or desiccation of leaves.
4. Notify Owner's representative of delivery schedule in advance so plant material may be inspected upon arrival at job site.
5. Deliver plants to job site only when areas are prepared.

C. Storage

1. Protect roots of plant material from drying or other possible injury with wetted mulch or other acceptable material.
2. Protect from weather.
3. Maintain and protect plant material not to be planted immediately upon delivery.

D. Handling

1. Do not drop plants.
2. Do not damage ball, trunk, or crown.
3. Lift and handle plants from bottom of container or ball.

1.05 JOB CONDITIONS

- A. Planting Season: Perform actual planting only when weather and soil conditions are suitable in accordance with locally acceptable practices.
- B. Protection: Before excavations are made, take precautionary measures to protect areas trucked over and where soil is temporarily stacked.

1.06 GUARANTEE

- A. Guarantee new plant material for one year after acceptance of final installation (ie. Final Acceptance of project).
- B. Make replacement (one per plant) during one year guarantee period at appropriate season with original plant type, size and planting mature.
- C. Repair damage to other plants, lawns, & irrigation caused during plant replacement at no cost to Owner.
- D. Use only plant replacements of indicated size and species.

PART II - PRODUCTS

2.01 MATERIALS

A. Plant Materials

1. Hardy under climatic conditions similar to locality of project.
2. True to botanical and common name variety.
3. Sound, healthy, vigorous, well branched, and densely foliated when in leaf, with healthy well-developed root system.
4. Free from diseases, insects, and defects such as knots, sun-scald, windburn, injuries, disfigurement, or abrasions.
5. Conform to measurements after pruning with branches in normal positions.
6. Conform to American Association of Nurserymen standards unless shown differently on plant list.
7. Trees:
  - a. Single, straight trunks, unless indicated otherwise
  - b. Trees with weak, thin trunks not capable of support will not be accepted.
  - c. All multi-stem trees are to have a minimum of three stems, similar in size and shape, with a spread of approximately 2/3 of the height. All yaupons to be female. Crape myrtle color selection by Landscape Architect.
8. Nursery grown stock only.
9. Subject to approval of Landscape Architect.
10. Seasonal color:
  - a. Annuals in 4" pots or as specified
  - b. Perennials in 4" pots, clumps, bulbs as specified

B. Topsoil

1. Natural, fertile, friable soils having a textural classification of loam or sandy loam possessing characteristics of soils in vicinity which produce heavy growth of crops, grass, or other vegetation.
2. Free of subsoil, trash, organic litter, objectionable weeds, clods, shale, stones 1/4" diameter or larger, stumps, roots or other material harmful to grading, planting, plant growth, or maintenance operations.
3. Presence of vegetative parts of Bermuda grass (Cynodon dactylon), Johnson grass, and nut grass (Cyperus rotundus), and other hard to eradicate weeds or grass will be cause for rejection of topsoil.
4. Test topsoil (cost by Contractor):
  - a. Available nitrogen
  - b. Available phosphorus
  - c. Available potash
  - d. Iron
  - e. pH: 5.5 to 7.0
  - f. Decomposed organic matter: 6-10%

C. Mulch

1. Top Dressing Mulch - Shredded cypress or hard wood only
2. Soil prep - 3 Parts native soil to 1 Part composted landscape mix.
3. In pre-packaged bags only; bulk shredded material is unacceptable

D. Peat Moss Commercially available baled peat moss or approved equivalent.

E. Staking Material

1. Stakes for tree support:

- a. Construction grade yellow pine, stain brown
- b. Size as noted on plans

2. Wires:

- a. Padded with rubber hose to protect tree
- b. Galvanized
- c. With galvanized turnbuckle
- d. Evenly tighten turnbuckles with plant in vertical position.

F. Water

1. Free of oils, acids, alkali, salt, and other substances harmful to plant growth
2. Location: Furnish temporary hoses and connections on site.

G. Sand - Washed builders sand

H. Antidesiccant - "Wilt-proof" or equal.

I. Edging - 3/16" X 4" green, new and unused, with stakes.

2.02 MIXES

A. Planting Mixture

1. Existing topsoil - 50%
2. Shredded pine bark - 50%
3. Fertilizer 10-20-10 at 30 lb./1000 SF

B. Planting Mix for Annuals/Perennials

1. Prepare above mix
2. Add 2" of sand

- C. Azalea mix: solid peat moss in hole 9" wider than root ball each direction. Plant in solid peat moss and provide mound at base of plant to allow for drainage.
- D. Japanese maple, dogwood, camellias: Provide 50/50 peat moss to topsoil mix, raise for drainage.

PART III - EXECUTION

- A. UTILITIES - verify location of all utilities prior to initiating construction; repair any damage caused by construction at no cost to owner.

3.02 INSPECTION

- A. Inspect plants for injury and insect infestation; prune prior to installation.
- B. Inspect site to verify suitable job conditions.

3.03 FIELD MEASUREMENTS

- A. Location of all trees and shrubs to be staked in the field and approved by Owner's representative prior to installation.
- B. Location of all groundcover and seeding limits as shown on plans.

3.04 EXCAVATION FOR PLANTING

A. Pits

1. Shape - Vertical hand scarified sides and flat bottom.
2. Size for trees - 2 feet wider or twice the root ball, whichever is greater.
3. Size for shrubs - Size of planting bed as shown on drawings.
4. Reclaim soil mix thoroughly, full depth.
5. NOTE: If beds are proposed beneath drip line of existing tree canopy, pocket prep plants. Do not rot-kill beneath existing trees.

B. Obstructions Below Ground

1. Remove rock or underground obstructions to depth necessary to permit planting.
2. If underground obstructions cannot be removed, notify Owner's representative for instruction.

- C. Excess Soil: Dispose of unacceptable or excess soil away from the project site at Contractor's expense.

3.05 PLANTING

A. General

1. Set plants 2" above existing grade to allow for settling.
2. Set plants plumb and rigidly trained in position until planting mixture has been tamped solidly around ball.
3. Apply soil in accordance with standard industry practice for the region.
4. Thoroughly settle by water jetting and tamping soil in 6" lifts.
5. Prepare 3" dish outside root ball after planting.
6. Thoroughly water all beds and plants.
7. Stake trees and large shrubs as indicated on plans.
8. Apply anti-desiccant according to manufacturer's instructions.
9. Apply commercially manufactured root stimulator as directed by printed instruction.
10. Plant and fertilize bedding plants per trade standards.
11. Apply 3" mulch top dressing.

B. Balled Plants

1. Place in pit of planting mixture that has been hand tamped prior to placing plant.
2. Place with burlap intact to ground line. Top of ball to be 2" above surrounding soil to allow for settling.
3. Remove binding at top of ball and lay top of burlap back 6".
4. Do not pull wrapping from under ball, but cut all binding cord.
5. Do not plant if ball is cracked or broken before or during planting process or if stem or trunk is loose.
6. Backfill with planting mixture in 6" lifts.

C. Container Grown Plants

1. Place in pit on planting mixture that has been hand tamped prior to placing plant.
2. Cut cans on two sides with an acceptable can cutter, and remove root ball from can. Do not injure root ball.
3. Carefully remove plants without injury or damage to root balls.
4. Backfill with planting mixture in 6" lifts.

D. Mulching

1. Cover planting bed evenly with 3" of mulch.
2. Water immediately after mulching.
3. Where mulch has settled, add additional mulch to regain 3" thickness.
4. Hose down planting area with fine spray to wash leaves of plants.

D. Pruning

1. Prune minimum necessary to remove injured twigs and branches, dead wood, and suckers; remove approximately 1/3 of twig growth as directed by landscape architect; do not cut leaders or other major branches of plant unless directed by landscape architect.
2. Make cuts flush, leaving no stubs.
3. Plant cuts over 1" diameter with approved tree wound paint.
4. Do not prune evergreens except to remove injured branches.

1.06 EDGING

- A. Stake edging alignment with string line prior to installation. Use framing square to insure right angles are true.
- B. Install all edging straight and true as indicated on drawings. Where edging layout is circular in design, maintain true and constant radii as shown.
- C. When required on slopes, make vertical cuts (approximately 6" on center) on bottom of edging to allow bending without cracking edging.
- D. Install edging so that approximately 1" is exposed on lawn side. Edging should not be visible from bed side after application of mulch.
- E. Align edging with architectural features (ie pavement joints, windows, columns, wall, etc.) when drawings indicate.
- F. Bend all corners, do not cut corners.
- G. Interlock all pieces with pre-fabricated connectors.
- H. Install with all stakes on inside of planting bed.
- I. Remove, file off all sharp corners and burrs.

3.07 CLEAN-UP

- A. Sweep and wash all paved surfaces.

Remove all planting and construction debris from site, including rocks, trash and all other miscellaneous materials.

3.08 MAINTENANCE

- A. Contractor responsible for routine, and regular maintenance of site until Final Acceptance is awarded by Owner. Work includes:

1. Weeding (weekly)
2. Watering (as required)
3. Pruning
4. Spraying
5. Fertilizing
6. Mulching
7. Mowing (weekly)

- B. Provide Owner and Landscape Architect with preferred maintenance schedule in writing. Schedule shall include the above-listed tasks and shall address all frequencies, rates, times, levels, etc.

END OF SECTION

Date JAN 16, 2020  
Drawn By BJS  
Checked By GAC  
Revisions



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GRAND PRAIRIE RETAIL  
PIONEER PARKWAY  
GRAND PRAIRIE, TX

Sheet No.

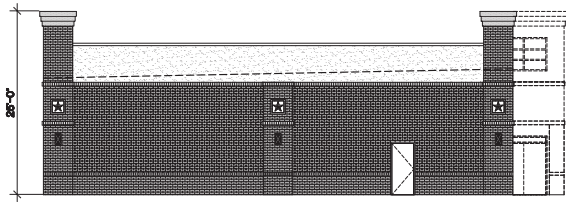
L-3

PLANTING SPECIFICATIONS  
S200102

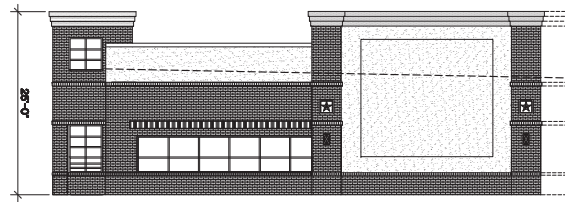


L-4

# Exhibit D - Building Elevations



TOTAL FACADE AREA= 1735 SF  
PORTLAND CEMENT PILASTER- STUCCO= 280 SF  
EIFS BAND= 50 SF  
STOREFRONT= 46 SF  
METAL= 21 SF  
BRICK= 1338 SF



TOTAL FACADE AREA= 1455 SF  
PORTLAND CEMENT PILASTER- STUCCO= 647 SF  
EIFS BAND= 156 SF  
STOREFRONT= 214 SF  
METAL= 21 SF  
BRICK= 423 SF

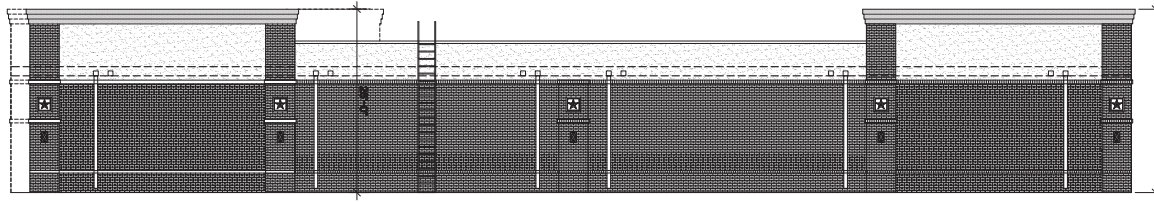
04 NORTH ELEVATION

1/8"=1'-0"

03 SOUTH ELEVATION

1/8"=1'-0"

MA International  
2801 Perth Street  
Dallas, TX75220  
johnma2@yahoo.com



TOTAL FACADE AREA= 5741 SF  
PORTLAND CEMENT PILASTER- STUCCO= 815 SF  
EIFS BAND= 160 SF  
STOREFRONT= 0 SF  
METAL= 21 SF  
BRICK= 2751 SF

02 EAST ELEVATION

1/8"=1'-0"

ARCHITECT SEAL

ENGINEER SEAL  
OR INTERNATIONAL

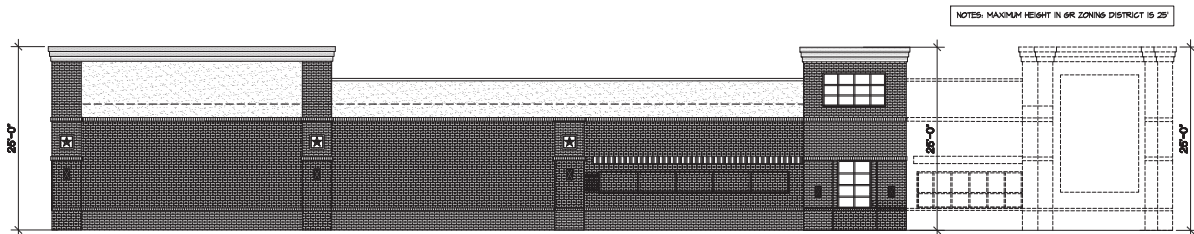
DATE	REVISION
11.18.14	CONSTRUCTION DOCUMENT

PIONEER PLAZA  
GRAND PRAIRIE  
TEXAS

ELEVATIONS  
CASE#-S200102

2/9/10-24  
JMS RL

A4.00



TOTAL FACADE AREA= 2952 SF  
PORTLAND CEMENT PILASTER- STUCCO= 555 SF  
EIFS BAND= 135 SF  
STOREFRONT= 160 SF  
METAL= 47 SF  
BRICK= 2041 SF

01 WEST ELEVATION

1/8"=1'-0"





## Legislation Details (With Text)

<b>File #:</b>	20-9740	<b>Version:</b>	1	<b>Name:</b>	Z200201/S200204 - Take 5 Oil Change at Victory at Lake Ridge
<b>Type:</b>	Ordinance	<b>Status:</b>		<b>Status:</b>	Public Hearing
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	Z200201/S200204 - Zoning Change/Site Plan - Take 5 Oil Change at Victory at Lake Ridge (Commissioner Spare/City Council District 6). Zoning change to allow Minor Auto Repair by right on property with a base zoning district of General Retail and a Site Plan for an oil change facility on 1.296 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom Rd. The applicant: Robert Baldwin, Baldwin Associates and the owner is Tony Ramji, Victory @ Lakeridge LLC. City Council Action: February 18, 2020				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A - Location Map.pdf](#)  
[Exhibit B - Site Plan.pdf](#)  
[Exhibit C - Building Elevations.pdf](#)  
[Exhibit D - Landscape Plan.pdf](#)  
[Exhibit E - Appendix F Checklist.pdf](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

Z200201/S200204 - Zoning Change/Site Plan - Take 5 Oil Change at Victory at Lake Ridge (Commissioner Spare/City Council District 6). Zoning change to allow Minor Auto Repair by right on property with a base zoning district of General Retail and a Site Plan for an oil change facility on 1.296 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom Rd. The applicant: Robert Baldwin, Baldwin Associates and the owner is Tony Ramji, Victory @ Lakeridge LLC.

**City Council Action: February 18, 2020**

### Presenter

Savannah Ware, AICP, Senior Planner

### Recommended Action

Deny

### Analysis

## **SUMMARY:**

Zoning change to allow Minor Auto Repair by right on property with a base zoning district of General Retail and a Site Plan for an oil change facility on 1.296 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom Rd.

## **PURPOSE OF REQUEST:**

The applicant intends to construct a 1,462 sq. ft. oil change facility on a portion of Lot 6, Block 1 of Victory at Lakeridge Addition. Minor Auto Repair, including Oil Change and Quick Lube, is not an allowed use. The first purpose of the request is to rezone the subject property to allow Minor Auto Repair.

The second purpose of the request is to obtain City Council approval of the Site Plan. Development in a Planned Development District or a Corridor Overlay District requires City Council approval of a Site Plan. Development at this location requires City Council approval of a Site Plan because the property is zoned PD-283 and within the Lake Ridge Corridor Overlay District.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

## **ADJACENT LAND USES:**

The following table summarizes the zoning designation and existing use for the surrounding properties.

**Table 1: Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	PD-283	Undeveloped, Parking, & Drives
South	PD-267	Undeveloped
West	PD-283	Convenience Store w/ Gas Sales
East	PD-283	Restaurant, Retail, Service Uses

## **HISTORY:**

- February 18, 2003: City Council approved a zoning change (Case Number Z021201) which created Planned Development-283 District and established General Retail as the base zoning district for the subject property.
- December 5, 2016: The Planning and Zoning Commission approved a Preliminary Plat (Case Number P161202) for Lots 1, 4, 5, and 6.
- October 1, 2018: The Planning and Zoning Commission approved a Final Plat (Case Number P181003) for Lot 6.
- December 11, 2018: City Council approved amendments to Article 4: Permissible Uses and Article 30: Definitions of the Unified Development Code (UDC) which removed auto repair from the list of permissible uses in the General Retail District.

## **PROPOSED USE CHARACTERISTICS AND FUNCTION:**

Take 5 Oil Change provides drive-through oil changes. The 1,462 sq. ft. building includes three garage bays. The site is accessible from W Camp Wisdom Rd. Customers will enter the garage bays from the north then

remain in the vehicle while employees change the car's oil.

### **CONFORMANCE WITH THE COMPREHENSIVE PLAN:**

The 2018 Comprehensive Plan's Future Land Use Map (FLUM) designates this location as Commercial/Retail/Office. Commercial uses are more intense than retail establishments, yet also provide goods and services for the public. Examples include hotels, automotive services, and big box retailers. Retail land use is intended to provide for a variety of restaurants, shops, grocery stores, and personal service establishments. While Minor Auto Repair is a type of use included in the broader Commercial/Retail/Office FLUM category, it is a more intense use than intended for retail land use.

### **ZONING REQUIREMENTS:**

#### *Density and Dimensional Requirements*

The subject property is zoned PD-283 with a base zoning district of General Retail (GR). Development is subject to the standards in PD-283 and the UDC. The following table evaluates the density and dimensional standards of the proposed development. The proposal meets or exceeds the density and dimensional requirements.

**Table 2: Site Data Summary**

Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	5,000	21,787	Yes
Min. Lot Width (Ft.)	50	106.58	Yes
Min. Lot Depth (Ft.)	100	229.83	Yes
Front Setback (Ft.)	55	55	Yes
Rear Setback (Ft.)	0	0	Yes
Max. Height (Ft.)	25	17.5	Yes
Max. Floor Area Ratio	.35:1	.07:1	Yes

#### *Landscape and Screening*

The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC and PD-283. Table 3 summarizes these requirements. The proposal provides the required number of trees and shrubs.

The UDC requires street trees along arterials. The width of the subject property is about 106 ft. at the front setback line but only 39 ft. at the front property line. The subject property is carved out of an existing lot and excludes the area directly in front of the proposed building. This area includes the landscape buffer required along Camp Wisdom Rd and is the appropriate area for street trees.

**Table 3: Landscape & Screening Requirements**

Standard	Required	Provided	Meets
Area (Sq. Ft.)	2,179	2,194	Yes
Trees	8	8	Yes
Shrubs	44	46	Yes
Seasonal Color (C.G.)	33	33	Yes

### **APPENDIX F STANDARDS:**

#### *Building Design*

The exterior building materials include brick, stone, and Exterior Insulation and Finish System (EIFS) used as

an accent material.

Appendix F contains two windows requirements. The first is that facades shall include windows in an area that equals 50% of the overall vertical surface of all facades or that equals 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades.

**Table 4: Windows**

Façade	Required	Provided	Meets
South	30%	28%	No
Total (Length)	50%	56%	Yes

### *Menu Items*

Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The table below lists the Menu Items included in the proposal. The proposal includes 10.5 Menu Items when 12 Menu Items are required.

**Table 5: Appendix F Menu Items**

Category	Amenity
Site Design & Building Orientation	Add Parking Lot Trees
Site Design & Building Orientation	Permeable Surface
Building Design	Stone Accent
Building Design	Color Contrast
Building Design	Corner Treatment
Building Design	Roof Profile Variation
Building Design	Articulation Elements
Building Design	Canopy Variation
Healthy, Smart, and Sustainable Community	Mature Trees
Healthy, Smart, and Sustainable Community	70% Native Plants
Healthy, Smart, and Sustainable Community	Pollinator Friendly Flowers

## **ANALYSIS:**

### *Zoning Change*

In 2018 the City updated its use charts and definitions for auto-related businesses. One of the goals of the amendments was to reevaluate the appropriateness of some uses within certain zoning districts and change the use charts to remove or restrict a use from certain zoning districts. As a result of this evaluation, the City removed Auto Sales and Auto Repair from the list of permissible uses in the General Retail District.

The nature of the General Retail District hasn't changed since 2018 to warrant adding Minor Auto Repair to the list of permissible uses in the General Retail District. Staff is unaware of any new information to justify this change district wide.

This request singles out a piece of land for special treatment to allow Minor Auto Repair in a General Retail District for this particular property. Staff doesn't believe the characteristics of the property or the surrounding area warrant such a change.



### *Site Design*

The subject property is carved out of an existing lot. Staff is concerned that the site boundaries and design will negatively impact how the remainder of the lot is developed. The Site Plan depicts in concept a restaurant with a drive-through lane. While the restaurant is not a part of the request, it depicts how the proposal will impact the design.

- The majority of the parking is behind the restaurant and there isn't a safe or convenient path from the parking area to the restaurant.
- It shows parking in the 30 ft. landscape buffer along Camp Wisdom Rd, which doesn't conform to the rest of the existing shopping center.
- There is a single lane used for the drive-through and access to the parking area in the rear.
- The design relies on access from the lot to the east. There is not a cross access easement at this location. Additionally, the design would require removing the existing curb which isn't located on the remainder of the lot.

### **RECOMMENDATION:**

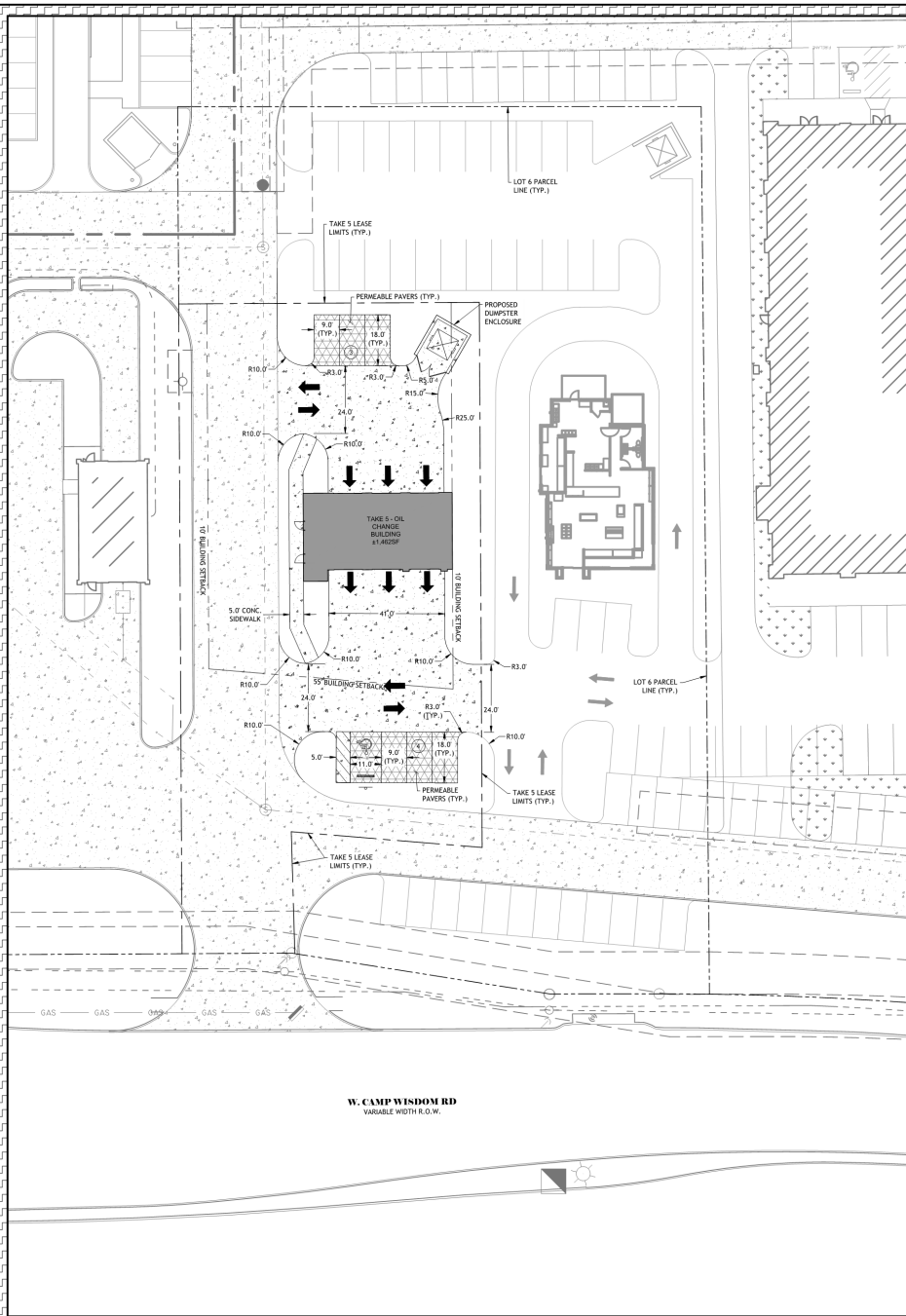
The Development Review Committee (DRC) recommends denial of the request.

### **Body**













**LEGEND**

---	TAKE 5 LEASE LIMITS
---	PARCEL BOUNDARY LINE
---	BUILDING SETBACK LINE
	PROPOSED BUILDING FOOTPRINT
	PROPOSED CONCRETE
	PROPOSED PERVIOUS PAVEMENT
	PROPOSED PARKING COUNTER

NOTE: LIGHTER TONE INDICATES EXISTING CONDITION

**SITE INFORMATION:**

**SITE DATA**  
TOTAL SITE AREA: 1.30 AC (56,531 SF)  
TAKE 5 SITE AREA: 0.50 AC (21,787 SF)  
ZONING JURISDICTION: CITY OF GRAND PRAIRIE  
PROPERTY ID: 14309853  
EXISTING USE: VACANT COMMERCIAL  
PROPOSED USE: AUTOMOTIVE SERVICE  
FLOOD ZONE: ZONE "X" PER FEMA FIRM PANEL  
NUMBER: 48439C0370L, DATED 03/21/2019  
ZONING: PD-283, GR  
BUILDING SQ. FOOTAGE: 1,462 SF  
FLOOR AREA RATIO (FAR): 0.07

**OWNER/DEVELOPER INFORMATION**  
 INTERNATIONAL AIRPORT, L.L.C.

8201 PRESTON ROAD - SUITE 700  
DALLAS, TX 75225

### DEVELOPER INFORMATION

2450 SEVERN AVENUE STE 308  
METAIRIE, LA 70001  
CONTACT: KEITH MOHAMMED  
PHONE: (832) 814-5946  
EMAIL: KEITH.MOHAMMED@TAKESOILCHANGE.COM

## SETBACKS

BUILDING:	REQUIREMENT:
FRONT:	50'
SIDE:	10'
REAR:	0'

### PARKING/LOADING

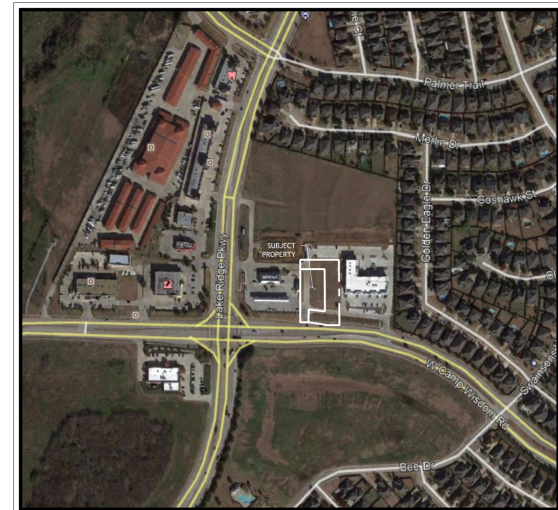
TAKE 5 PARKING CALCULATION:	ONE (1) SPACE PER 400 SQUARE FEET WITH A MINIMUM OF SIX (6) SPACES
REQUIRED PARKING:	$1,462/400 = 4$ SPACES $\times 6$ SPACES
PROPOSED PARKING:	6 STANDARD SPACES (18'x9') 1 ADA SPACE (18'x11')
TAKE 5 TOTAL PROPOSED PARKING:	<u>6 SPACES</u>

**PERMEABLE PARKING AREA**  
TOTAL SURFACE DRAINAGE LOS AREA = 4,830.1

TOTAL SURFACE PAVING LOT AREA: 6,820 SF (100%)  
REQUIRED PERMEABLE PAVING AREA: 1,023 SF (15%)  
PROVIDED PERMEABLE PAVING AREA: 1,176 SF (17%)

**SITE NOTES**

1. WITHIN THE LIMITS OF THE WORK AREA, THE CONTRACTOR SHALL, ON SITE, BURIAL OF TREES AND OTHER DEBRIS WILL NOT BE ALLOWED. THERE ARE NO KNOWN NEST BURRY PITS ON THE SITE AND NONE WILL BE ALLOWED DURING THE PROJECT.
2. ALL WORK SHALL COMPLY WITH ALL GOVERNING JURISDICTIONS, STATE OF TEXAS, AND FEDERAL CODES AND ALL APPLICABLE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL OBTAIN BY THE OWNER.
3. ALL WORK SHALL BE COMPLETED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST USED OR CURRENT TRADE PRACTICES.
4. ALL MATERIALS SHALL BE USED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, CITY, COUNTY, STATE OR FEDERAL. ALL WORK SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
5. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED. THE CONTRACTOR SHALL CONFORM TO THE STATE OF TEXAS STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS AND BRIDGES.
6. ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO THE BEGINNING OF CONSTRUCTION.
7. ALL DISTURBED AREAS WITH SIDEWALK, CURB AND GUTTER/ ROAD PAVEMENT SHALL BE RESTORED TO ITS ORIGINAL OR BETTER CONDITION.
8. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
9. THE PROPOSED DEVELOPMENT SHALL NOT IMPACT GROUND AND SURFACE WATER FLOWS ADJACENT TO THE SITE. THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS TO THE SITE.
10. ALL SIDEWALKS SHALL HAVE A FINISH OF 4" THICK UNFINISHED CONCRETE.
11. ALL PADS SHALL BE 3" THICK UNFINISHED CONCRETE.
12. SEE ARCHITECT PLANS FOR ON-SITE LIGHTING DETAILS.



### VICINITY MAP

[illegible]

LAURIE S. BURDAW, PE #134182

**BEACON**  
CIVIL/ENGINEERING

LAND DEVELOPMENT ENGINEERS  
8345 GUNN HIGHWAY  
TAMPA, FL 33626

TEXAS REGISTERED ENGINEERING FIRM F-20829



**TAKE 5  
OIL  
CHANGE**  
OF  
**GRAND  
PRAIRIE**

2390 W CAMP  
WISDOM RD, GRAND  
PRAIRIE, TX 75052

CASE NO.  
Z200201/S200204

SHEET NAME:

SITE LAYOUT  
PLAN

SHEET NUMBER:  
C-3





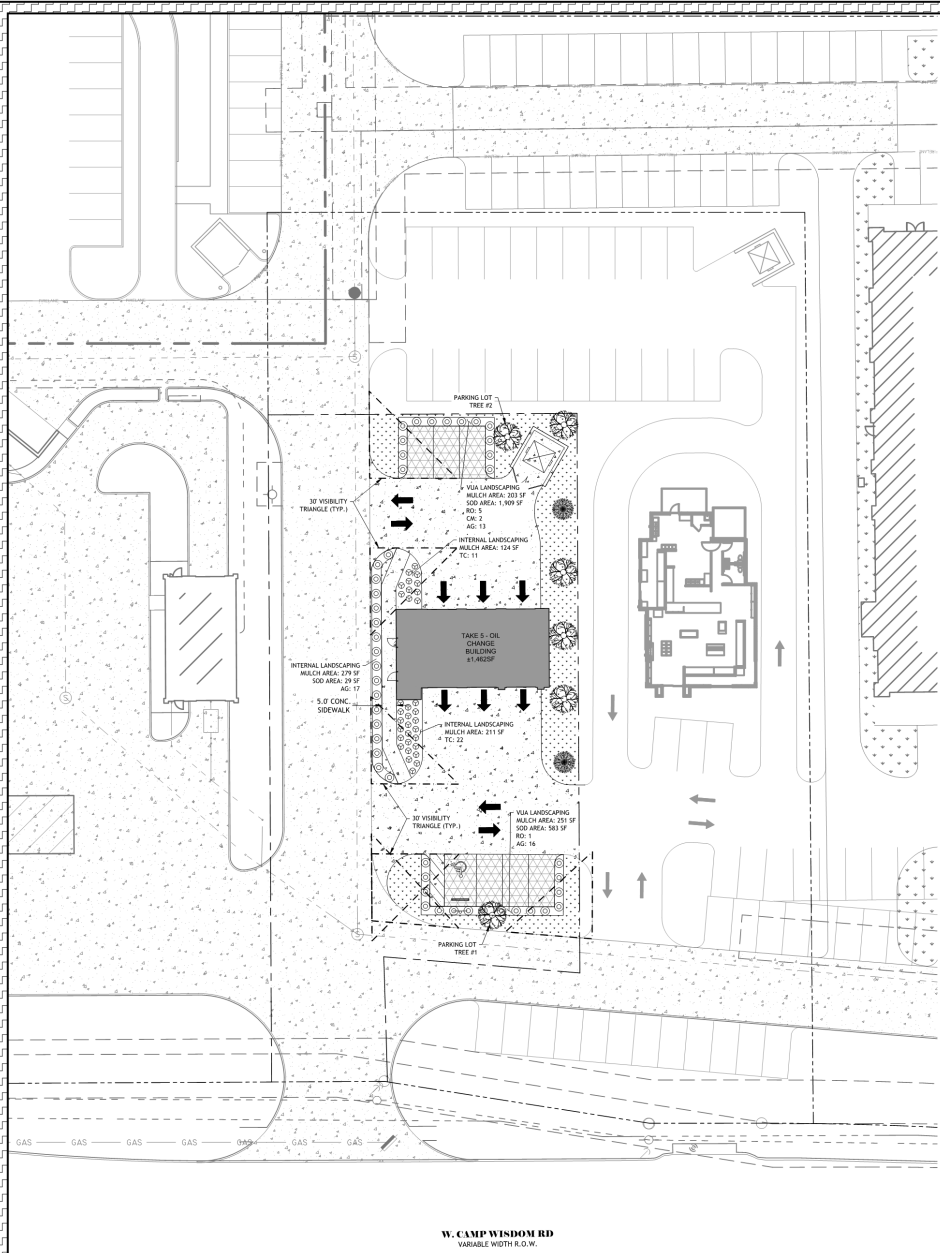


NO	AREA	COATS	COLOR
1	BRICK MAIN COLOR	-	ACME BRICK "MONTEREY"
2	BRICK SOLDER COURSE ACCENT BAND	-	ACME BRICK "RUSTIC WHITE"
3	STONE VENEER MANSOCT	-	ELDORADO STONE, CLIFFSTONE "MAZANTIA"
4	COPING / CORNICE	-	MATCH SW COLOR #2678, COTTAGE CREAM
5	BOLLARDS	-	MATCH SW COLOR #6871, POSITIVE RED
6	NOT USED	-	
7	STUCCO	-	MATCH SW COLOR #1993, STONEBARR

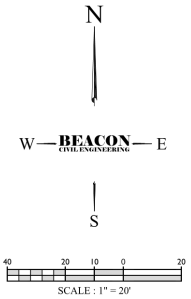
NOTE: FOR TYPE, SIZE, AND LOCATION OF SHRUBS  
AND TREE SEE THE LANDSCAPE PLAN

Z200201/S200204

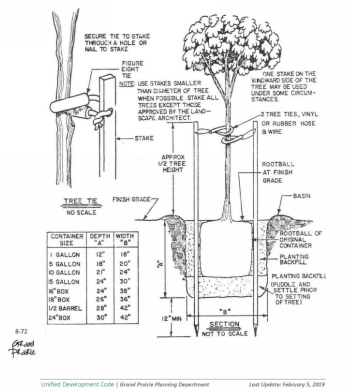
Exhibit D - Landscape Plan  
Page 1 of 1



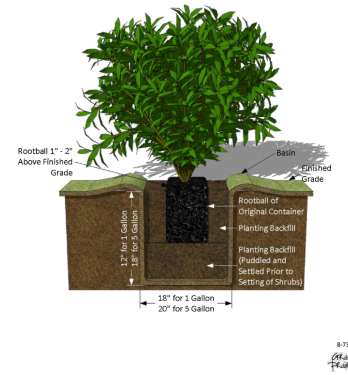
**IRRIGATION NOTE**  
A PERMANENT IN-GROUND IRRIGATION SYSTEM IS PROPOSED FOR THIS PROPERTY. THE PROPOSED IRRIGATION SYSTEM WILL COMPLY WITH GOVERNING JURISDICTIONAL STANDARDS. THE SYSTEM SHALL PROVIDE 100% COVERAGE OF THE LANDSCAPE IMPROVEMENTS PROPOSED. OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF IRRIGATION SYSTEM.



ARTICLE 8: LANDSCAPE AND SCREENING  
Exhibit 6: Tree Planting & Staking



ARTICLE 8: LANDSCAPE AND SCREENING  
Exhibit 7: Shrub Planting



**PLANTING SCHEDULE:**

SYMBOL	QUANT.	SPECIES	KEY	SIZE	SPEC.	DROUGHT TOLERANCE
	6	Quercus texana TEXAS RED OAK	RO	3" CAL. 7 FT.	BBB	HIGH
	2	Logania indica COPE WYRTLE	CM	MIN. 3" CAL. 15 FT.	BBB	HIGH
*PROPOSED CRAPE WYRTLES SHALL BE NATURE WHEN PLANTED.						
	46	Muhlenbergia trifoliolata AGAVE	AG	5 GAL. 36 FT.	5 O.C.	HIGH
	33	Campsis radicans TRUMPET CREEPER	TC	1 GAL.	3 O.C.	HIGH
		Cynodon dactylon BERMUDA GRASS				

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA:	36,331 SF
TAKE 5 SITE AREA:	21,943 SF
REQUIRED LANDSCAPE CALC:	10% OF SITE AREA
REQUIRED LANDSCAPE AREA:	21,943 x 0.10 = 2,194 SF
PROPOSED LANDSCAPE AREA:	3,389 SF
FRONT YARD LANDSCAPE AREA:	902 SF
REQUIRED TREES CALC:	1 TREE PER 500 SF OF REQUIRED LANDSCAPE AREA
REQUIRED TREES:	2,194/500 = 4 TREES
PROPOSED TREES:	8 TREES

- LANDSCAPE NOTES**
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED. TRUNK CALIPER IS MEASURED AT DBH.
  - ALL LANDSCAPING SHALL CONFORM TO TEXAS #1 GRADES AND STANDARDS AND SHALL BE MAINTAINED AND MAINTAINED IN ACCORDANCE WITH THE GOVERNING JURISDICTION STANDARDS AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES. PLANT MATERIAL IS TO BE LOCATED SUCH THAT IT WILL NOT INTERFERE WITH ANY UNDERGROUND OR OVERHEAD UTILITIES.
  - PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS AND MUST BE MAINTAINED AS APPROVED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS.
  - REMOVE ALL TWINE, WIRE AND BURLAP FROM THE TOP 1/3 OF TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS.
  - BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO THE TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
  - PLANT MATERIAL TO BE GRADE TEXAS NO. 1 OR BETTER.
  - A PLANT OF THE REQUIRED SIZE AND TYPE SHALL REPLACE ANY PLANT THAT DIES WITHIN ONE YEAR PER THE GOVERNING JURISDICTION ORDINANCE.
  - ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY THE GOVERNING JURISDICTION PRIOR TO INSTALLATION.
  - ALL TREE STAKES, GUY WIRES AND TREE WAYS SHALL BE REMOVED AFTER ONE YEAR.
  - ALL DISTURBED AREAS SHALL BE SOEDED WITH BERMUDA GRASS SOE.
  - CONTRACTOR SHALL VERIFY THE DRIVEWAY EXPOSURE VISIBILITY/BRIGHT DISTANCE CONFORMS TO TxDOT DESIGN STANDARDS.
  - THE PLANTING OF SPECIES LISTED IN TEXAS ADMINISTRATIVE CODE, AS AMENDED, OR CLASSIFIED AS INVASIVE BY THE TEXAS EXOTIC PLANT COUNCIL IS PROHIBITED, AND INVASIVE SPECIES LOCATED WITHIN THE AREA OF THE PROJECT PROPOSED TO BE DEVELOPED ARE REQUIRED TO BE REMOVED.
  - NON-LIVING GROUND COVER, SUCH AS MULCH, GRAVEL, ROCKS, ETC., SHALL BE USED IN CONJUNCTION WITH LIVING PLANTS SO TO COVER EXPOSED SOIL AND SUPPRESS FLUCTUANT DIRT.
  - ANY PLANT MATERIALS OF WHATEVER TYPE AND KIND REQUIRED BY THESE REGULATIONS SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF THEIR DEMISE AND REMOVAL.
  - THE PROTECTION OF EXISTING, NON-INVASIVE PLANT MATERIALS SHALL CONFORM TO THE STANDARDS LISTED IN GOVERNING JURISDICTION LOC.
  - OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE.

- GENERAL GRADING & PLANTING NOTES**
- BY SUBMITTING A PERMIT FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
  - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
    - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/- 0.5' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
    - CONTRACTOR AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONTRACTOR AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREA OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
    - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADE TO BE ESTABLISHED.
    - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
    - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
  - ALL PLANT LOCATIONS ARE DIAGNOSTIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
    - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT AND PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
    - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
    - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
  - THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
  - SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

**ROOT BARRIERS**  
THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF FINING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS OR EQUAL. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO CURBS. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

**ISSUED FOR PERMITTING**

REVISION	DATE	BY	FOR
1	06/29/19	JO	ISSUE DATE
2	06/29/19	LB	FOR NO.
3	06/29/19	LB	FOR NO.
4	06/29/19	LB	FOR NO.
5	06/29/19	LB	FOR NO.
6	06/29/19	LB	FOR NO.
7	06/29/19	LB	FOR NO.
8	06/29/19	LB	FOR NO.
9	06/29/19	LB	FOR NO.
10	06/29/19	LB	FOR NO.
11	06/29/19	LB	FOR NO.
12	06/29/19	LB	FOR NO.
13	06/29/19	LB	FOR NO.
14	06/29/19	LB	FOR NO.
15	06/29/19	LB	FOR NO.
16	06/29/19	LB	FOR NO.
17	06/29/19	LB	FOR NO.
18	06/29/19	LB	FOR NO.
19	06/29/19	LB	FOR NO.
20	06/29/19	LB	FOR NO.
21	06/29/19	LB	FOR NO.
22	06/29/19	LB	FOR NO.
23	06/29/19	LB	FOR NO.
24	06/29/19	LB	FOR NO.
25	06/29/19	LB	FOR NO.
26	06/29/19	LB	FOR NO.
27	06/29/19	LB	FOR NO.
28	06/29/19	LB	FOR NO.
29	06/29/19	LB	FOR NO.
30	06/29/19	LB	FOR NO.
31	06/29/19	LB	FOR NO.
32	06/29/19	LB	FOR NO.
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**BEACON ENGINEERING**  
LAND DEVELOPMENT ENGINEERS  
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SUITE 100  
DALLAS, TX 75244  
TEL: 214-344-8377  
WWW.BEACONENGINEERING.COM

**TAKE 5 OIL CHANGE OF GRAND PRAIRIE**  
2390 W CAMP WISDOM RD, GRAND PRAIRIE, TX 75052  
CASE NO. Z200201/S200204  
SHEET NAME: LANDSCAPE PLAN  
SHEET NUMBER: C-5

## Appendix F Menu Items Checklist

The Appendix F Menu Items Checklist intended to help developers organize their Development Request submittal and communicate Menu Items choices to Staff. This checklist is not intended to be used without first reading Appendix F. Developers must select a total of 12 Menu Items. Unless otherwise indicated, each Menu Item counts as 1 Menu Item.

**Instructions:** Complete checklist by indicating which Menu Items you select. After completing the checklist fill out the Menu Item Summary Table.

Usable Open Space & Pedestrian Linkages		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	Enhanced Usable Open Space	Usable Open Space that exceeds the minimum requirements with at least four Tier 1 amenities and three or more Tier 2 amenities. <ul style="list-style-type: none"> <li>Tier 1 Amenities: two types of seating, active water feature, furnished play area, dog park, sculpture, artwork, furnished outdoor game area, or comparable amenity proposed by the developer.</li> <li>Seasonal plantings in decorative planters, textured paving, living wall, mural, decorative lighting, USB charging station, electrical hook-up to allow programming, or a comparable amenity proposed by the developer.</li> </ul> → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Above-and-Beyond Usable Open Space (2)	Developers who are able to demonstrate to the Planning and Zoning Commission and City Council that the proposed Usable Open Space goes above-and-beyond the Enhanced Usable Open Space may count the space as two Menu Items. <ul style="list-style-type: none"> <li>* Include project narrative or exhibit that lists the proposed amenities and describes why the space should be considered above-and-beyond Usable Open Space.</li> </ul>
<input type="checkbox"/>	Public Art Piece	Dedicate at least 1% of the total project cost to one major public art piece to be centrally located.
<input type="checkbox"/>	Public Art Series	Dedicate at least 1% of the total project cost to multiple public art pieces to be located throughout the development.
Site Design & Building Orientation (Select at Least Two Menu Items)		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	75% Parking Behind Buildings	Buildings shall be placed towards the street with 75% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	100% Parking Behind Buildings (1.5)	Buildings shall be placed towards the street with 100% of off-street parking located to the side or rear of buildings.
<input checked="" type="checkbox"/>	Add Parking Lot Trees	Provide one parking lot tree per five spaces. Parking lot trees should be capable of achieving 30% canopy coverage over the parking area within 10 years of planting.
<input type="checkbox"/>	Rain Gardens	Provide bioretention areas, or rain gardens, between every other row of parking.
<input checked="" type="checkbox"/>	Permeable Surface	Use permeable concrete and pavers on 15% of the surface parking lot.
<input type="checkbox"/>	Strategic Parking	Submit on of the following Strategic Parking Plans: <ul style="list-style-type: none"> <li>Parking Reclamation Plan – Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.</li> <li>Parking Flex Plan – Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.</li> </ul>



		<ul style="list-style-type: none"> <li>Phased Parking Plan – Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green spaces until converted to parking spaces. If, after five years, future parking spaces have not been constructed, they shall become permanent green space.</li> </ul> <p>→ Circle or highlight selected parking plan.</p>
<input type="checkbox"/>	Ceremonial Drive	Developments over 20 acres or developments that include multiple lots/buildings shall provide a grand promenade or ceremonial drive with trees planted every 30 feet.
<input type="checkbox"/>	Gateway	Developments over 20 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a gateway, frame usable open space, or create a view corridor with appropriate terminus.
<input type="checkbox"/>	Park Once Environment (1.5)	<p>Developments over 10 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a park once environment.</p> <ul style="list-style-type: none"> <li>Shared parking agreements between different lots/occupants must be in place.</li> </ul>
<b>Building Design (Select at Least Six Menu Items)</b>		
<b>✓ If Selected</b>	<b>Menu Item</b>	<b>Description</b>
<input type="checkbox"/>	Materials Mix	A single material, color, or texture shall not exceed 60% of a single facade.
<input checked="" type="checkbox"/>	Stone Accent	All four facades shall include a stone accent in a contrasting color and texture from the primary building material. The combined area of the stone accent shall be at least 25% of the vertical surface area of all facades.
<input checked="" type="checkbox"/>	Color Contrast	Each facade shall include at least two contrasting colors.
<input type="checkbox"/>	Specialty Accent	Color and/or material shall be used to highlight entrances of multi-tenant buildings. Specialty accents should reflect the personality or character of the occupant.
<input checked="" type="checkbox"/>	Corner Treatment	<p>Developers shall use at least three architectural elements to emphasize corners of the buildings: corner entrance, accent material, projecting cornice, tower element, enhanced windows, cupolas, gables, dormers, balconies, articulation, or a comparable element chosen by the developer. Corner treatments must be one of the Menu Items for buildings at key intersections.</p> <p>→ Circle or highlight the proposed architectural elements.</p>
<input type="checkbox"/>	Articulated Public Entrance	<p>The primary building entrance shall be visibly prominent from a public street. At least three of the following shall be used: recessed facade, projecting facade, raised canopy, taller door dimensions, double doors, lighting fixtures on either side of the entry, steps or stoops, changes in materials, arches, columns, eave treatment, transom windows, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed elements.</p>
<input type="checkbox"/>	Buildings at Key Intersections	<p>Developers should highlight key intersections by using additional design elements to create gateways or landmarks. Buildings at key intersections shall include at least three of the following features: corner plaza with plantings and seating, corner tower form, cupolas, large window openings, sloped or pitched roof form, richer colors, seasonal plantings, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed features.</p>
<input checked="" type="checkbox"/>	Roof Profile Variation	Developers shall use parapets or another technique to create a distinctive roof profile.
<input checked="" type="checkbox"/>	Articulation Elements	Each facade shall include at least three of the following items every 60 feet: change in roofline, facade modulation, window



		fenestration patterns, vertical columns, and change in material or texture. → Circle or highlight the proposed items.
<input type="checkbox"/>	Enhanced Windows	All facades with windows shall include at least two types of windows that differ in the style, size, shape, or placement.
<input checked="" type="checkbox"/>	Canopy Variation	Facades shall include multiple types of canopies. Changes in shape, color, or material should be used to highlight an architectural feature or particular user while complementing the established design theme.  * It is likely that individual tenants will determine the final design of the canopy. If tenants are unknown at this time, submit an exhibit that illustrates variations in shape, color, and material within the intended design theme.
<input type="checkbox"/>	Design Elements	Facades shall include at least three other design elements: trellises, towers, overhang eaves, banding, pilasters, projecting cornices, columns, string courses, rustication, lintels, or a comparable element proposed by the developer. → Circle or highlight the proposed design elements.
<b>Healthy, Smart, and Sustainable Community (Select at Least Two Menu Items)</b>		
<b>✓ If Selected</b>	<b>Menu Item</b>	<b>Description</b>
<input checked="" type="checkbox"/>	Mature Trees	Provide mature trees for 30% of required trees. The locations of the mature trees should be focused in usable open spaces and along pedestrian paths.
<input type="checkbox"/>	Connect to Parks and/or Trails	Provide a connection to existing or proposed parks and/or trails. The connection should function as a continuation, not just a point of access. The connection shall include appropriate amenities such as bike racks, pet waste disposal stations, water fountains, misting stations, or a comparable amenity proposed by the developer. → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Community Garden	Provide a community garden and participate in the City's community gardens partnership program.
<input type="checkbox"/>	Parking Reclamation Plan	Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.
<input type="checkbox"/>	Parking Flex Plan	Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.
<input type="checkbox"/>	Phased Parking Plan	Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green space until converted to parking spaces. If, after five years, future parking phases have not been constructed, they shall become permanent green space.
<input type="checkbox"/>	Green Infrastructure	Provide and maintain green infrastructure such as bioretention areas (rain gardens), planter boxes, or vegetated buffer strips consistent with NCTCOG's integrated Stormwater Management (ISWM) Program.
<input type="checkbox"/>	Solar Energy	Use solar energy to satisfy 25% or more of on-site energy demand.
<input type="checkbox"/>	Preserve Open Space	Reserve existing natural areas comprising at least 5% of the overall project size. Such areas should incorporate quality non-invasive tree stands, habitat or riparian areas. Such areas should not include existing floodplain or other areas already protected or inherently unsuitable for development.

<input checked="" type="checkbox"/>	70% Native Plants	Use native and drought tolerant species for at least 70% of planting materials.
<input type="checkbox"/>	Wi-Fi (.5)	Provide Free Wi-Fi in common areas.
<input type="checkbox"/>	USB Charging Stations (.5)	Provide USB charging stations in usable open spaces.
<input type="checkbox"/>	Smart Parking (.5)	Provide web-connected sensors in pavement that help people find and/or reserve a parking space.
<input type="checkbox"/>	Ride-Sharing Drop-Off (.5)	Provide designated spaces for ride-sharing pick-ups and drop-offs.
<input type="checkbox"/>	Permeable Paving (.5)	Use permeable pavement on 15% of the parking lot.
<input type="checkbox"/>	Green Roofs (.5)	Provide a green roof that is at least 50% of total roof area.
<input type="checkbox"/>	Living Wall (.5)	Provide a living wall that is at least 60% of the area of the facade on which it is constructed.
<input type="checkbox"/>	Recycling Program (.5)	Institute a mandatory recycling program for occupants. Provide recycling bins in addition to trash bins in common areas.
<input type="checkbox"/>	30% Native Plants (.5)	Use native and drought tolerant species for at least 30% of planting materials.
<input checked="" type="checkbox"/>	Pollinator Friendly Flowers (.5)	Use native plants that attract bees, butterflies, moths, and hummingbirds for at least 20% of required landscape materials.

#### Alternative Compliance

The Menu Items listed do not represent an exhaustive list. Developers may propose a comparable item not listed. If developers are able to prove that the proposed item meets the intent of Appendix F, Staff may recommend that the proposed item be counted as a Menu Item. Indicate the proposed item, identify which of the four elements the proposed item will count towards, and provide a brief description.

<input checked="" type="checkbox"/> If Selected	Proposed Item/Element	Description
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		

#### Menu Item Summary Table

Element	# of Menu Items
Usable Open Space & Pedestrian Walkways	
Site Design & Building Orientation	2
Building Design	6
Healthy, Smart, Sustainable Community	2.5
Alternative Compliance	
Total Menu Items:	10.5



## Legislation Details (With Text)

<b>File #:</b>	20-9738	<b>Version:</b>	1	<b>Name:</b>	CPA200202 – Comprehensive Plan Amendment
<b>Type:</b>	Ordinance	<b>Status:</b>		<b>Status:</b>	Public Hearing
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	CPA200202 - Comprehensive Plan Amendment (Commissioner Moser/City Council District 5). A request to change the Future Land Use Map from Commercial/Office/Retail to Low Density Residential. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County Texas, zoned GR, General Retail. City Council Action: February 18, 2020				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A- Location Map](#)  
[Exhibit B-FLUM](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

CPA200202 - Comprehensive Plan Amendment (Commissioner Moser/City Council District 5). A request to change the Future Land Use Map from Commercial/Office/Retail to Low Density Residential. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County Texas, zoned GR, General Retail.

**City Council Action: February 18, 2020**

### Presenter

Nyliah Acosta, Planner

### Recommended Action

Approve

### Analysis

### SUMMARY:

Comprehensive Plan Amendment to change the Future Land Use Map from Commercial/Office/Retail to Low Density Residential. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County Texas, zoned GR, General Retail.

### PURPOSE OF REQUEST:

The applicant is proposing to construct a single-family dwelling. The request is for a change from

Commercial/Retail/Office to Low Density Residential on the Future Land Use Map (FLUM). The 2018 update to the Comprehensive Plan defines these categories as follows:

***Commercial/Retail/Office (pg. 58 of the Comprehensive Plan):***

Commercial uses are more intense than retail establishments, yet also provide goods and services for the public. Examples of commercial establishments would include hotels, automotive services, and big box retailers.

***Retail***

This land use type is intended to provide for a variety of restaurants, shops, grocery stores, and personal service establishments. Retail uses require high visibility locations and should be located in high-traffic areas such as along arterial roadways.

***Office***

Office areas provide for low- to medium-rise suburban-scale developments. Generally, permitted uses include corporate, professional, medical and financial offices as well as offices for individuals and non-profit organizations. These areas can also serve as a lower intensity transitional use to adjacent residential areas.

***Low Density Residential (pg. 56 of the Comprehensive Plan):***

Low density residential is the predominant land use within Grand Prairie. It represents a traditional single-family detached neighborhood and includes housing and living units for people with a range of incomes and needs. Low density residential areas generally range between zero and six dwelling units per acre.

**ANALYSIS:**

Staff recommends that Future Land Use map changes along the Dalworth Corridor be supported by a comprehensive study. The proposed change to Low-Density Residential on a single lot will create a pocket of single-family residential and create inconsistency within the land use. The intent of the GR district in this location is to attract small scale businesses, to aid in the transition of Dalworth becoming a commercial corridor with neighborhood scale grocery stores, office, and retail uses to provide service to the surrounding residences and diversify the tax base.

Additionally this does not support the policy position Council has taken to not rezone commercial property for residential use.

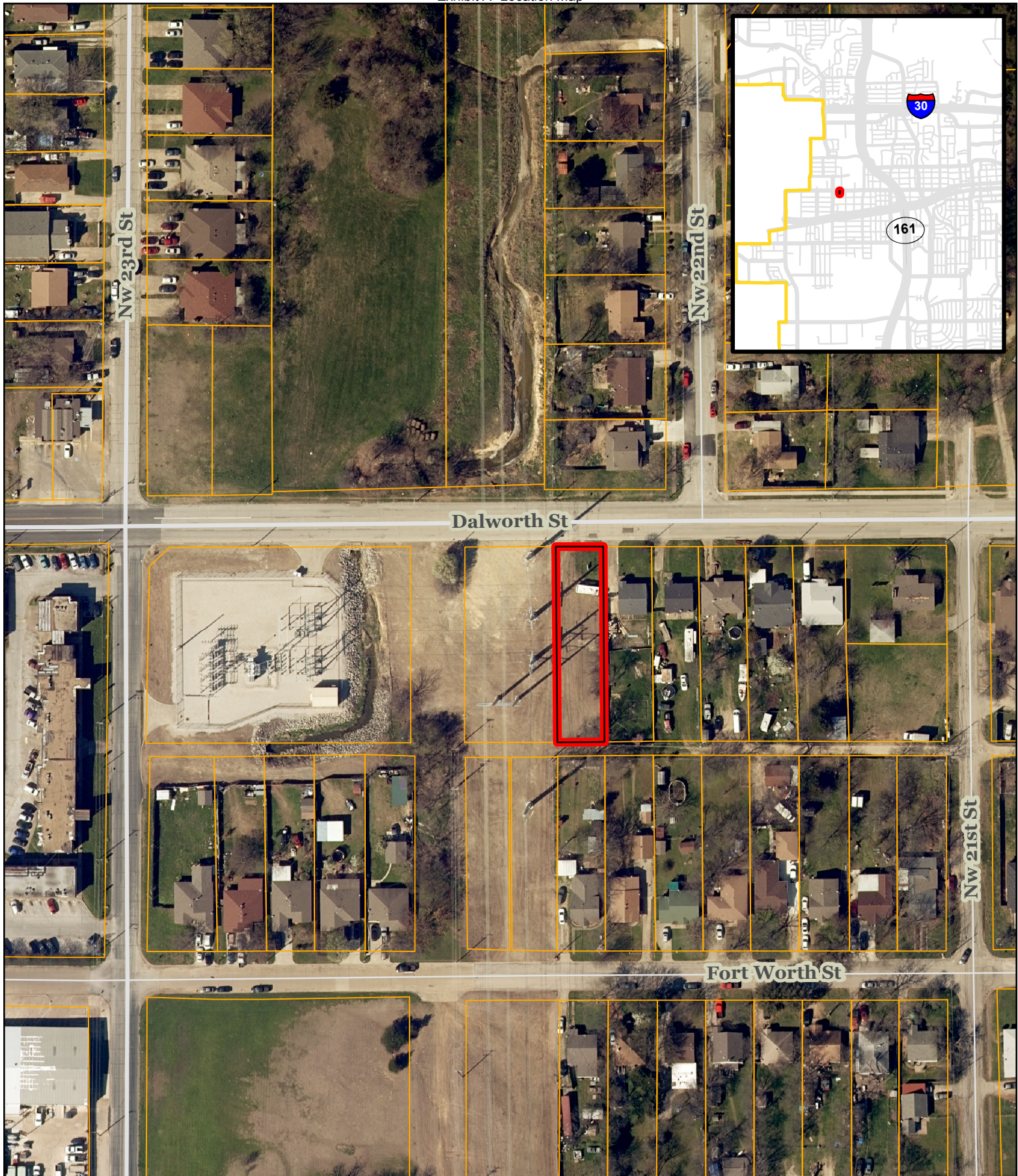
**RECOMMENDATION:**

Development Review Committee (DRC) recommends denial of the requested amendment to the FLUM.

**Body**



Exhibit A- Location Map



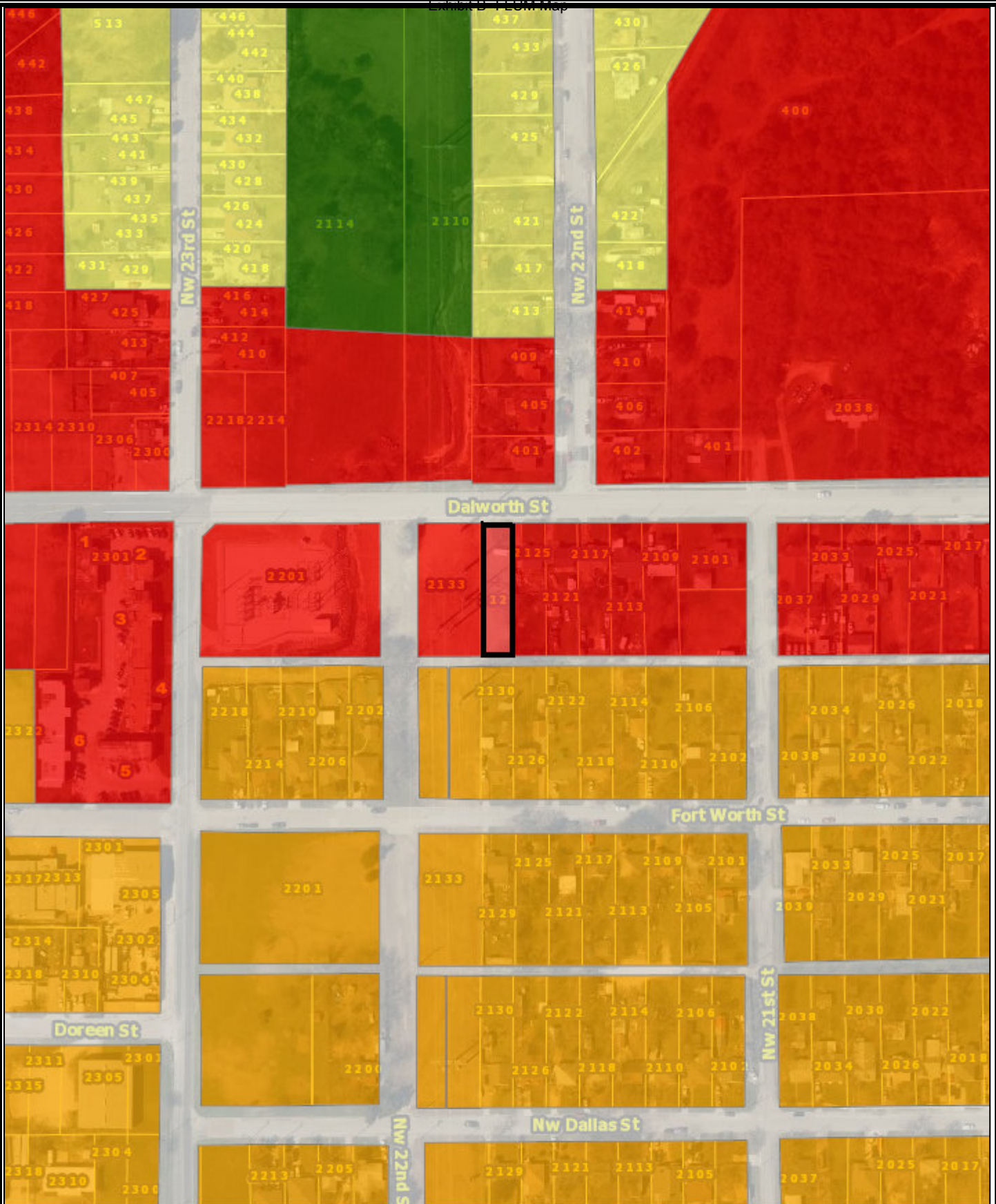
CASE LOCATION MAP  
Case Number CPA200202  
Single Family at 2129 Dalworth Street



City of Grand Prairie  
Development Services

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**2129 Dalworth**

Date: 1/24/2020 Time: 3:47:15 PM

This data has been compiled by the City of Grand Prairie IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



**Grand  
Prairie**  
TEXAS



## Legislation Details (With Text)

<b>File #:</b>	20-9741	<b>Version:</b>	1	<b>Name:</b>	Z200202 - Single Family at 2129 Dalworth Street
<b>Type:</b>	Ordinance	<b>Status:</b>		<b>Status:</b>	Public Hearing
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	Z200202 - Zoning Change - Single Family at 2129 Dalworth Street (Commissioner Moser/City Council District 5). A request to change the zoning from GR, General Retail, to SF-6, Single-Family Six Residential District to allow for a single residential dwelling on an existing 0.23 acre lot. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County. The owner is Abraham Jackson. City Council Action: February 18, 2020				

### Sponsors:

### Indexes:

### Code sections:

**Attachments:** [Exhibit A- Location Map](#)

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

Z200202 - Zoning Change - Single Family at 2129 Dalworth Street (Commissioner Moser/City Council District 5). A request to change the zoning from GR, General Retail, to SF-6, Single-Family Six Residential District to allow for a single residential dwelling on an existing 0.23 acre lot. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County. The owner is Abraham Jackson.

**City Council Action: February 18, 2020**

### Presenter

Nyliah Acosta, Planner

### Recommended Action

Approve

### Analysis

#### SUMMARY:

A request to change the zoning from GR, General Retail District to SF-6, Single-Family Six Residential District, to allow for one residential dwelling on a platted lot.

#### **Table 1: Adjacent Zoning and Land Uses**

Direction	Zoning	Existing Use
North	GR	Single-Family Residences
South	SF-4	Single-Family Residences
West	GR	Oncor Substation
East	GR	Single-Family Residences

**PURPOSE OF REQUEST:**

The purpose of this request is to change the zoning on 0.23 acres from GR General Retail District to SF-6 Single-Family Six Residential District, to allow the applicant to construct a single-family dwelling on the lot. The lot reasonably accommodates the uses permitted in the SF-6 base zoning district, and staff has found no indication of adverse impacts on neighboring lands in relation to this zoning, or adverse effects on the public health, safety, or welfare.

**CONFORMANCE WITH COMPREHENSIVE PLAN:**

The Future Land Use Map (FLUM) designates the subject property as Commercial/Retail/Office (CRO). C/R/O is not consistent with the SF-6. The applicant has requested a plan amendment to change the FLUM from C/R/O to Low Density residential (CPA200202).

**ZONING REQUIREMENTS**

The existing zoning is GR, General Retail District. The proposed zoning for the 0.23 acres is SF-6. All zoning will defer to the Unified Development Code (UDC) as amended.

***Dimensional Requirements***

The following outlines the minimum dimensional requirements of the SF-6 district and provides an analysis of the proposed compliance with the district.

Standard	Required	Meets
Minimum Lot Area	5,000 s.f.	Yes
Minimum Lot Width	50 ft.	Yes
Minimum Lot Depth	100 ft.	Yes
Minimum Front Yard Setback	25 ft.	Yes

**VARIANCES:**

None.

**RECOMMENDATION:**

The Development Review Committee is not in favor of the proposed rezoning at this time due to the need for a more comprehensive study of the Dalworth corridor. Removing GR zoning from this property will create a pocket of residential in the zoning map and FLUM and reduces the opportunity for commercial land uses along the corridor. The intent of the GR district in this location is to attract businesses with neighborhood scale uses, including grocery stores, office, and retail uses to provide services to the surrounding residents and to diversify the tax base.

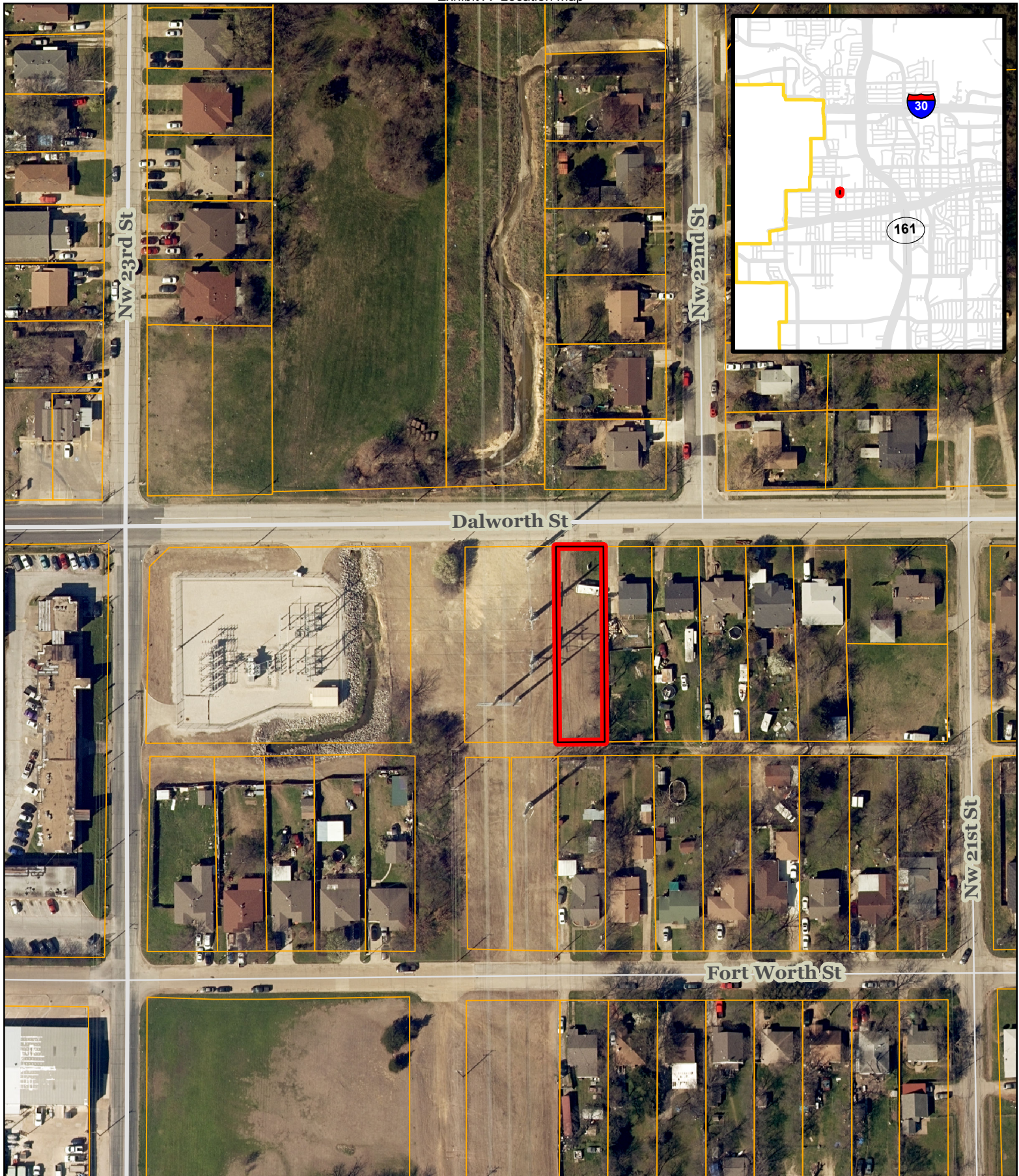
**Body**







Exhibit A- Location Map



CASE LOCATION MAP  
Case Number Z200202  
Single Family at 2129 Dalworth Street



City of Grand Prairie  
Development Services

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## Legislation Details (With Text)

<b>File #:</b>	20-9743	<b>Version:</b>	1	<b>Name:</b>	TA200202 – Article 4: Permissible Uses and Article 30: Definitions
<b>Type:</b>	Ordinance	<b>Status:</b>		<b>Status:</b>	Public Hearing
<b>File created:</b>	1/23/2020	<b>In control:</b>		<b>In control:</b>	Planning and Zoning Commission
<b>On agenda:</b>	2/3/2020	<b>Final action:</b>		<b>Final action:</b>	
<b>Title:</b>	TA200202 - Text Amendment - Article 4: Permissible Uses and Article 30: Definitions. Amend the Unified Development Code to create definitions and regulations for tattoo studios and body piercing studios. The applicant is the City of Grand Prairie. City Council Action: February 18, 2020				

### Sponsors:

### Indexes:

### Code sections:

### Attachments:

Date	Ver.	Action By	Action	Result
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### From

Chris Hartmann

### Title

TA200202 - Text Amendment - Article 4: Permissible Uses and Article 30: Definitions. Amend the Unified Development Code to create definitions and regulations for tattoo studios and body piercing studios. The applicant is the City of Grand Prairie.

**City Council Action: February 18, 2020**

### Presenter

David P. Jones, AICP, Chief City Planner

### Recommended Action

Approve

### Analysis

In response to recent interest by tattoo studio operators, and at the direction of the City Manager's Office, staff has prepared a draft ordinance updating the city's existing tattoo regulations. Currently, tattoo studios are allowed only by SUP in the industrial districts or in form of permanent cosmetics as an ancillary personal service use.

The proposed ordinance would expand tattoo studios to commercial districts, including the Central Area. In order to prevent proliferation or congregation of these uses, the ordinance would institute distance limitations similar to those put in place for alcoholic beverage service. The ordinance would prohibit loitering, would require all studios to close by midnight, and would require that operators obtain yearly continuing education in sanitary practices and CPR.

The ordinance would also establish procedures for curing violations through a two-step administrative and Council review process. Because the use would only be authorized by SUP, Council would have the ultimate authority to revoke the permit.

These regulations would also apply to body piercing studios, which include any piercing other than ears. Proposed regulations would appear in Articles 11 and 30 of the Unified Development Code and appear in their entirety below:

**Tattoo and Body Piercing Studio:** A facility licensed under the jurisdiction of the Texas Department of State Health Services, in which one or more artists engage in the practice of producing an indelible mark or figure on the human body by scarring or inserting pigments under the skin using needles, scalpels, or other related equipment or body piercing (i.e., the practice of creating an opening in a person's body, other than the individual's earlobe, to insert jewelry or another decoration). This definition includes establishments engaging in both tattooing and body piercing, or either tattooing or body piercing alone.

#### **SECTION 14 -OPERATION OF TATTOO AND BODY PIERCING STUDIO**

**11.14.1 All “Tattoo and Body Piercing Studios” (as defined in Article 30 “Tattoo and Body Piercing Studio” and hereinafter referred to both collectively and individually as “Studio”) in the City of Grand Prairie shall operate under the following conditions:**

- A. A Studio shall operate only with a valid license issued by the Texas Department of State Health Services and subject to inspection by the State Department or its affiliates. Tattoo Studios are also subject to licensure and inspection by the City of Grand Prairie;**
- B. A Studio shall not be located within 300 feet of a church, school, or residential zoning district, or with 1,000 feet of another Studio, as measured along the property lines of the street fronts and from front door to front door, and in a direct line across intersections;**
- C. No more than two (2) Studios shall operate at any given time within the CA zoning district;**
- D. Hours of operation shall not extend beyond midnight;**
- E. Whenever a Studio is constructed or remodeled so as to require a building permit, or an existing structure is converted in whole or part for use as a Studio, plans and specifications for such construction, remodeling or conversion with the applicable fees shall be submitted to the building official for review and approval in accordance with applicable city rules and regulations before construction, remodeling or conversion is begun. The building official shall approve the plans and specifications if they meet applicable city regulations;**
- F. The Building Official or their designee will perform an inspection of the Studio prior to the start of operations as a Studio to determine compliance with approved plans and requirements of this article. A City Certificate of Occupancy issued by the Building Official must be obtained prior to the operation of the studio;**
- G. Annually each permit holder, owner or operator in charge of the studio shall complete eight (8) hours of continuing education on the practice and safety regulations for tattoo and body piercing such as blood-borne pathogens, aseptic techniques, disease control, personal protection, signs of infection and cardio-pulmonary resuscitation (CPR). The permit holder, owner or operator in charge shall complete the required training within twelve (12) months from the date of issuance of the permit. Records of such education and training**



shall be maintained on site and shall be made available to the City upon request.

#### H. Violations

1. If the City or State regulatory authority determines that a Studio is in violation of this article or other law, it may notify the studio in writing of the violation and by written order direct the studio to correct the violation within a definite period of time.
2. If the City or State regulatory authority determines that the violation constitutes an imminent and serious threat to the public health or safety, it may order the permit holder to correct the violation immediately or to cease operations to the extent determined necessary to abate the threat until the violation is corrected.
3. In addition to the authority listed above, the City shall be entitled to pursue all other remedies including the issuance of citations for municipal court, initiating procedures to suspend or revoke a Specific Use Permit, or filing a complaint with the Department of State Health Services.
4. The City Attorney may engage in the enforcement of the civil penalty and injunction order of the state law if requested by the Department of State Health Services Commissioner pursuant to Texas Health and Safety Code, Section 146.020, Civil Penalty and Injunction.

#### J. Suspension of Permits

1. The City may administratively suspend a Specific Use Permit or license issued under provision of this article if it determines that the owner, operator, or person in charge a Studio has:
  - i. Been convicted twice within any twelve (12) month period for violation of this article;
  - ii. Failed to comply, within the time specified, with an order to correct or abate an imminent threat to the public health or safety;
  - iii. Intentionally or knowingly provided false information to the City or State regulatory authority or designee during a lawful inspection; or
  - iv. Intentionally or knowingly impeded a lawful inspection by the City or State regulatory authority or designee.
2. The City shall suspend the permit for a definite period of time not to exceed twelve (12) months, or until the violations resulting in said suspension have been corrected or abated.
3. Upon receipt of written notice of suspension issued by the City, the permit holder shall immediately cease operation of the facility for which the permit is suspended until the violations resulting in said suspension have been corrected or abated. The notice of suspension must include:
  - i. The name of the permit holder;
  - ii. The location or identification of the establishment for which the permit is suspended;

iii. The reason for the suspension; and

iv. A statement informing the establishment of its right to appeal the suspension.

K. Appeals

1. An administrative decision by the City invoking a suspension of a permit is final unless an appeal is filed, in writing, with the Director of Development Services within ten (10) days of the notice of suspension appealing the decision to the Zoning Board of Adjustments and Appeals.
2. The Director of Development Services or designee shall set a time and date for a hearing on the suspension before the Zoning Board of Adjustments and Appeals. The filing of an appeal in accordance with subsection 1 of this section enjoins or stays an action of the City pending a final decision by the Zoning Board.

L. Revocation of Permit

1. Notwithstanding the previous section, if violations have not been corrected within twelve (12) months of the permit being suspended by the City, or if more than two (2) violations of this article occur within a twelve (12) month period, or if one or more violations occurs in three (3) successive years, the City shall issue the holder of the Specific Use Permit a notice of revocation. Notice shall give a time and date of the next available City Council hearing at which the recommendation for revocation will be heard. The applicant will have opportunity to respond in writing or in person at the hearing.
2. The decision of the City Council to revoke shall be final.

**RECOMMENDATION:**

At its December 17, 2019 meeting, the City Council Development Committee voted unanimously to recommend approval of the proposed ordinance.

**Body**