



City of Grand Prairie

City Hall
300 W. Main Street
Grand Prairie, Texas

Meeting Agenda - Final

Planning and Zoning Commission

Monday, February 24, 2020

5:30 PM

City Hall, Briefing Room

Call to Order - Commissioner Briefing

It is the intent of the Planning and Zoning Commission to be briefed by staff, and that all items on the agenda shall be available or open for discussion during the Briefing Session. The Planning and Zoning Commission may ask applicants and other interested parties for information or presentations. All interested parties are invited to attend. Briefings are taped.

Agenda Review

Public Hearing
6:30 p.m. Council Chambers

Chairperson Joshua Spare Presiding

Invocation

Pledge of Allegiance to the US Flags and to the Texas Flag

Citizen Comments

Public Hearing Consent Agenda

Items listed on the Public Hearing Consent Agenda are considered to be routine and will be approved by one motion and one vote. There will be no separate discussion of the Public Hearing Consent Agenda items unless requested. If discussion is desired on an item, it will be considered separately. The Commission may ask questions of those present on an item from the Public Hearing Consent Agenda.

- 1 [20-9790](#) Approval of Minutes of the February 3, 2020 P&Z meeting.

Attachments: [PZ Draft Minutes 02-03-20.pdf](#)

- 2 [20-9791](#) P200203 - Final Plat - Avilla Traditions, Lot 1, Block A (Commissioner Connor/City Council District 4). Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr. The consultant is Mike Martinie, Spiars and Engineering and the owner is Jason Flory, NexMetro Communities.

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Final Plat.pdf](#)

- 3 [20-9792](#) RP200202 - Replat - Farmers Industrial Addition, Lot 6-R, Block 3 (Commissioner Fisher/City Council District 1). Replat of Lot 4-R and Lot 5-R, Block 3, Farmers Industrial Addition, to create one lot for industrial development. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas. The agent is Alexander Camunez, Pacheco Koch and the owner is Hamilton Peck, Hamilton Commercial.

Attachments: [Exhibit A - Location Map](#)
[Exhibit B - Replat](#)

- 4 [20-9815](#) S181009A - Site Plan - Creekside at Grand Prairie (Commissioner Connor/City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie.

City Council Action: March 3, 2020

Attachments: [Exhibit A - Location Map](#)
[Exhibit B - Amended Site Plan](#)
[Exhibit C - Building Elevations](#)
[Exhibit D - Landscape Plan](#)

Public Hearing Postponement, Recess, and Continuations

In accordance with Section 1.11.5.7 of the Unified Development Code (UDC) a public hearing for which notice has been given may be postponed by announcing the postponement at or after the time and place the hearing is scheduled to begin. A public hearing may be recessed and continued any time after the hearing has commenced. Section 1.11.5.7.C of the UDC states if a postponement or continuance of a public hearing is to a specific date and time no later than 60 days from the first or most recent hearing, the announcement of the postponement or continuance at the public hearing in which the application has been postponed or continued by the Planning and Zoning Commission shall be sufficient notice and no additional notice is required. However, the Planning and Zoning Commission may direct staff to re-notify postponed or continued applications for which public hearings have not yet commenced.

None

Items for Individual Consideration

None

Public Hearing

Members of the public may address the Commission on items listed on the agenda under Public Hearing Items. Persons wishing to address the Commission must first complete a request to speak card. A person may also use the request to speak card to indicate his or her support or opposition to a case without speaking. Cards may be picked up at the desk by the entrance to the City Council Chambers and may be deposited at the desk or given to a staff member. Speaking time is generally limited to five minutes per speaker. Per the by-laws of the Planning and Zoning Commission, the applicant and those favoring the request shall have a maximum of 30 minutes, including rebuttal, to present their arguments for the request. Those in opposition to a request shall have a maximum of 30 minutes to present their arguments against the request. When a large group is present, it is encouraged that representatives be appointed to speak for the group so that redundant testimony is minimized. Commissioners may have questions of those speaking at the public hearing. The time used to answer the Commission's questions will not be deducted from the allotted 30 minutes. These rules may be temporarily suspended, in whole or in part, by a unanimous vote of the Commission.

- 5 [20-9793](#) Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (Commissioner Moser/City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block D, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street.
City Council Action: March 3, 2020
Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Zoning Comparison.pdf](#)
[Exhibit C - Letter of Support.pdf](#)
- 6 [20-9794](#) Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (Commissioner Spare/City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.
City Council Action: March 3, 2020
Attachments: [Exhibit A - Location Map](#)
[Exhibit B - Zoning Document](#)
[Exhibit C - Garage Calculations](#)

Adjournment

In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A., the Planning and Zoning Commission agenda was prepared and posted on February 21, 2020.

Chris Hartmann
Planning Secretary

The City Hall is wheelchair accessible. If you plan to attend this public meeting and you have a disability that requires special arrangements, please call 972-237-8255 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.



Legislation Details (With Text)

File #: 20-9790 **Version:** 1 **Name:** Approval of Minutes of the February 3, 2020 P&Z meeting.
Type: Agenda Item **Status:** Consent Agenda
File created: 2/11/2020 **In control:** Planning and Zoning Commission
On agenda: 2/24/2020 **Final action:**
Title: Approval of Minutes of the February 3, 2020 P&Z meeting.
Sponsors:
Indexes:
Code sections:
Attachments: [PZ Draft Minutes 02-03-20.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

Approval of Minutes of the February 3, 2020 P&Z meeting.

Presenter

David P. Jones, AICP, Chief City Planner

Recommended Action

Approve

Analysis



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
FEBRUARY 3, 2020**

COMMISSIONERS PRESENT: Chairperson Josh Spare, Vice-Chairperson Shawn Connor, Secretary Max Coleman, and Commissioners, Clayton Fisher, Eric Hedin, Cheryl Smith, Bill Moser.

COMMISSIONERS ABSENT: Warren Landrum and Eduardo Carranza

CITY STAFF PRESENT: Deputy City Manager Bill Crolley, David Jones, Chief City Planner, Savannah Ware, Senior Planner, Nyliah Acosta, Planner, Charles Lee, Senior Planner, Mark Dempsey, Deputy City Attorney, Brett Huntsman, Transportation Planner, and Chris Hartmann, Executive Assistant.

Chairperson Josh Spare called the meeting to order in the Council Chambers in the City Hall Building at 6:30 p.m. Commissioner Moser gave the invocation, commissioner Fisher led the pledge of allegiance to the US Flag, and the Texas Flag.

Citizen Comments: None

AGENDA ITEM: #1 - APPROVAL OF MINUTES: To approve the minutes of the Planning and Zoning Commission meeting of January 6, 2020.

PUBLIC HEARING CONSENT AGENDA: Item #2 - P180203 - Final Plat – Clear Lake (Commissioner Spare/City Council District 6). Final Plat of Clear Lake creating 25 residential lots and 4 open space lots on 6.519 acres. Tract 4, Caroline M. Adams Survey, Abstract 38 and Lot 1A, Block 1, Paris Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-363, and located at 1210 E. Seeton Road. The agent is Kylon Wilson, Stantec, the applicant is Trey Walette, Skoburg, and the owner is John Arnold, Skoburg.

Item #3 - P190702 - Minor Subdivision Plat - Granados Park, Lots 1 & 2, Block A (Commissioner Fisher/City Council District 1). Consider a request to plat a 1.091acre property into two single-family lots. The 1.091acre property is located in the John C. Read Abstract No. 1183, Dallas County, Texas. The property is generally located on the north side of Parker road, approximately 270-feet west of Hardrock Road. It is located at the address 1214 Parker Road. The owner is Jose Granados.

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Item #4 - P191003 - Final Plat - Creekside at Grand Prairie Addition (Commissioner Spare/City Council District 6). Final Plat - Lot 1, Block 1, Creekside at Grand Prairie Addition, creating a single 23.387acre lot. A portion 57.46 acres situated in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas. Within the IH-20 Overlay District, zoned PD-378, generally south of the intersection of Bardin Road and Sgt. Greg L. Hunter Lane.

Item #5 - P200105 - Final Plat - Hakemy Addition, Lots 1 and 2, Block A (Commissioner Carranza/City Council District 3). Final Plat for Lot 1 and Lot 2, Block A, Hakemy Addition to establishing two commercial lots. 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, Zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.

Item #6 - P200201 - Preliminary Plat - Hill Street Addition, Lot 1, Block 1 (Commissioner Moser/City Council District 5). A Preliminary Plat to establish Lot 1, Block 1, Hill Street Addition, out of a 13.1509acre tract. Located at 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161 legally described as 13.1509 acres out of the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 District. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.

Item #7 - RP200201 - Replat - Prairie Waters-Southgate Development, Lot 1R and 2, Block 1 (Commissioner Connor/City Council District 4). Replat of Prairie Waters-Southgate Development, Lot 1R and 2, Block 1, creating two lots on 29.547 acres. Lot 1, Block 1, Prairie Waters-Southgate Development, City of Grand Prairie, Tarrant County, Texas, zoned PD-352, within the SH-360 Corridor Overlay District, and addressed as 3666 Prairie Waters Dr. The applicant is John McClure, McClure Partners, the consultant is Juan J. Vasquez, Vasquez Engineering LLC, and the owner is Charles Anderson, TA Southgate Land Partners LP.

AGENDA PUBLIC HEARING ITEMS TO BE POSTPONED: Item # 8 - CPA190604 – Comprehensive Plan Amendment- Grand Oaks and Item #9 - Z190604/CP190604 - Planned Development Request/Concept Plan - Grand Oaks Single Family Residences.

Motion was made to approve the minutes of January 6, 2020, approve public hearing consent agenda items P180203, P190702, P191003, P200105, P200201, and RP200201, and postpone cases CPA190604 and Z190604/CP190604.

Motion: Connor

Second: Moser

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

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Nays: None

Approved: 7-0

Motion: **carried.**

ITEM FOR INDIVIDUAL CONSIDERATION:

Item #10 - S200201 - Site Plan - Presidium Hill Street Apartments (Commissioner Moser/City Council District 5). Planner Nyliah Acosta presented the case report and gave a Power Point presentation for a Site Plan for Presidium Hill Street Apartments, a 290unit multi-Family Development. Located at 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161 legally described as 13.1509 acres out of the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 District. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.

Ms. Acosta stated the 290-unit development is accessible from Hill Street and has two access points, one being an emergency access only gate. The development includes a clubhouse, pool, dog park and dog washing station, and outdoor recreational spaces. The property is accessible from two drives on Hill Street; however, one will be an emergency access only gate. The required number of parking spaces is determined by use. The number of parking spaces provided meets the number of spaces required. The subject property is zoned PD-392 with a base zoning of "MF-3" Multi-Family Three Residential District; development is subject to the "MF-3" standards in the Unified Development Code. The proposal meets or exceeds the density and dimensional requirements. The property is subject to the landscaping and screening requirements found in Article 8 and Appendix W of the UDC. The proposal meets the landscape and screening requirements. The exterior finish includes stucco, manufactured stone, wood tone fiber cement panels, and fiber cement siding material. The proposed building elevations meet the material and architectural requirements. Amenities include: dog park, dog washing station, gated access to adjacent park, pool, water feature, cabanas, outdoor swings and ping pong, and outdoor grill and dining area. The proposal meets Appendix W requirements for amenities. The applicant is requesting 68% one bedroom units. The applicant meets the recommended design standards Council can approve up to a 10% increase in one bedroom units. The Development Review Committee recommends approval.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. No one was present to represent the case. There being no further discussion on the case commissioner Moser moved to close the public hearing and approve case S200201 as presented by staff. The action and vote being recorded as follows:

Motion: Moser

Second: Coleman

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

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Nays: None

Approved: 7-0

Motion: **carried.**

Item #11 - S200202 - Site Plan - Longhorn Steakhouse at Epic West Towne Crossing (Commissioner Hedin/City Council District 2). Senior Planner Savannah Ware presented the case report and gave a Power Point presentation for a Site Plan for a 5,660-sq. ft. restaurant on 1.463 acres. Lot 6R, Block B, Epic West Towne Crossing Phase 1, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH-161 Corridor Overlay District, and addressed as 3134 S HWY 161. The applicant is James Powell, Darden, the consultant is Kourtnie Airheart, CDS Development, and the owner is John Weber, Epic West Towne Crossing LP.

Ms. Ware stated the applicant is proposing to construct a 5,660 sq. ft. restaurant. The site will be accessible from two points on Esplanade. The first drive, already constructed, will provide direct access. The second drive will provide access via a mutual access drive across the Olive Garden site. The Site Plan includes the 5,660 sq. ft. building, parking, fire lane and access drives, and a dumpster enclosure. The subject property is zoned PD-364 with a base zoning district of Commercial. Development is subject to the standards in PD-364 and the UDC. The proposal meets or exceeds the density and dimensional requirements. The flag poles on the roof extend to a height of 33.5 ft. Article 6 of the UDC allows certain features to be constructed 15 ft. higher than the maximum height requirement if not more than one-third of the total roof area is consumed by such features and the features are set back from the edge of the roof a minimum distance of one foot for every foot by which such features extend above the roof surface of the principal building to which they are attached. The flag poles require an exception because they are set back 3 ft. from the roof. Appendix F states that parking calculations in Article 10 of the UDC shall serve as parking maximums. The proposal includes 93 parking spaces, which exceeds the maximum allowed. The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC and PD-364. The proposal meets the landscape and screening requirements. The UDC allows shrubs to be substituted for trees at the rate of 10 shrubs equal one tree. The applicant is proposing to substitute 60 shrubs for six trees.

Ms. Ware stated the exterior building materials include brick, stone, stucco, and fiber cement siding. Appendix F contains two windows requirements. The first is that facades shall include windows in an area that equals 50% of the overall vertical surface of all facades or that equals 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades. The building includes wood shutters on the west, north, and south facades. The applicant is proposing that the wood shutters count towards the window requirements and are included in the calculations below. The proposed building elevations do not meet the window requirements. Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The table below lists the Menu Items included in the proposal. The proposal includes 13 Menu Items and exceeds

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the Appendix F Menu Items requirements. City Council may approve variances to Appendix F if the applicant demonstrates that the proposal meets the intent of the ordinance and that the alternative design or measure provides an equal or greater level of quality and standard of development as mandated by the regulations. As a part of this Site Plan, the applicant is requesting the variances listed below.

1. Windows on Street-Facing Facades. Appendix F requires that windows account for 30% of street-facing facades. Windows account for 7% of the west facade and 16% of the east facade when 30% is required.
2. Total Windows. Appendix F requires that windows account for 50% of the area of all facades or 50% of the length of all facades. Windows account for 35% of the length of all facades when 50% is required.
3. Number of Parking Spaces. The proposed number of spaces exceeds what is allowed.
4. Maximum Height of Architectural Features: The maximum height of the architectural roof is 24 ft. The flag poles on top of the building extend to 33.5 ft. Article 6 of the UDC allows certain features to be constructed 15 ft. higher than the maximum height requirement if not more than one-third of the total roof area is consumed by such features and the features are set back from the edge of the roof a minimum distance of one foot for every foot by which such features extend above the roof surface of the principal building to which they are attached. The flag poles require an exception because they are set back 3 ft. from the roof.

Ms. Ware stated the Development Review Committee recommends approval with the condition that the applicant add windows to the east facade.

Commissioner Hedin asked if there was a certain percentage of windows that staff could accept. Ms. Ware stated they would like to see 30%, but could compromised on a little more than what has been provide.

Will Winkelmann with Winkelmann & Associates, 9952 Portford Drive, Dallas, TX and James Powell, 3719 Brookstone Drive, Sherman, TX, stepped forward representing the case. Mr. Powell stated they are excited to bring this restaurant to Grand Prairie, this would be their third restaurant in north Texas. This is a smaller building than the Olive Garden therefore they would ask that the shutters account for the window requirements. He said their interior is a ranch style restaurant with a farm house feel.

Chairperson Spare asked if they would be willing to provide some spangle glazing to the building. Mr. Powell said using spangle glazing comes with a lot of maintenance and there is no place to put them. Mr. Spare asked if there is any room to meet in the middle with the window requirements. Mr. Powell said he understands staff's recommendation, but, because of their unique look and the size of the building they cannot make any more changes to the building.

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Ms. Ware stated staff would ask that the applicant try to meet the intent of ordinance, Appendix F.

Commissioner Hedin stated the building looks very appealing to him even if they do not meet the window requirements.

Commissioner Smith stated she is willing to consider this case do to the uniqueness of the building, we need to honor this development.

Commissioner Connor stated we should meet the ordinance intent when do we draw the line he would love to see this restaurant come into the city, but we do have standards in place can they at least come up with 20% of the windows.

Commissioner Coleman stated a variance is an appeal and that is what they are asking for relief from the window requirements. This is a small building he feels the concept presented is a good looking building, a variance today does not obligate them for another one tomorrow.

Commissioner Connor said the building does look good, but is this the percentage of windows we want to see.

Commissioner Moser asked why is this a smaller building he understands his reasoning, but he would like to work something out with the applicant, because there is a reason for having standards along Hwy 161. Mr. Powell said all of their steakhouses are on a smaller scale, and corporate does not want to change anything than what is being presented.

Mr. Winkelmann stated Epic West is in a Planned Development district with certain language, they are trying to fit into the Epic district.

Mr. Crolley stated we have been dealing with the Overlay district and been making changes, staff is being challenged, but before we bring a case before the Commission and City Council we have already studied the case and worked with the applicant. Nobody wants to say no, but staff has already done the work to prepare the case to move forward and we have to give a recommendation to the City Council.

Chairperson Spare stated he only wants to see a little more effort on the window percentage.

Commissioner Moser asked if the Epic West included the Main Event, if so why did they not provide the windows required. Mr. Jones replied yes they are also within Epic West, but staff was flexible with the requirements and worked with the applicant on providing more landscaping and lighting.

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Commissioner Fisher said he understands the standards, but they have given everything they can on this building and in his opinion the intent is there.

Commissioner Smith stated this is a unique opportunity for this area to have another steak house in the city, the ranch style look sounds great.

Commissioner Connor said we just need to be careful when making exception, it is a give and take situation, but the overall building does look nice.

Chairperson Spare stated there were no more questions and there being no further discussion on the case commissioner Hedin moved to close the public hearing and approve case S200202 granting the applicants requested variances. The action and vote being recorded as follows:

Motion: Hedin

Second: Moser

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

Item #12 - S200102 - Site Plan - Hakemy Retail Center (Commissioner Carranza/City Council District 3). Senior Planner Charles Lee presented the case report and gave a Power Point presentation to Site Plan for an 8,000 sf retail building on one lot. Lot 1 and Lot 2, Block A, Hakemy Addition, 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.

Mr. Lee stated the subject vacant property is generally located at the northeast corner of S Belt Line Road and E. Pioneer Parkway, just south of Lakeview Drive. In October 2009, a drive thru restaurant was constructed, along with a 30' driveway access easement parallel to E. Pioneer Parkway to serve the restaurant and future commercial properties as anticipated north of Pioneer Parkway. The proposed liquor store will share the parallel access drive with the drive thru restaurant as well as the restaurant to the east, which was developed in 2016. Future mutual access easements are being provided on the proposed plat for Lot 1. A corresponding final plat reflecting the easements is on the current agenda for the Commission's consideration. The site will be accessible from both E. Pioneer Parkway and Lakeview Drive. A north- south access & utility easement is being provided to allow safe vehicle circulation from Pioneer to Lakeview Drive and serve the commercial center. Customer and employee parking spaces are provided on the north and west sides of the building. 12' X 12' Dumpster enclosure with exterior mason construction to match the building's color & materials is located northeast of the building. Development is subject to the GR standards in the UDC. The proposal meets the density and

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dimensional requirements. The number of parking spaces exceeds what is required. The proposal does not meet all of the landscape and screening requirements. The exterior building materials include primarily masonry materials and contrasting Stucco placed along the top portion of the exterior walls. An EFIS band and architectural metal features are incorporated into the elevation's design. The west and south facades are considered Primary Facades. Primary Facades are required to provide three elements. The west and south facades include two masonry accent materials, articulation with at least two distinct areas of vertical and horizontal offset, and windows. The north and east facades are considered Secondary Facades. Secondary Facades must provide at least two elements. The north and east facades include masonry accent material or accent color comprising 10% to 25% of the area of the facade and articulation with at least two areas of vertical offset.

Mr. Lee stated the Development Review Committee recommends approval.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. No one was present to represent the case.

There being no further discussion on the case commissioner Smith moved to close the public hearing and approve case S200102 as presented staff. The action and vote being recorded as follows:

Motion: Smith

Second: Coleman

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

PUBLIC HEARING AGENDA Item #13 - Z200201/S200204 - Zoning Change/Site Plan - Take 5 Oil Change at Victory at Lake Ridge (Commissioner Spare/City Council District 6). Senior Planner Savannah Ware presented the case report and gave a Power Point presentation to allow Minor Auto Repair by right on property with a base zoning district of General Retail and a Site Plan for an oil change facility on 1.296 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom Rd. The applicant: Robert Baldwin, Baldwin Associates and the owner is Tony Ramji, Victory @ Lakeridge LLC.

Ms. Ware started Take 5 Oil Change provides drive-through oil changes. The 1,462 sq. ft. building includes three garage bays. The site is accessible from W Camp Wisdom Rd. Customers will enter the garage bays from the north then remain in the vehicle while employees change the car's oil. The subject property is zoned PD-283 with a base zoning district of General Retail. Development is subject to the standards in PD-283 and the UDC. The proposal meets or exceeds the density and dimensional requirements. The property is subject to landscape and screening requirements in

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Article 8 and Appendix F of the UDC and PD-283. The proposal provides the required number of trees and shrubs. The UDC requires street trees along arterials. The width of the subject property is about 106 ft. at the front setback line but only 39 ft. at the front property line. The subject property is carved out of an existing lot and excludes the area directly in front of the proposed building. This area includes the landscape buffer required along Camp Wisdom Rd and is the appropriate area for street trees. The exterior building materials include brick, stone, and Exterior Insulation and Finish System used as an accent material. Appendix F contains two windows requirements. The first is that facades shall include windows in an area that equals 50% of the overall vertical surface of all facades or that equals 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades.

Ms. Ware stated Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The proposal includes 10.5 Menu Items when 12 Menu Items are required. In 2018 the City updated its use charts and definitions for auto-related businesses. One of the goals of the amendments was to reevaluate the appropriateness of some uses within certain zoning districts and change the use charts to remove or restrict a use from certain zoning districts. As a result of this evaluation, the City removed Auto Sales and Auto Repair from the list of permissible uses in the General Retail District. The nature of the General Retail District hasn't changed since 2018 to warrant adding Minor Auto Repair to the list of permissible uses in the General Retail District. Staff is unaware of any new information to justify this change district wide. This request singles out a piece of land for special treatment to allow Minor Auto Repair in a General Retail District for this particular property. Staff doesn't believe the characteristics of the property or the surrounding area warrant such a change.

Ms. Ware stated the subject property is carved out of an existing lot. Staff is concerned that the site boundaries and design will negatively impact how the remainder of the lot is developed. The Site Plan depicts in concept a restaurant with a drive-through lane. While the restaurant is not a part of the request, it depicts how the proposal will impact the design.

- The majority of the parking is behind the restaurant and there isn't a safe or convenient path from the parking area to the restaurant.
- It shows parking in the 30 ft. landscape buffer along Camp Wisdom Rd, which doesn't conform to the rest of the existing shopping center.
- There is a single lane used for the drive-through and access to the parking area in the rear.
- The design relies on access from the lot to the east. There is not a cross access easement at this location. Additionally, the design would require removing the existing curb which isn't located on the remainder of the lot.

Ms. Ware stated the Development Review Committee recommends denial of the request.

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Commissioner Coleman asked who would pay for the curb cut along Camp Wisdom. Ms. Ware stated the property owner would pay for the curb cut.

Chairperson Spare stated there were no more questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Rob Baldwin with Baldwin & Associates, 3904 Elm Street, Dallas, TX stepped forward representing the Victory Group, owners of the shopping center. He said this would be a very clean business you do not have to get off your car to have an oil change you just simply drive through and exit out. They would be providing a 3 ft. berm at the front of the property and they are willing to compromise on the parking. The use is considered commercial and the Comp plan calls for this type of use at this location. If the commission would rather see the use allowed by a specific use permit they would be acceptable to the SUP.

Chairperson Spare said we cannot base this use on what could be placed on the adjacent lot.

Commissioner Coleman said we have built a lot of apartments in the area, and people want and need to get their vehicles service this new concept is great that you don't have to get out of your vehicle to have it service, he is willing to allow the use by SUP. Mr. Jones said the PD could be amended to allow this use by an SUP and specifically specify State Oil Change.

Commissioner Smith stated she likes the concept that you don't have to get off the vehicle for an oil change and we need to be open to something new.

There being no further discussion commissioner Smith moved to close the public hearing and approve case Z200201/S200204 approval with the condition that the applicant meet all requirements of appendix F and that the landscaping along Camp Wisdom Rd. be consistent with the rest of the Victory at Lake Ridge development. The action and vote being recorded as follows:

Motion: Smith

Second: Coleman

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 3, 2020

Chairperson Spare stated cases CPA200202 and Z200202 would be heard together, but voted on separately.

PUBLIC HEARING AGENDA Item #14 - CPA200202 – Comprehensive Plan Amendment (Commissioner Moser/City Council District 5). Planner Nyliah Acosta presented the case report and gave a Power Point presentation to change the Future Land Use Map from Commercial/Office/Retail to Low Density Residential. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County Texas, zoned GR, General Retail.

Item #15 - Z200202 - Zoning Change - Single Family at 2129 Dalworth Street (Commissioner Moser/City Council District 5). A request to change the zoning from GR, General Retail, to SF-6, Single-Family Six Residential District to allow for a residential dwelling. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County. The owner is Abraham Jackson.

Ms. Acosta stated the applicant is proposing to construct a single-family dwelling. The request is for a change from Commercial/Retail/Office to Low Density Residential on the Future Land Use Map. Staff recommends that Future Land Use map changes along the Dalworth Corridor be supported by a comprehensive study. The existing zoning is GR, General Retail District. The proposed zoning for the 0.23 acres is SF-6. All zoning will defer to the Unified Development Code as amended. The Development Review Committee is not in favor of the proposed rezoning at this time due to the need for a more comprehensive study of the Dalworth corridor. Removing GR zoning from this property will create a pocket of residential in the zoning map and FLUM and reduces the opportunity for commercial land uses along the corridor. The intent of the GR district in this location is to attract businesses with neighborhood scale uses, including grocery stores, office, and retail uses to provide services to the surrounding residents and to diversify the tax base.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Abraham Jackson, 5901 Tuleys Creek, Fort Worth, TX stated all of the lots in the area have residential homes on them this lot is small and close to the power line therefore he does not foresee this lot constructed with a commercial use. He stated there are some newer homes that were constructed down the street to the east and they were granted a zoning change.

Commissioner Moser asked if he owned the property and did he know it was zoned for commercial uses.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 3, 2020

Commissioner Connor asked staff if there is currently a home on the lot can the home be remodel even though it is zoned commercial. Ms. Ware replied yes, but the foot print cannot change or if the homes is destroyed it cannot be rebuilt.

Commissioner Hedin asked where are the newer homes constructed in the area. Mr. Jones stated the newer homes were rezoned and constructed in 2018, they are just the east of this development a few blocks down.

Commissioner Moser stated if we have allowed other lots to be rezoned for residential then he can also grant this applicant a zoning change for his lot.

There being no further discussion on case CPA200202, commissioner Moser moved to close the public hearing and approve case CPA200202. The action and vote being recorded as follows:

Motion: Moser

Second: Conner

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

There being no further discussion case Z200202, commissioner Moser moved to close the public hearing and approve case Z200202 as requested by the applicant. The action and vote being recorded as follows:

Motion: Moser

Second: Smith

Ayes: Coleman, Connor, Fisher, Landrum, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

PUBLIC HEARING AGENDA Item #16 - TA200202 – Text Amendment – Article 4: Permissible Uses and Article 30: Definitions. Chief City Planner David Jones presented the case report and gave a Power Point presentation to amend the Unified Development Code to create definitions and regulations for tattoo studios and body piercing studios. The applicant is the City of Grand Prairie.

Mr. Jones stated in response to recent interest by tattoo studio operators, and at the direction of the City Manager's Office, staff has prepared a draft ordinance updating the city's existing tattoo regulations. Currently, tattoo studios are allowed only by SUP in the industrial districts or in form of permanent cosmetics as an ancillary personal service use. The proposed ordinance would

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 3, 2020

expand tattoo studios to commercial districts, including the Central Area. In order to prevent proliferation or congregation of these uses, the ordinance would institute distance limitations similar to those put in place for alcoholic beverage service. The ordinance would prohibit loitering, would require all studios to close by midnight, and would require that operators obtain yearly continuing education in sanitary practices and CPR. The ordinance would also establish procedures for curing violations through a two-step administrative and Council review process. Because the use would only be authorized by SUP, Council would have the ultimate authority to revoke the permit. These regulations would also apply to body piercing studios, which include any piercing other than ears. Proposed regulations would appear in Articles 11 and 30 of the Unified Development Code.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. There being no further discussion commissioner Moser moved to close the public hearing and approve case TA200202 as presented by staff. The action and vote being recorded as follows:

Motion: Moser

Second: Coleman

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

Chairperson Moser moved to adjourn the meeting. The meeting adjourned at 8:00 p.m.

Joshua Spare, Chairperson

ATTEST:

Max Coleman, Secretary

An audio recording of this meeting is available on request at 972-237-8255.



Legislation Details (With Text)

File #:	20-9791	Version:	1	Name:	P200203 - Avilla Traditions, Lot 1, Block A
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	2/11/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	2/24/2020	Final action:		Final action:	
Title:	P200203 - Final Plat - Avilla Traditions, Lot 1, Block A (Commissioner Connor/City Council District 4). Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr. The consultant is Mike Martinie, Spiars and Engineering and the owner is Jason Flory, NexMetro Communities.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Final Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

P200203 - Final Plat - Avilla Traditions, Lot 1, Block A (Commissioner Connor/City Council District 4). Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr. The consultant is Mike Martinie, Spiars and Engineering and the owner is Jason Flory, NexMetro Communities.

Presenter

Savannah Ware, AICP

Recommended Action

Approve

Analysis

SUMMARY:

Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr.

PURPOSE OF REQUEST:

The purpose of the Final Plat is to create one lot to facilitate the development of Avilla Traditions, a multi-family development on 18.92 acres.

ADJACENT LAND USES AND ACCESS:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-77	Undeveloped
South	PD-359	Undeveloped
West	PD-77	Multi-Family Residential
East	PD-231; PD-231B	School; Undeveloped

HISTORY:

- July 16, 2019: City Council approved a Zoning Change/Concept Plan (Case Number Z190601/CP190601) creating Planned Development District-391 for multi-family use.
- November 19, 2019: City Council approved a Site Plan for Avilla Traditions, a 218-unit multi-family development (Case Number S191104).

PLAT FEATURES:

The Final Plat depicts existing utility easements and establishes utility easements and pedestrian easements.

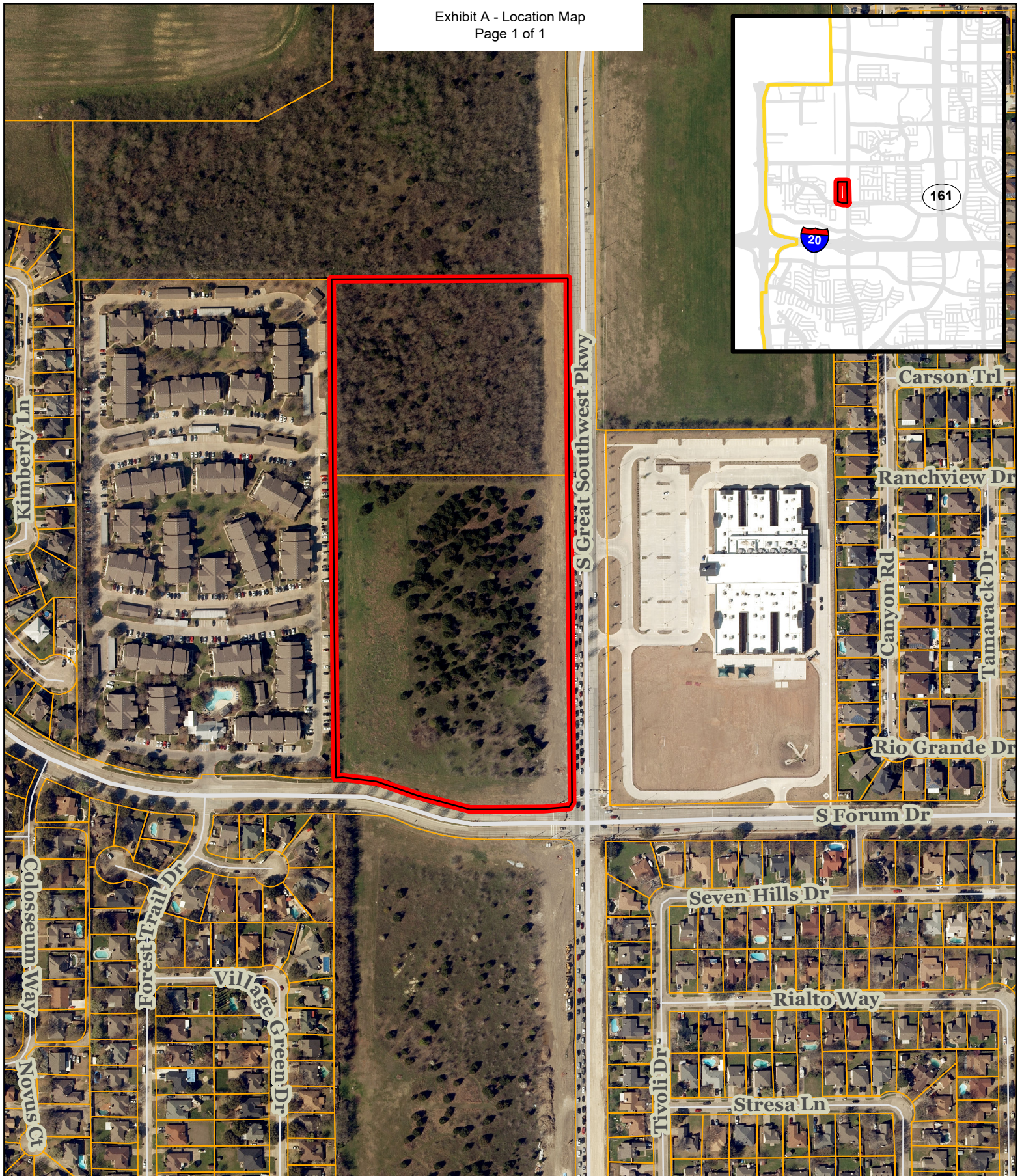
The property is zoned PD-391 for multi-family residential use. The following table summarizes the density and dimensional requirements. The Final Plat meets these requirements.

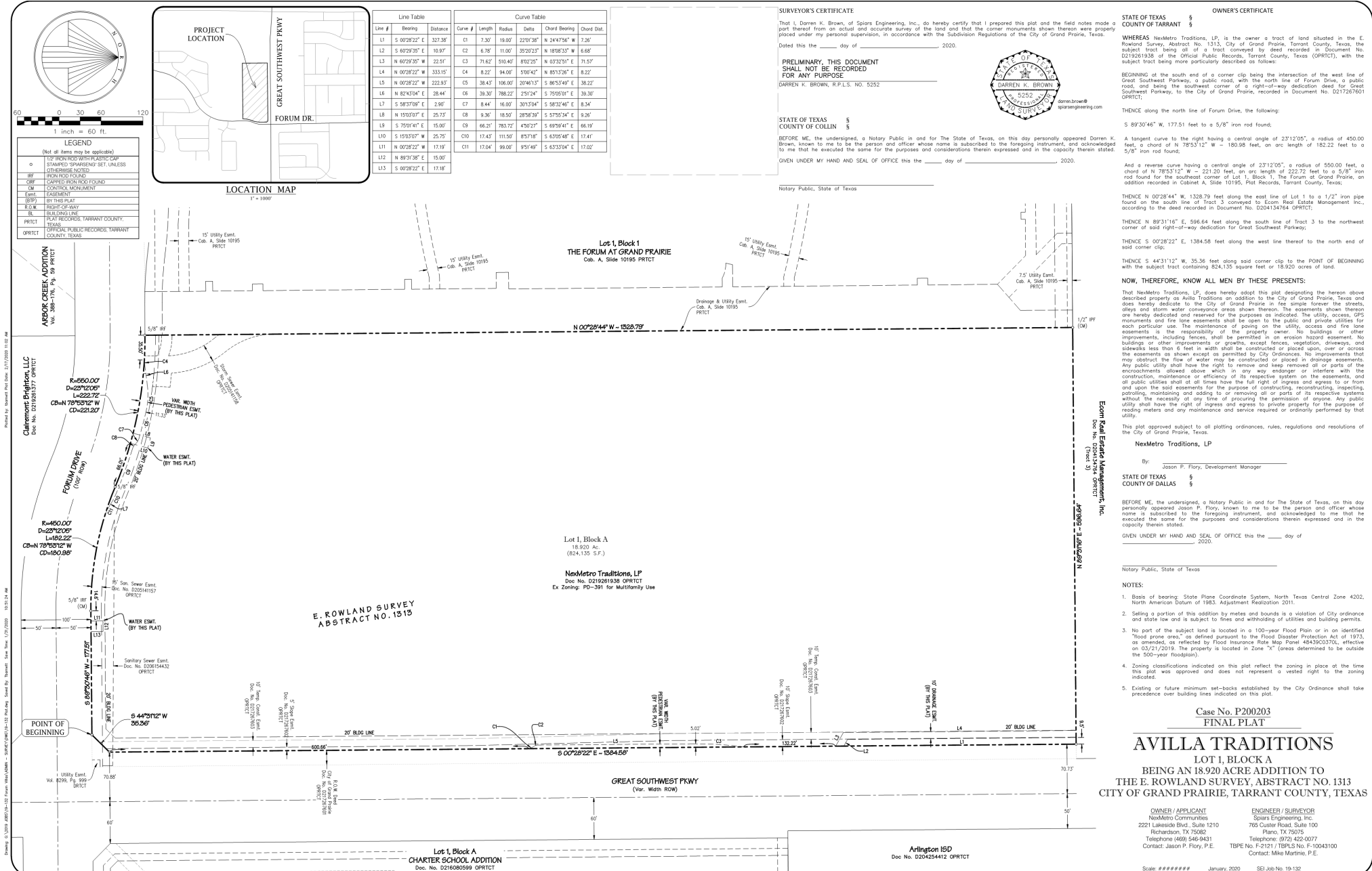
Table 2: Summary of Requirements

Standard	Required
Min. Lot Area (Sq. Ft.)	12,000
Min. Lot Width (Ft.)	100
Min. Lot Depth (Ft.)	120
Front Setback (Ft.)	20
Rear Setback (Ft.)	15

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.







Legislation Details (With Text)

File #:	20-9792	Version:	1	Name:	RP200202 - Farmers Industrial Addition, Lot 6-R, Block 3
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	2/11/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	2/24/2020	Final action:		Final action:	
Title:	RP200202 - Replat - Farmers Industrial Addition, Lot 6-R, Block 3 (Commissioner Fisher/City Council District 1). Replat of Lot 4-R and Lot 5-R, Block 3, Farmers Industrial Addition, to create one lot for industrial development. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas. The agent is Alexander Camunez, Pacheco Koch and the owner is Hamilton Peck, Hamilton Commercial.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map](#)
[Exhibit B - Replat](#)

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

RP200202 - Replat - Farmers Industrial Addition, Lot 6-R, Block 3 (Commissioner Fisher/City Council District 1). Replat of Lot 4-R and Lot 5-R, Block 3, Farmers Industrial Addition, to create one lot for industrial development. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas. The agent is Alexander Camunez, Pacheco Koch and the owner is Hamilton Peck, Hamilton Commercial.

Presenter

Charles Lee, AICP, CBO, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

Consider a replat combine two lots into one and revise utility easements to accommodate the development of the property. Farmers Industrial Addition, Block 3, Lots 4-R and 5-R. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas.

ADJACENT LAND USES AND ACCESS:

The following table summarizes the zoning designation and existing land use for surrounding properties.

Direction	Zoning	Existing Use
North	Light Industrial (LI) District	Undeveloped
South	Light Industrial (LI) District	Undeveloped
East	Light Industrial (LI) District	Wolfe Masonry Contractors
West	Planned Development -105 (PD-105) District	Mobile Home Park (Grand Place)

HISTORY:

January 21, 2020: City Council approved Site Plan (S200103) for 40,670 sq. ft. office/showroom warehouse facility.

ANALYSIS:

The replat as submitted combines the existing two lots into one, provides mutual access easement to adjacent property to the east, dedicates required detention easement and reflects existing easement & amendments to utility easements to accommodate the development of the property.

RECOMMENDATION:

The Development Review Committee recommends approval of the replat



CASE LOCATION MAP
Case Number RP200202
Farmers Industrial Addition, Lot 6-R, Block 3

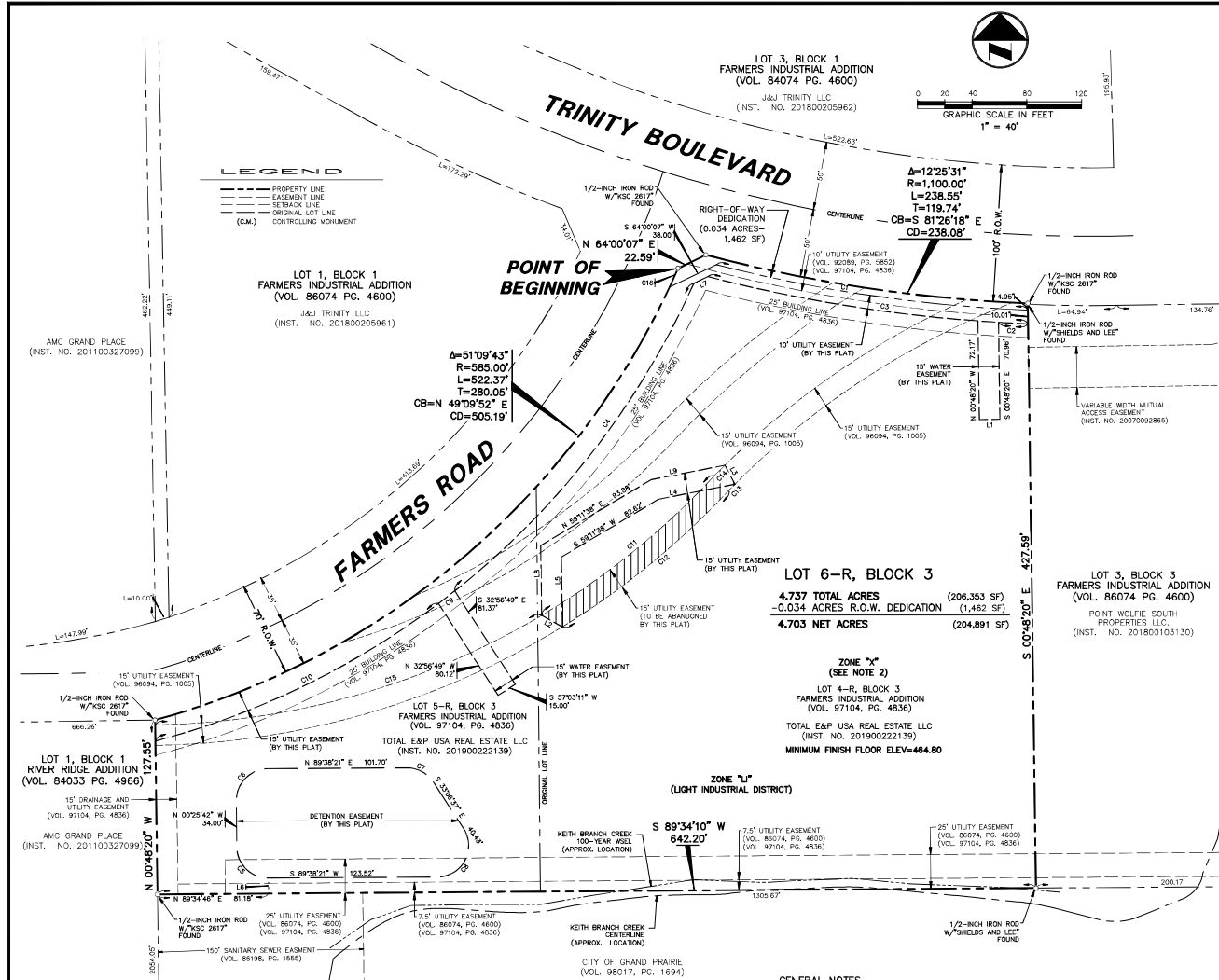


City of Grand Prairie
Development Services

(972) 237-8255
www.gptx.org

Exhibit B - Replat

EXHIBIT B



STATE OF TEXAS
COUNTY OF DALLAS

DESCRIPTION: of a 4.737 acre tract of land situated in the John C. Read Survey, Abstract No. 1183, Dallas County, Texas, said tract being all of Lots 4-R & S-R, Block 3, Farmer Industrial Addition, an addition to the City of Grand Prairie, Texas according to the plat recorded in Volume 97104, Page 4836 of the Deed Records of Dallas County, Texas, said tract being all of that certain tract of land described in Special Warranty Deed to Total E&P USA Real Estate, LLC recorded in Instrument No. 20190022139 of the Official Public Records of Dallas County, Texas; said 4.737 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "KSC 2617" cap found for corner at the intersection of the east right-of-way line of Farmers Road (a 70-foot wide right-of-way) and the south right-of-way line of Trinity Boulevard (a 100-foot wide right-of-way), said point being the south west corner of a right-of-way clip;

THENCE, North 64 degrees, 00 minutes, 07 seconds East, along the southeast line of said right-of-way clip, a distance of 22.59 feet to a 1/2-inch iron rod with "KSC 2617" cap found for corner in the east corner of said right-of-way clip; said point being the beginning of a non-tangent curve to the left;

THENCE, in a southeasterly direction along the said south line of Trinity Boulevard and said curve to the left, having a central angle of 12 degrees, 20 minutes, 31 seconds, a radius of 1,100.00 feet, a chord bearing and distance of South 81 degrees, 26 minutes, 18 seconds East, 238.08 feet, an arc distance of 238.55 feet to a 1/2-inch iron rod "KSC 2617" cap found for corner at the end of said curve;

THENCE, South 00 degrees, 48 minutes, 20 seconds East, departing the said south line of Trinity Boulevard and along the west line of Lot 3, Block 3 of Addition, Farmers Industrial Addition an addition to the City of Grand Prairie, Texas according to the plat recorded in Volume 86074 Page, 4600 of said Official Public Records and continuing a total distance of 427.59 feet to a 1/2-inch iron rod with "SHIELDS AND LEE" cap found for corner said point being the southwest corner of Lot 3, Block 3 and in the north line of a tract of land described in Special Warranty Deed to City of Grand Prairie recorded in Volume 98017, Page 1694 of the Deed Records of Dallas County, Texas;

THENCE, South 89 degrees, 34 minutes, 10 seconds West, along the said north line of City of Grand Prairie tract a distance of 642.20 feet to a 1/2-inch iron rod with "KSC 2617" cap found for corner, said point being the northwest corner of City of Grand Prairie tract and the east line of Lot 1, Block 1 River Ridge Addition an addition to the City of Grand Prairie, Texas according to the plat recorded in Volume 84033 Page, 4586 of said Official Public Records of Dallas County, Texas;

THENCE, North 00 degrees, 48 minutes, 20 seconds West, along the said east line of Lot 1, Block 1, a distance of 127.55 feet to 1/2-inch iron rod with "KSC 2617" cap found for corner, said point being in the said south line of Farmers Road, the northeast corner of Lot 1, Block 1 and the beginning of a non-tangent curve to the left;

THENCE, in a northeasterly direction along the said south line of Farmers Road and said curve to the left, having a central angle of 51 degrees, 09 minutes, 43 seconds, a radius of 585.00 feet, a chord bearing and distance of North 49 degrees, 59 minutes, 52 seconds East, 505.19 feet, an arc distance of 585.00 feet to the POINT OF BEGINNING;

CONTAINING: 206,353 square feet or 4.737 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That TOTAL E&P USA REAL ESTATE, LLC do hereby adopt this plat designating the heron above described property as LOT 6-R, BLOCK 3, FARMERS INDUSTRIAL ADDITION, an addition to the City of Grand Prairie, Texas and do hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water conveyance areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes indicated. The utility, access and fire lane easements are hereby dedicated and reserved for the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire lane easements is the responsibility of the property owner. The improvement of existing streets and other improvements of existing streets, easements, easement, No buildings or other improvements of growing, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over, across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity of any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to or from the property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

WITNESS MY HAND this ____ day of _____, 2020.

By: _____
Title: _____
Notary Public in and for the State of Texas

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2020.

Notary Public in and for the State of Texas

My commission expires: _____

SURVEYOR'S CERTIFICATION

STATE OF TEXAS
COUNTY OF DALLAS

KNOW ALL MEN BY THESE PRESENTS:

THAT, I, Jonathan E. Cooper, do hereby certify that I prepared this plat from an actual survey of the land and that the corner monuments shown thereon were properly placed upon my personal supervision in accordance with the Platting Rules and Regulations of the City of Grand Prairie, Texas.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RELEASED 2/15/20

Jonathan E. Cooper
Professional Land Surveyor
No. 5369

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Jonathan E. Cooper, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office this ____ day of November, 2020.

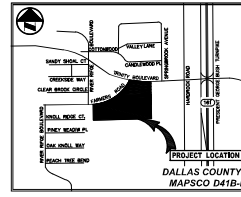
Notary Public in and for the State of Texas

My commission expires: _____

THIS PLAT FILED IN:

INSTRUMENT NO. _____

DATE: _____



VICINITY MAP

(NOT TO SCALE)

GENERAL NOTES

- Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone (4202). Distances shown have been adjusted to surface by applying the Dallas County FDOT Factor of 1.000136506.
- Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Dallas County, Texas and Incorporated Areas, Map No. 481305295L, Community-Pond No. 485472, 0295 L, Map Revised: March, 2019. All of the subject property is shown to be located in Zone "X" Floodway on said map. The location of the said floodzones is based on said map, is approximate and is not located on the ground. Relevant zones are defined on said map as follows:
Zone "X" - Other Areas: Areas determined to be outside the 0.2% annual Chance floodplain.
- Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicating.
- Existing or future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat.
- The purpose of this replat is to combine two existing lots into one new lot, revising/amending utility easements (sewer, detention, water) and identifying existing easement on the property to accommodate the development.

OWNER

TOTAL E&P USA REAL ESTATE, LLC
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 77002
Ph: (972) 663-9775
CONTACT: HAMILTON PECK

APPLICANT

HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY
ARLINGTON, TEXAS 76010
Ph: (972) 663-9775
CONTACT: ROBERT W. RICE

SURVEYOR / ENGINEER

PACHOCO KOCH, LLC
1507 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
Ph: (972) 235-3031
CONTACT: JONATHAN E. COOPER

Pacheco Koch
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM F-469
TX SURVEYING FIRM LS-000800
DRAWN BY: JMW CHECKED BY: MWN SCALE: 1"=40' DATE: FEB. 2020 JOB NUMBER: 4454-19-564

LINE TABLE			CURVE TABLE						
LINE	BEARING	LENGTH	CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
L1	S 89°14'40" W	15.80'	C1	116°13'15"	116.13'	233.57'	116.70'	N 87°40'07" E	230.15'
L2	N 67°58'29" W	17.29'	C2	01°06'31"	116.13'	23.58'	10.79'	N 87°40'07" E	21.58'
L3	S 27°57'32" E	18.66'	C3	12°10'00"	116.13'	237.07'	116.86'	S 81°36'48" E	236.63'
L4	S 78°52'50" E	57.00'	C4	27°27'18"	600.00'	287.51'	146.51'	N 37°50'50" E	284.77'
L5	S 00°48'20" E	61.03'	C5	89°50'57"	23.00'	36.10'	22.97'	N 49°23'40" W	32.51'
L6	N 00°25'14" W	11.32'	C6	90°54'03"	23.00'	36.10'	23.03'	N 44°36'20" E	32.55'
L7	S 64°50'07" W	11.38'	C7	57°15'02"	23.00'	22.98'	12.55'	S 61°46'08" E	22.04'
L8	N 00°48'20" E	51.09'	C8	122°44'58"	600.00'	49.27'	42.14'	S 28°10'52" W	40.38'
L9	N 78°52'50" E	55.04'	C9	01°26'15"	600.00'	15.05'	7.53'	N 52°16'03" E	15.05'
			C10	22°10'01"	600.00'	231.61'	117.26'	N 64°33'35" E	230.17'
			C11	16°22'26"	570.00'	162.89'	82.01'	N 51°02'31" E	162.34'
			C12	15°29'13"	585.00'	108.13'	79.55'	N 50°37'44" E	157.64'
			C13	50°35'54"	585.00'	6.11'	3.05'	S 44°33'29" W	6.11'
			C14	01°22'27"	600.00'	10.30'	5.45'	S 40°08'10" W	10.30'
			C15	29°51'40"	570.00'	297.07'	151.89'	N 74°10'45" E	293.72'
			C16	01°28'22"	585.00'	15.05'	7.53'	N 24°19'50" E	15.05'

REPLAT LOT 6-R, BLOCK 3, FARMERS INDUSTRIAL ADDITION



Legislation Details (With Text)

File #:	20-9815	Version:	1	Name:	S181009A - Site Plan - Creekside at Grand Prairie
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	2/19/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	2/24/2020	Final action:		Final action:	
Title:	<p>S181009A - Site Plan - Creekside at Grand Prairie (Commissioner Connor/City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie.</p> <p>City Council Action: March 3, 2020</p>				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map](#)
[Exhibit B - Amended Site Plan](#)
[Exhibit C - Building Elevations](#)
[Exhibit D - Landscape Plan](#)

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

S181009A - Site Plan - Creekside at Grand Prairie (Commissioner Connor/City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie.

City Council Action: March 3, 2020

Presenter

David P. Jones, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Amendment to Site Plan originally approved as Luxe at Grand Prairie. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy.

PURPOSE OF REQUEST:

The purpose of the request is to increasing unit count from 315 to 318 units and to expand the overall building footprint by 25,153 square feet.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-250	Retail Commercial
South	PD-50	Single-Family Residential
West	PD-30; PD-44	Undeveloped; Bank; Retail Commercial
East	PD-30; PD-372	Undeveloped; Industrial

HISTORY:

- June 4, 2019: Planning and Zoning Commission approved a Preliminary Plat for Lots 1 and 2, Block 1, MBC GSW Bardin Addition, consisting of one commercial lot and one multi-family lot.
- June 19, 2018: City Council approved Planned Development No. 378 (Lux Grand Prairie) consisting of Multi-Family uses.
- February 3, 2020: Planning and Zoning Commission approved a Final Plat for Lot 1, Block 1, Creekside at Grand Prairie Addition.

SUMMARY OF USES:

The Site Plan depicts six residential apartment buildings with 318 units along with a leasing office and clubhouse. Although this is an increase of 3 units and approximately 25,000 square feet of building area, the layout and density of the buildings and residential units substantially complies with the approved Concept Plan.

DENSITY AND DIMENSIONAL STANDARDS:

Table 2: Conformance with Residential Development Standards

Standard	PD-378 Standard	Approved Plan	Proposed Plan	Meets?
Max Density	14.13 du per acre	13.47 du per acre	13.59 du per acre	Yes
Unit Mix	1 bed = 59%	1 bed = 59%	1 bed = 59%	Yes

	2 & 3 bed = 41%	2 & 3 bed = 41%	2 & 3 bed = 41%	
Frt Setback	45 feet	45 feet	45 feet	Yes
Rear Setback	60 feet	60 feet	60 feet	Yes
Side Setback	25 feet	25 feet	25 feet	Yes
Max Ht	3 story/50 feet	3 story/36 feet	3 story/37 feet	Yes

ACCESS:

One full access point is shown to Bardin Road. The full access will align with existing Sgt. Greg L. Hunter Lane. A second point of access will also be provided from Bardin.

BUILDING DESIGN:

Buildings are shown with a mix of Fiber Cement siding, stucco, and applied stone in earth tone colors, which meets the masonry recommendations of Appendix W and are substantially similar to the approved Site Plan. Horizontal and vertical articulation are shown, and the building utilize a hipped roof with architectural shingles. Maximum height has increased from 36 to 37 feet, which is still under the maximum height of 50 feet per standards of PD-378.

AMENITIES:

The applicant will provide amenities per the requirements of the PD. Amenities include:

Table 3: Proposed Amenities

Fitness Center	Swimming Pool
Pool Cabana	BBQ Grill
Outdoor Game Area with Trellis	Playground
Walking Trail	2 Dog Parks
Business Center/Wifi Café	Yoga Room
Party Kitchen	Club Room with Covered Patio

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval of the proposed Site Plan with the condition that the developer dedicate easement along the east and north property boundaries for a future public trail to be constructed by the City.



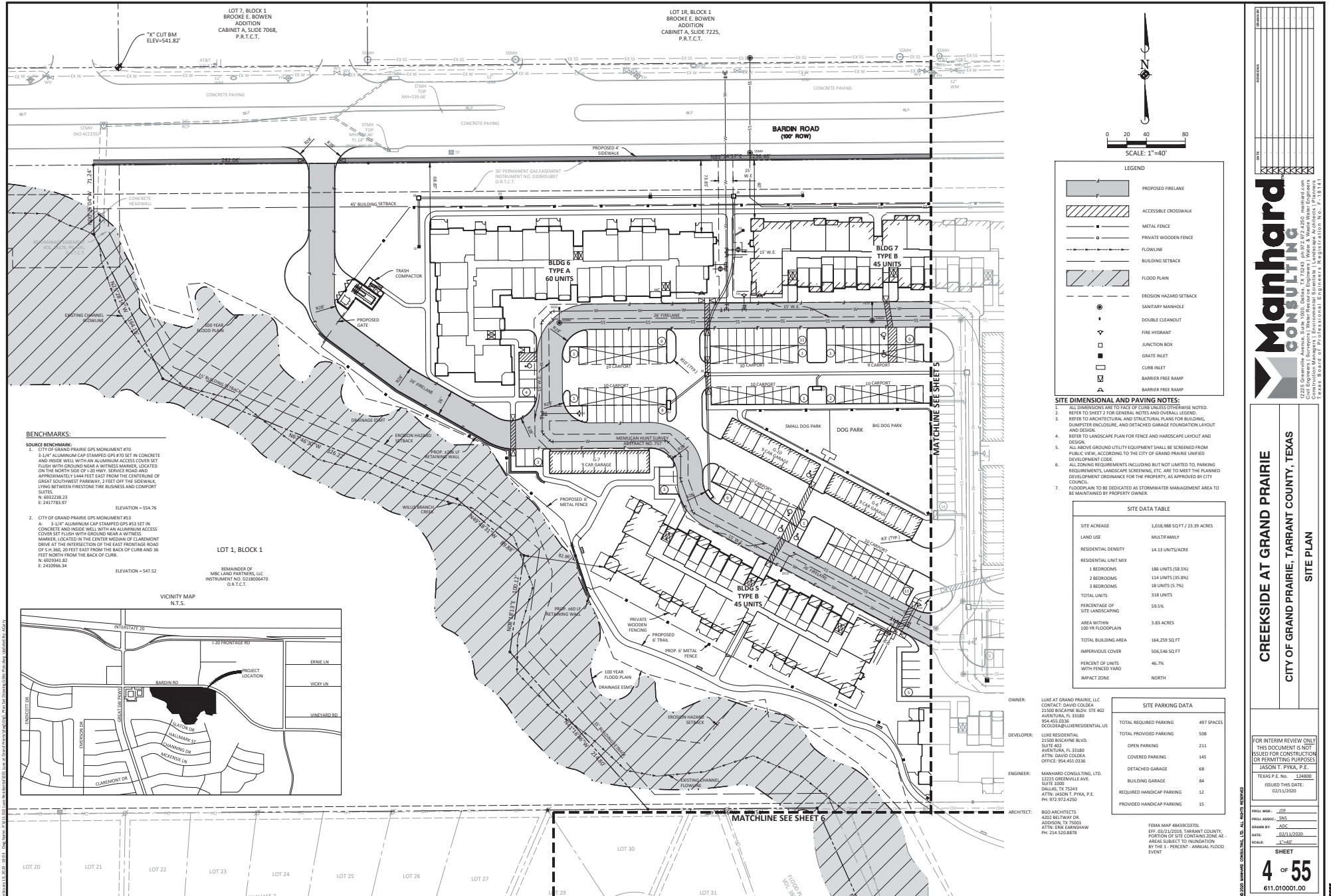
CASE LOCATION MAP
Case Number S181009A
Creekside at Grand Prairie

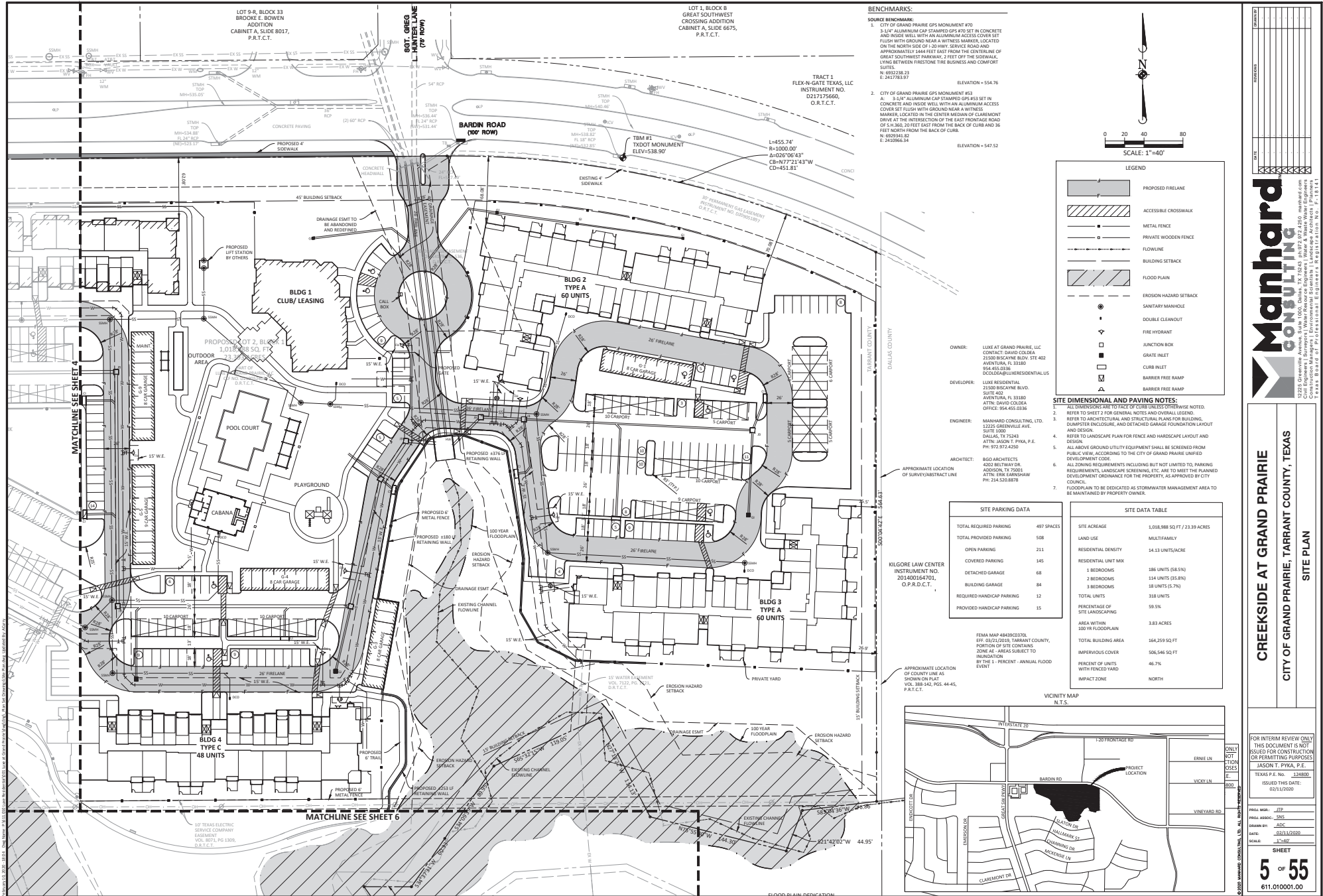


City of Grand Prairie
Development Services

(972) 237-8255
www.gptx.org

Exhibit B - Amended Site Plan
Page 1 of 2









S1
STONE 1
NEVLSTONE

STYLE: AUSTIN STONE
COLOR: AZURE
MORTAR: ARGOS WHITE
OR APPROVE EQUAL



P1
PAINT 1-
BOARD AND BATTEN
AND RAILING

JAMES HARDIE
OR APPROVE EQUAL

SHERWIN WILLIAMS
PORTABELLO
SW 6102



P2
PAINT 2- MAIN TRIM,
SOFFITS, FASCIAS, EAVES,
TRIM, BANDING,
SURROUNDS. STUCCO TRIM,
WINDOW TRIMS, DOOR TRIMS
AND DOOR PANELS. COPING
TO MATCH COLOR WHERE IT
OCCURS

SHERWIN WILLIAMS
KAFFEE
SW 6104



P3
PAINT 3- ACCENT
COLOR

STUCCO

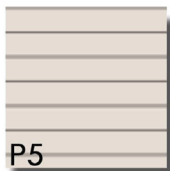
SHERWIN WILLIAMS
PAVILION BEIGE
SW 7512



P4
PAINT 4- MAIN
ACCENT COLOR

STUCCO BODY

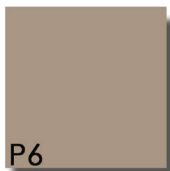
SHERWIN WILLIAMS
RICE PADDY
SW 6414



P5
PAINT 5- BALCONY
SIDING

JAMES HARDIE
OR APPROVE EQUAL

SHERWIN WILLIAMS
MODEST WHITE
SW 6084



P6
PAINT 5- MAIN
STUCCO BODY

SHERWIN WILLIAMS
SANDERLING
SW 7513



R1
TIMBERLINE HD
GAF
FOX HOLLOW GRAY
ASPHALT SHINGLE



R2
STANDING SEAM
ROOF AND METAL
AWNINGS

METAL ROOF, GUTTERS,
FASCIA AND EAVES

BERRIDGE
ZINC GREY OR
APPROVE EQUAL



DS
DOWNSPOUTS &
GUTTERS

SENOX CORP.
OR APPROVE EQUAL

ROYAL BROWN



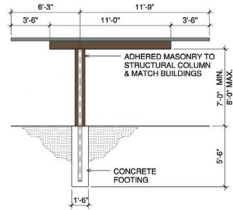
W1
WINDOWS
PLY-GEM OR
APPROVE EQUAL

BRONZE

THE LUX AT GRAND PRAIRIE- MATERIAL BOARD
GRAND PRARIE, TEXAS

SCALE 1/8"=1'-0"

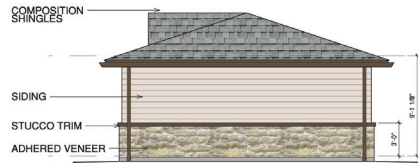
NOTE:
CARPORTS TO BE PROVIDED BY OTHERS.
DESIGN TO MEET ALL LOCAL JURISDICTIONAL LOADING REQUIREMENTS.



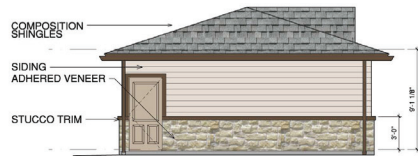
8 CARPORT ELEVATION
SCALE: 3/16"=1'-0"



6 8 CAR GARAGE HC-FRONT ELEVATION
SCALE: 3/16"=1'-0"



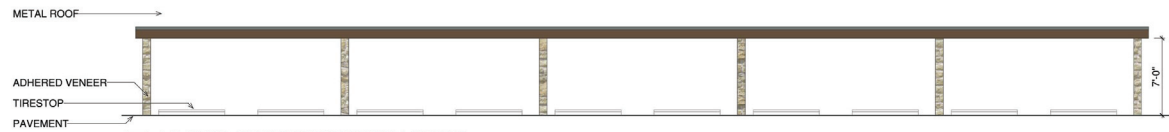
4 SIDE ELEVATION - TYP
SCALE: 3/16"=1'-0"



2 SIDE ELEVATION - HC
SCALE: 3/16"=1'-0"



7 6 CAR CARPORT ELEVATION
SCALE: 3/16"=1'-0"



5 10 CAR CARPORT ELEVATION
SCALE: 3/16"=1'-0"



3 8 CAR GARAGE-REAR ELEVATION
SCALE: 3/16"=1'-0"



1 8 CAR GARAGE-FRONT ELEVATION
SCALE: 3/16"=1'-0"

Carport Elevations - Total		
MATERIAL	SF	%
Fiber Cement	0	0%
Stone	0	0%
Adhered Stone	44	100%
Total	44	100.00%

Garage Elevations - Total		
MATERIAL	SF	%
Fiber Cement	864	63%
Stone	16	2%
Adhered Stone	608	37%
Total	1368	100.00%

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.B.a



REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT
SUBMITTAL



4202 Beltway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

DATE
9-17-2018

PROJECT
17249

SHEET NUMBER

A2-32
GARAGE & CARPORT
ELEVATIONS

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Trash Elevations - Total		
MATERIAL		
	SF	%
Fiber Cement	0	0%
Stucco	0	0%
Adhered Masonry	526	100%
Total	526	100.00%



09-17-2018

REVISIONS

LUX AT GRAND PRAIRIE

GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

 **BGO** architects

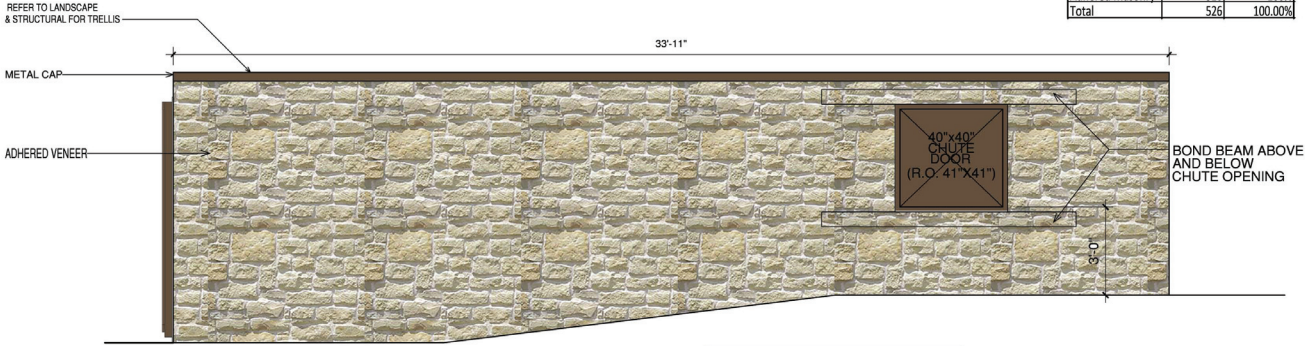
4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

DATE
9-17-2018

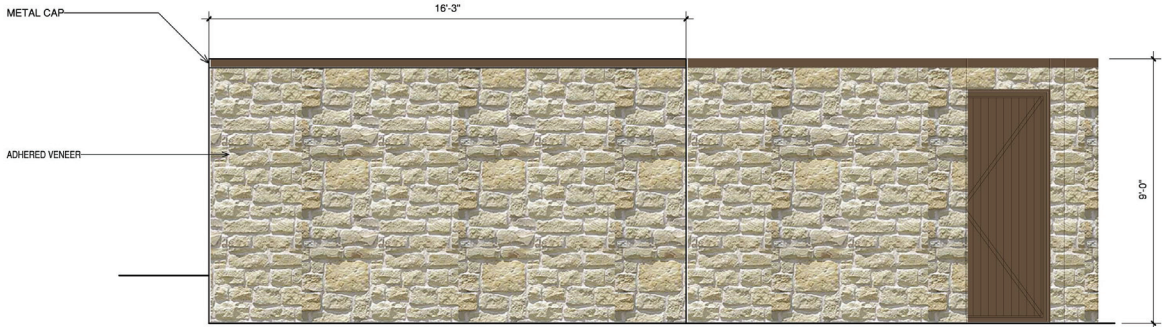
PROJECT
17249

SHEET NUMBER
A2-42

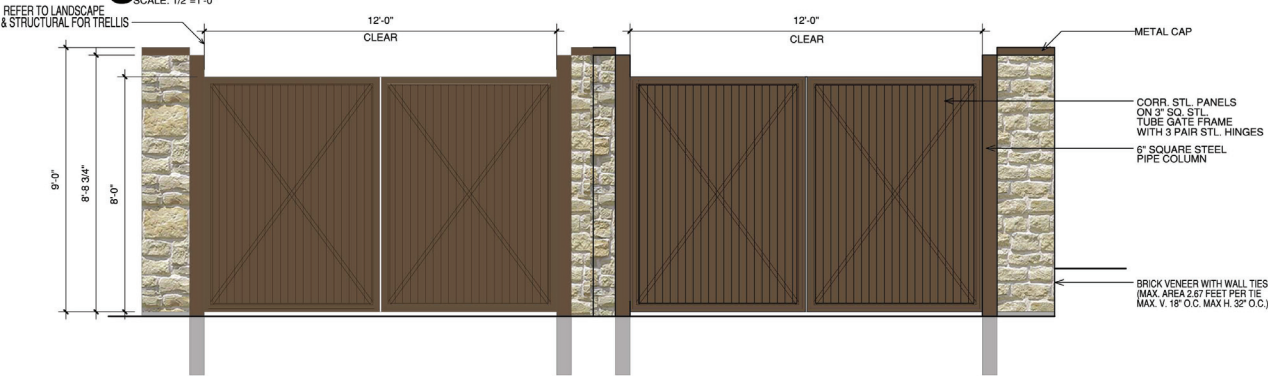
TRASH ELEV./
DETAILS



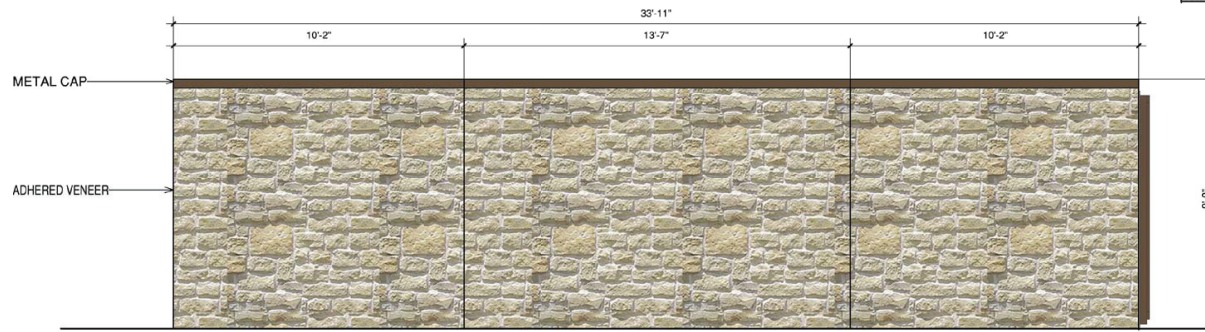
5 TRASH ENCLOSURE - SIDE ELEVATION CHUTE
SCALE: 1/2" = 1'-0"



3 TRASH ENCLOSURE-REAR ELEVATION
SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE-FRONT ELEVATION
SCALE: 1/2" = 1'-0"



6 TRASH ENCLOSURE-SIDE ELEVATION RECYCLING

Trash Elevations - Total		
MATERIAL		
	SF	%
Fiber Cement	0	0%
Stucco	0	0%
Adhered Masonry	526	100%
Total	526	100.00%



REVISIONS

LUX AT GRAND PRAIRIE

GRAND PRAIRIE, ILL.

DEVELOPMENT
SUBMITTAL

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Addison, TX 75001
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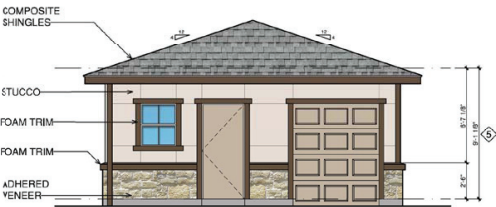
DATE
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PROJECT
17249

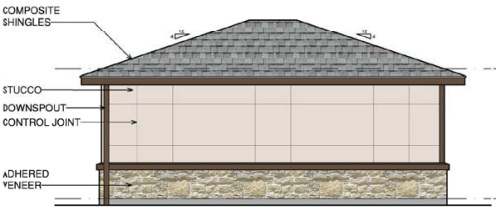
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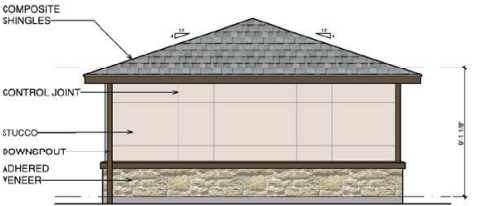
TRASH ELEV./
SECTIONS



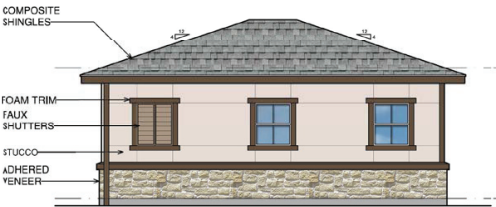
7 MAINT. FRONT ELEVATION
SCALE: 1/4" = 1'-0"



6 MAINT. SIDE ELEVATION
SCALE: 1/4" = 1'-0"



5 MAINT. REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 MAINT. SIDE ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND:

- ACHIERED MASONRY - STONE
- SEEP CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY 2009 IRC 7.20.4.

NON-INDUSTRIAL BUILDING DESIGN:

- PROVIDE EXTERIOR ELEVATIONS
- INDICATE THE SURFACE BREAKS OF EACH WINDOW
- LOCATION OF DESIGNATED PRIMARY WINDOWS
- LOCATION OF ARTICULATED WINDOWS AND CONTROL JOINTS
- INDICATE REQUIRED ROOF PITCH
- INDICATE REQUIRED ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- INDICATE BUILDING HEIGHT (H)

NON-INDUSTRIAL MATERIAL SELECTIONS:

- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- INDICATE AMOUNT AND LOCATION OF CONCRETE TO WALL ARTICLES
- HORIZONTAL ARTICULATION OF PRIMARY ELEVATIONS
- VERTICAL ARTICULATION OF PRIMARY ELEVATIONS
- INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
- ARE PROVIDED (25% WINDOWS REQ)
- INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- INDICATE AMOUNT AND LOCATION OF 2 OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE OF CONCRETE TO WALL ARTICLES

Maintenance Operations - Soil	
Material	Soil
1. Soil Control	0.00
2. Soil	1.00
3. Adhered Stone	0.00
4. Soil	1.00
5. Soil	1.00
6. Soil	1.00
7. Soil	1.00
8. Soil	1.00
9. Soil	1.00
10. Soil	1.00



REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT
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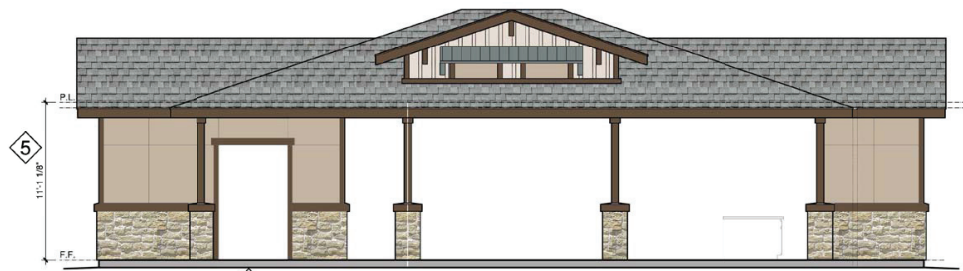
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PROJECT
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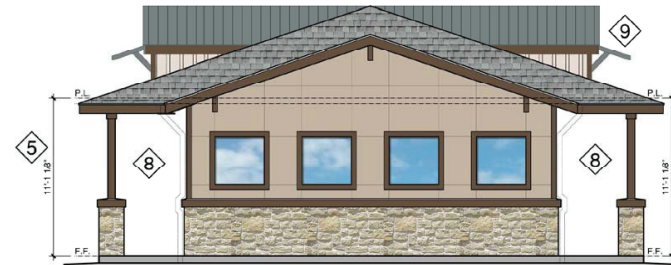
SHEET NUMBER

A2-50
MAINTENANCE
BUILDING

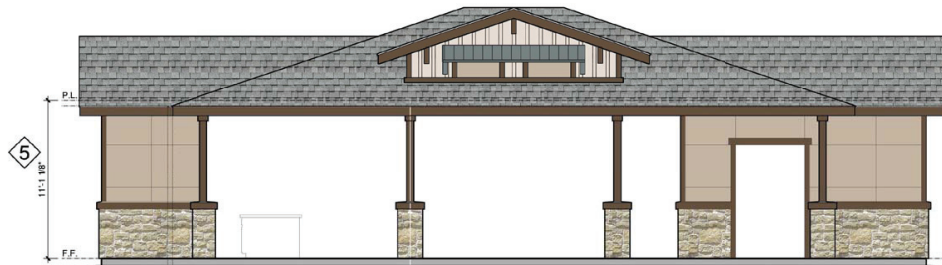
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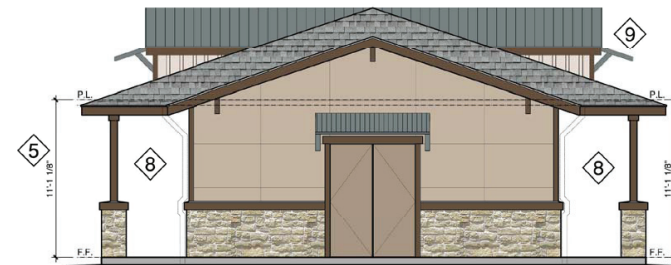
7 CABANA - ELEVATION
SCALE 1/4"=1'-0"



6 CABANA - ELEVATION
SCALE 1/4"=1'-0"



5 CABANA - ELEVATION
SCALE 1/4"=1'-0"



4 CABANA - ELEVATION
SCALE 1/4"=1'-0"

Cabana Elevations - Total			
MATERIAL			
	S.F.	%	
Fiber Cement	96	9%	
Stucco	709	63%	
Adhered Stone	312	28%	
Total	1127	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
59	1178	4%	

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

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- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.8.a

NON-INDUSTRIAL BUILDING DESIGN:

- 1 PROVIDE EXTERIOR ELEVATIONS
- 2 INDICATE THE SURFACE AREA OF EACH FACADE
- 3 LOCATION OF DESIGNATED PRIMARY FACADES
- 4 LOCATION OF ARTICULATED PUBLIC ENTRANCES
- 5 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
- 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 7 VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 8 INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
- 9 INDICATE WINDOWS AND COVERED WALKWAYS ARE PROVIDED (25% WINDOWS REQ'D)
- 10 INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE

NON-INDUSTRIAL MATERIAL SELECTIONS:

- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- 12 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
- 13 INDICATE AMOUNT AND LOCATION OF 2" REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
- 14 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT.

REVISIONS

LUX AT GRAND PRAIRIE

GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

BGO architects

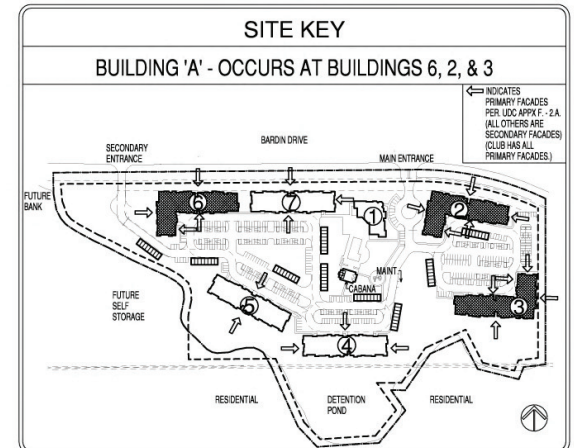
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214-221-0018
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DATE
9-17-2018

PROJECT
17249

SHEET NUMBER
1
A2-60

CABANA PLAN AND ELEVATIONS



MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

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- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UCC APP. F - 2.8.A

BUILDING TYPE 'A' - ELEVATION KEY

BUILDING TOTAL	
MATERIAL	%
ADHERED MASONRY - STONE	10%
FIBER CEMENT - BOARD & BATTEN	40%
STUCCO & CONTROL JOINTS	50%
TOTAL	100%

- NON-INDUSTRIAL BUILDING DESIGN:**
- 1 PROVIDE EXTERIOR ELEVATION
 - 2 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1/A-03)
 - 3 VERTICAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2/A-05)
 - 4 LOCATION OF DISCONTINUED PRIMARY FACADES
 - 5 INDICATE THE DESIGN ELEMENTS FOR BASE, FELD WALL AND PARAPET WITH CORNICE
 - 6 LOCATION OF ARTICULATED PUBLIC ENTRANCE
 - 7 INDICATE WINDOWS AND COVERED WALKWAYS AND PROVIDED SIGN WINDOWS REQ'D
 - 8 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - 9 INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
 - 10 INDICATE BUILDING HEIGHT (H)
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- 11 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 12 INDICATE AMOUNT AND LOCATION OF 2" REINFORCED CONCRETE TILT WALL SURFACES ON REMAINING TILT WALL SURFACES
 - 13 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - 14 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT WALL APPLICATIONS
 - 15 INDICATE AMOUNT AND LOCATION OF 2" REINFORCED CONCRETE TILT WALL SURFACES ON REMAINING TILT WALL SURFACES
 - 16 INDICATE AMOUNT AND LOCATION OF 2" REINFORCED CONCRETE TILT WALL SURFACES ON REMAINING TILT WALL SURFACES



2 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



08-27-2019

REVISIONS

CREEKSIDE AT GRAND PRAIRIE
GRAND PRAIRIE, TX

PERMIT SET



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DATE

08-27-19

PROJECT

17249

SHEET NUMBER

A4-00

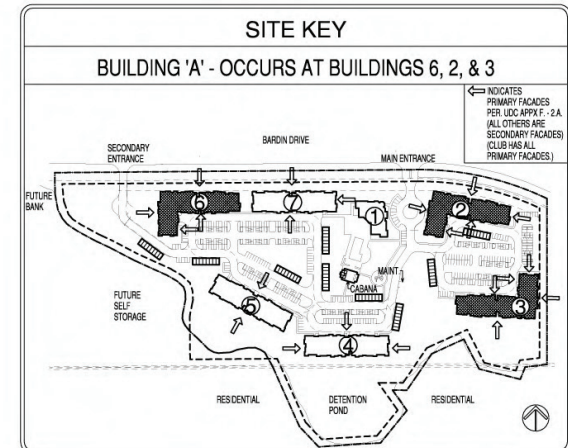
BUILDING A
EXTERIOR ELEVATIONS



3 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UCC APP. F - 2B.4

BUILDING TYPE 'A' - ELEVATION KEY

BUILDING TOTAL	
MATERIAL	SQ. FT.
ADHERED MASONRY	1,200
FIBER CEMENT	1,200
ADHERED STONE	1,200
STUCCO	1,200
GLASS	1,200
ST. BRICK	1,200

- NON-INDUSTRIAL BUILDING DESIGN:**
- 1 PROVIDE EXTERIOR ELEVATIONS
 - 2 INDICATE THE SURFACE AREA OF EACH FACADE
 - 3 LOCATION OF DESIGNATED PUBLIC ENTRANCES
 - 4 LOCATION OF ARTICULATED PUBLIC ENTRANCES
 - 5 INDICATE REQUIRED ROOF HEIGHT
 - 6 INDICATE REQUIRED ROOF HEIGHT
 - 7 INDICATE REQUIRED ROOF HEIGHT
 - 8 INDICATE REQUIRED ROOF HEIGHT
 - 9 INDICATE REQUIRED ROOF HEIGHT
 - 10 INDICATE REQUIRED ROOF HEIGHT
 - 11 INDICATE REQUIRED ROOF HEIGHT
 - 12 INDICATE REQUIRED ROOF HEIGHT
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- 13 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 14 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 15 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 16 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
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 - 33 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 34 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 35 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 36 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 37 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 38 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 39 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
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 - 100 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL

REVISIONS

CREEKSIDE AT GRAND PRAIRIE

PERMIT SET

DATE
08-27-19

PROJECT
17249

SHEET NUMBER
A4-01

BUILDING A EXTERIOR ELEVATIONS

ARCHITECTS
HEDK ARCHITECTS
4012 BELTWAY DRIVE, ADDISON, TX 75001
214.520.8878

DATE
08-27-19

PROJECT
17249

SHEET NUMBER
A4-01

BUILDING A EXTERIOR ELEVATIONS



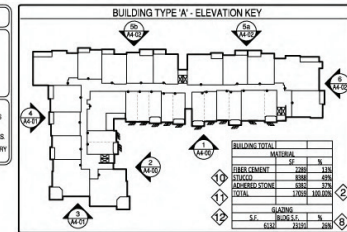
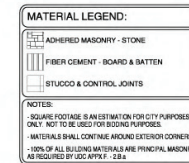
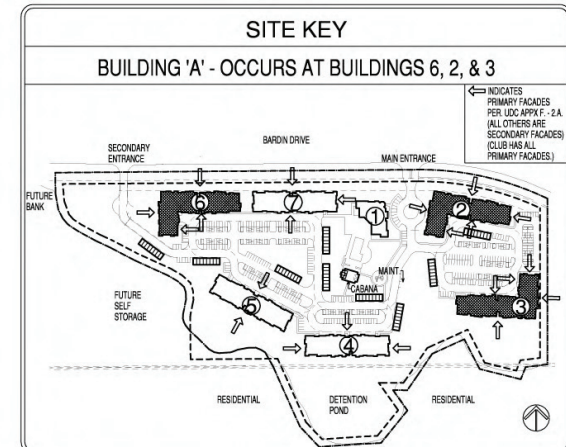
5a BUILDING TYPE 'B' - ELEVATION



5b BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



6 BUILDING TYPE 'B' - TWO ELEVATIONS (ONE O.H.)



- NON-INDUSTRIAL BUILDING DESIGN:**

 - 1 PROVIDE EXTERIOR ELEVATIONS
 - 2 INDICATE THE SURFACE AREA OF EACH FACIES
 - 3 LOCATION OF SUBSTITUTES PRIMARY FACIES
 - 4 LOCATION OF ATTACHED, DETACHED AND SEPARATE FACIES
 - 5 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - 6 INDICATE BUILDING HEIGHT (H)
 - 7 HORIZONTAL ATTIGATION OF PRIMARY FACIES (REFER TO ELEVATION 1 & 4A)
 - 8 VERTICAL, UDOINE ATTIGATION OF PRIMARY FACIES (REFER TO ELEVATION 1 & 4A)
 - 9 REQUIRE THE ELEMENTS FOR RAIL, FIELD WALL, AND PARAPET WITH CORNICE
 - 10 INDICATE WINDOWS AND COVERED WALKWAYS
 - 11 REQUIRE THE ELEMENTS FOR RAIL, FIELD WALL, AND PARAPET WITH CORNICE
 - 12 INDICATE ROOF PROFILE COMPLIED WITH ATTACHED BUILDING PLANE

NON-INDUSTRIAL MATERIAL SELECTIONS:

 - 1 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES PRIMARY FACIES
 - 2 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES MATERIALS
 - 3 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES MATERIALS
 - 4 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES MATERIALS
 - 5 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES MATERIALS
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 - 9 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES MATERIALS
 - 10 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES MATERIALS
 - 11 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES MATERIALS
 - 12 INDICATE MATERIAL AND LOCATION OF SUBSTITUTES MATERIALS



5 BUILDING TYPE 'A' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



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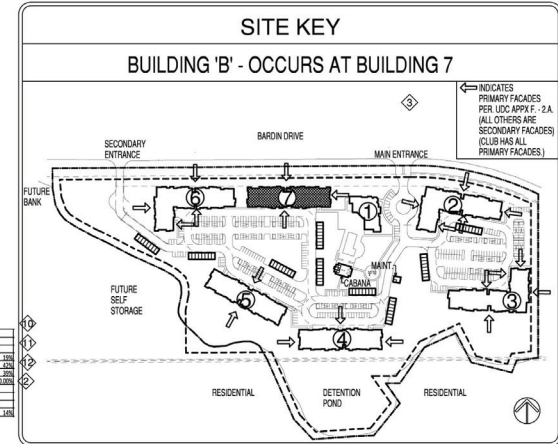
A4-02
BUILDING A
EXTERIOR ELEVATIONS



1 BUILDING TYPE 'B' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



1a BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



ELEVATION 1	
MATERIAL	%
Stone	100
Brick	0
Concrete	0
Stucco	0
Other	0
TOTAL	100.00

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F-2B.

BUILDING TYPE 'B' - ELEVATION KEY

BUILDING TOTAL	
MATERIAL	%
Stone	100
Brick	0
Concrete	0
Stucco	0
Other	0
TOTAL	100.00

- NON-INDUSTRIAL BUILDING DESIGN:**
- PROVIDE EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF RESIDENTIAL PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF PITCH
 - INDICATE BUILDING HEIGHT (ft)
 - HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 A-M-03)
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 A-M-03)
 - INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PROVIDE (S)P, WINDOW PROTECT
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF 2" OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTION MATERIALS
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS
 - INDICATE AMOUNT AND LOCATION OF 2" OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF THE 2" OF PRINCIPAL MASONRY MATERIAL

ELEVATION 1	
MATERIAL	%
Stone	100
Brick	0
Concrete	0
Stucco	0
Other	0
TOTAL	100.00



1b BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS

09-26-2018

LUXE AT GRAND PRAIRIE

GRAND PRAIRIE, TX

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DATE
9-26-2018

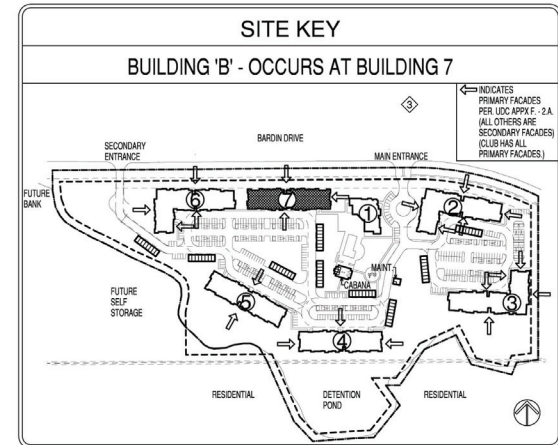
PROJECT
17249

SHEET NUMBER
A4-10

BUILDING B EXTERIOR ELEVATIONS



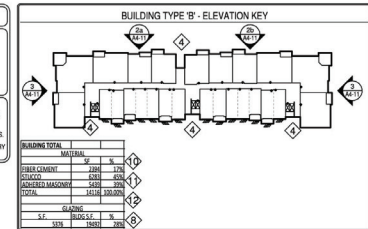
ELEVATION 2		
MATERIAL	SF	%
Stucco	1228	10%
Adhered Masonry	2788	24%
Adhered Stone	2488	21%
GLAZING	1800	16%
S.F.	11110	100%



MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:
SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.8a



- NON-INDUSTRIAL BUILDING DESIGN:**
- PROVIDE EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF OBSERVABLE PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
 - INDICATE BUILDING HEIGHT (ft)
 - HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 (A-03))
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 (A-03))
 - FIELD WALL AND PARAPET WITH CORNICE
 - INDICATE THE DESIGN ELEMENTS FOR BASE, PRIMARY FACADES
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PROVIDE SIPR WINDOW PROFILES
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTION MATERIALS
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS
 - INDICATE AMOUNT AND LOCATION OF 2" REINFORCED CONCRETE TILT-WALL TEXTURE ON REMAINING TILT-WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF THE SIPR SUPPLEMENTAL STONE REQUIREMENT

ELEVATION 2		
MATERIAL	SF	%
Stucco	1228	10%
Adhered Masonry	2788	24%
Adhered Stone	2488	21%
GLAZING	1800	16%
S.F.	11110	100%



ELEVATION 1 & 3 O.H.		
MATERIAL	SF	%
Stucco	1228	10%
Adhered Masonry	2788	24%
Adhered Stone	2488	21%
GLAZING	1800	16%
S.F.	11110	100%

REGISTERED ARCHITECT
9-26-2018
REVISIONS

LUXE AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

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DATE
9-26-2018

PROJECT
17249

SHEET NUMBER
A4-11
BUILDING B
EXTERIOR ELEVATIONS

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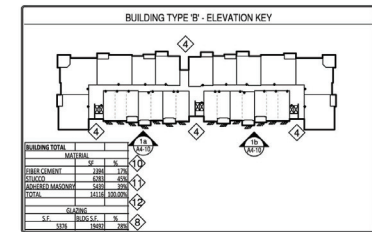
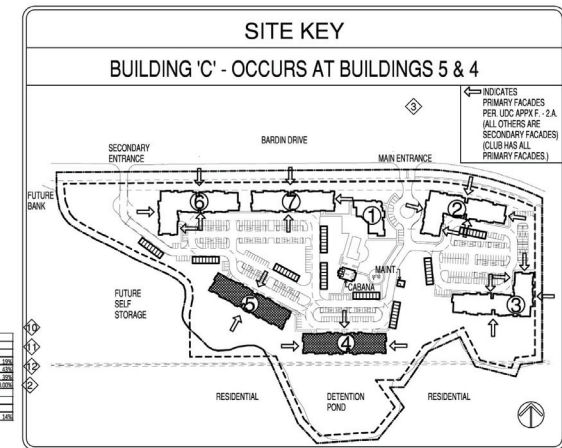
1 BUILDING TYPE 'C' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



1a BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"



1b BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

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- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2B.

NON-INDUSTRIAL BUILDING DESIGN:

- PROVIDE EXTERIOR ELEVATIONS
- INDICATE THE SURFACE AREA OF EACH FACADE
- LOCATION OF RESIDENTIAL PUBLIC ENTRANCES
- LOCATION OF ARTICULATED PUBLIC ENTRANCES
- INDICATE REQUIRED ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- INDICATE BUILDING HEIGHT (ft)

NON-INDUSTRIAL MATERIAL SELECTIONS:

- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF SUBSTITUTION MATERIALS
- INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF SUBSTITUTION MATERIALS
- INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS

REGISTERED ARCHITECT
09-26-2018
REVISIONS

LUXE AT GRAND PRAIRIE
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DATE: 9-26-2018
PROJECT: 17249
SHEET NUMBER: A4-20
BUILDING C
EXTERIOR ELEVATIONS

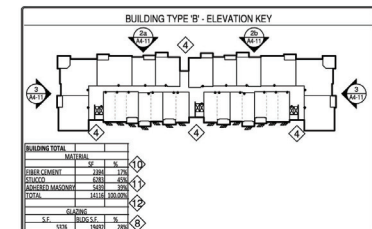
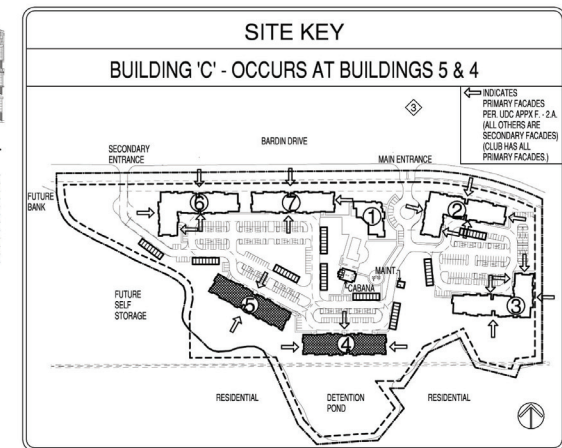


2 BUILDING TYPE 'C' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



ELEVATION 1	
MATERIAL	%
Other Concrete	20%
Stucco	40%
Adhered Masonry	20%
Other	20%
Total	100%
GLASS	
S.F.	%
100	10%

ELEVATION 2	
MATERIAL	%
Other Concrete	20%
Stucco	40%
Adhered Masonry	20%
Other	20%
Total	100%
GLASS	
S.F.	%
100	10%



MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:
SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR RECORD PURPOSES.
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100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2B.

NON-INDUSTRIAL BUILDING DESIGN:

- PROVIDE EXTERIOR ELEVATIONS
- INDICATE THE SURFACE AREA OF EACH FACADE
- LOCATION OF RESIDENTIAL PUBLIC ENTRANCES
- LOCATION OF ARTICULATED WALLS
- INDICATE BUILDING HEIGHT (ft)
- HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 & 2)
- VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 & 2)
- FIELD WALL AND PARAPET WITH CORNICE
- INDICATE THE DESIGN ELEMENTS FOR BASE, PRIMARY FACADES
- INDICATE WINDOWS AND COVERED WALKWAYS AND PROVIDE SIPR WINDOW PROFILES
- INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE

NON-INDUSTRIAL MATERIAL SELECTIONS:

- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
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- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL



2a BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"

2b BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"



ELEVATION 3 (O.H.)	
MATERIAL	%
Other Concrete	20%
Stucco	40%
Adhered Masonry	20%
Other	20%
Total	100%
GLASS	
S.F.	%
100	10%

3 BUILDING TYPE 'C' - TWO ELEVATIONS (ONE O.H.)
SCALE: 1/8" = 1'-0"

REVISIONS

09-26-2018

LUXE AT GRAND PRAIRIE

GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

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PROJECT
17249

SHEET NUMBER
A4-21

BUILDING C
EXTERIOR ELEVATIONS

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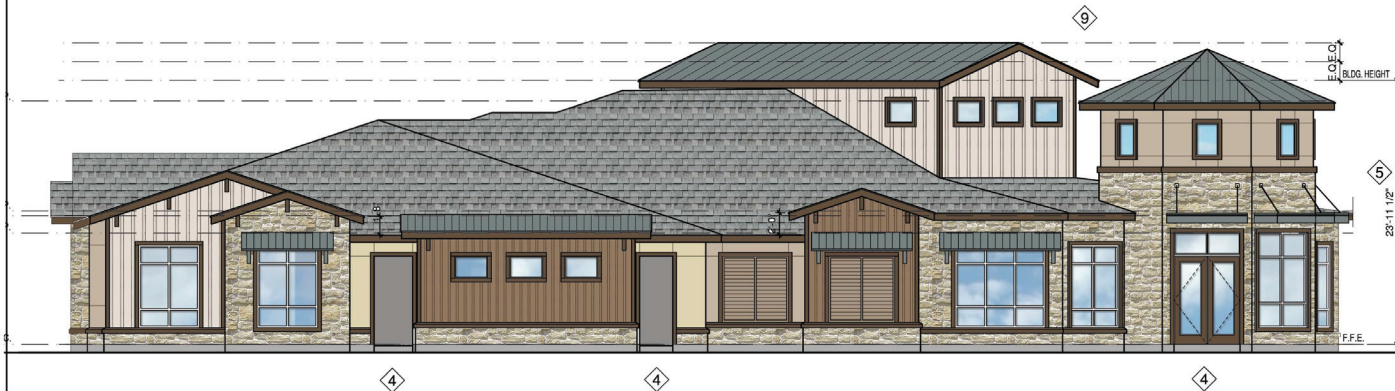
3 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION 3/A4-30			
MATERIAL		SF	%
Fiber Cement		101	8%
Stucco		678	55%
Adhered Stone		646	53%
Total		1225	100.00%
GLAZING		S.F.	%
		630	34%
		1855	

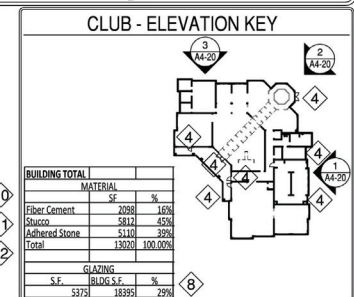
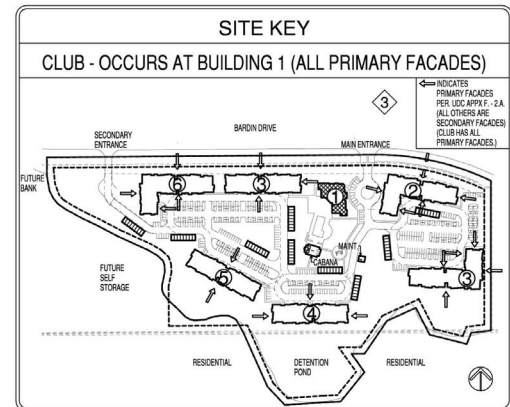


2 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION 2/A4-30			
MATERIAL		SF	%
Fiber Cement		326	96%
Stucco		5	1%
Adhered Stone		10	3%
Total		341	100.00%
GLAZING		S.F.	%
		353	60%
		604	51%



1 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



NON-INDUSTRIAL BUILDING DESIGN:

- 1 PROVIDE EXTERIOR ELEVATIONS
- 2 INDICATE THE SURFACE AREA OF EACH FACADE
- 3 LOCATION OF DESIGNATED PRIMARY FACADES
- 4 LOCATION OF ARTICULATED PUBLIC ENTRANCES
- 5 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
- 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 7 VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 8 INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
- 9 INDICATE WINDOWS AND COVERED WALKWAYS ARE PROVIDED (25% WINDOWS REQ'D)
- 10 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
- 11 INDICATE BUILDING HEIGHT (H)

NON-INDUSTRIAL MATERIAL SELECTIONS:

- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- 12 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
- 13 INDICATE AMOUNT AND LOCATION OF 2" REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
- 14 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

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- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F. - 2.B.a

ELEVATION 1 / A4-30			
MATERIAL		SF	%
Fiber Cement		532	40%
Stucco		273	20%
Adhered Masonry		532	40%
Total		1337	100.00%
GLAZING		S.F.	%
		306	16%
		1643	19%

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9-17-2018

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SHEET NUMBER
A4-30
CLUB
EXTERIOR ELEVATIONS

REVISIONS

09-17-2018

REVISIONS

09-17-2018

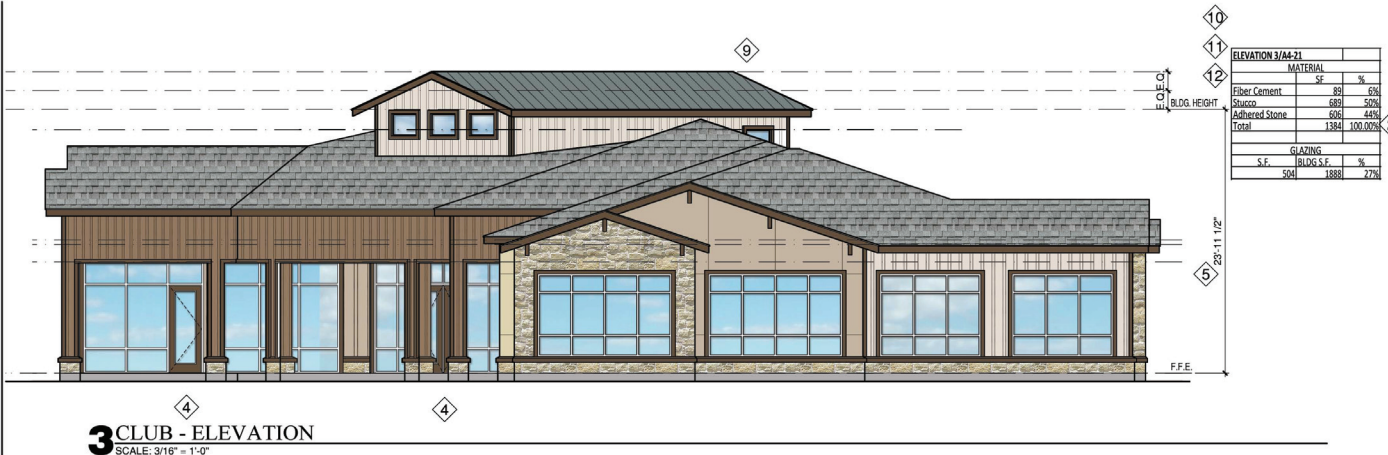
REVISIONS

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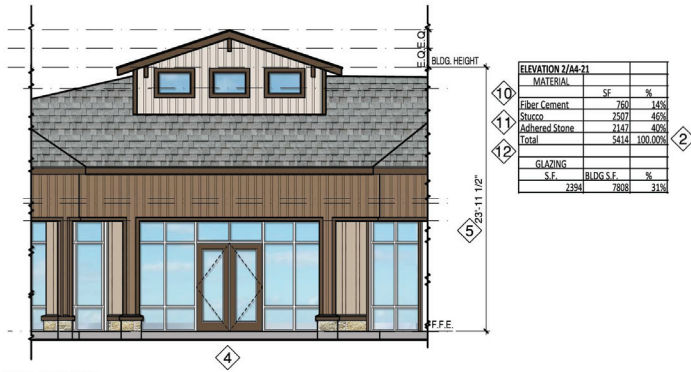
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GRAND PRAIRIE, TX

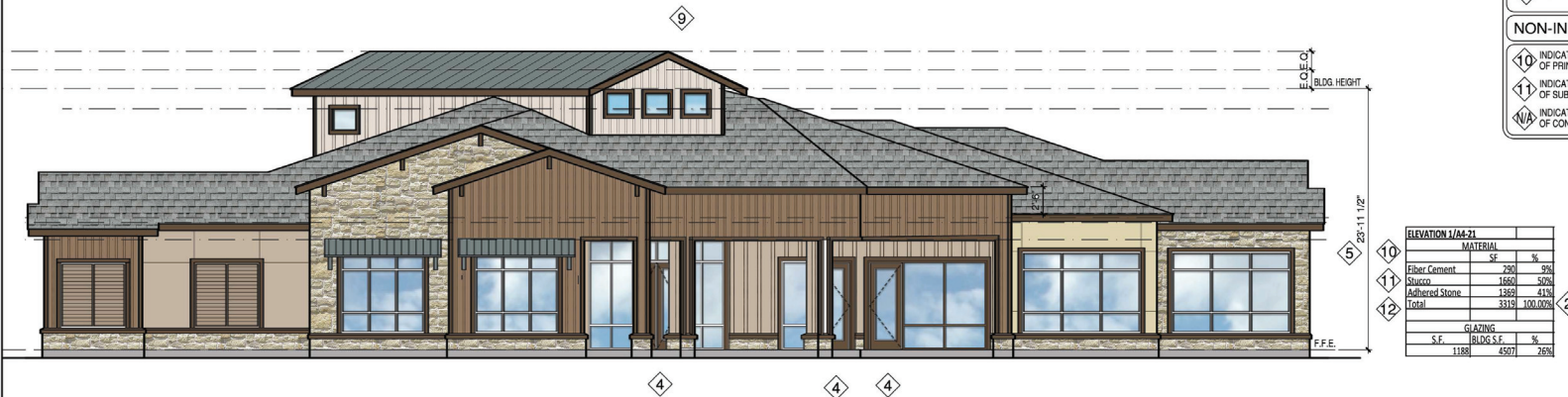
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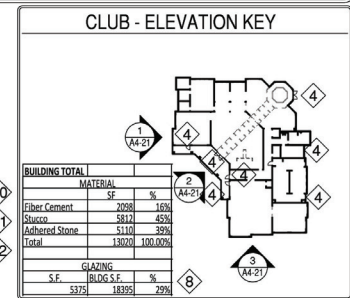
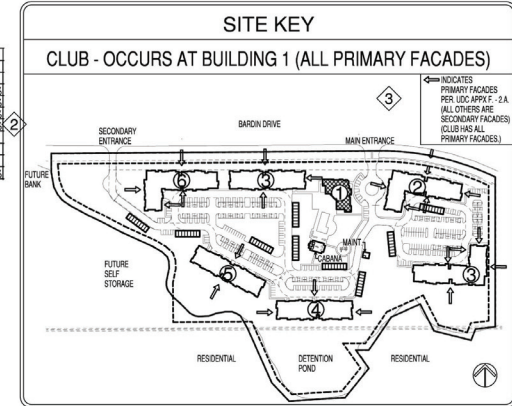
3 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



2 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



1 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



NON-INDUSTRIAL BUILDING DESIGN:

- 1 PROVIDE EXTERIOR ELEVATIONS
- 2 INDICATE THE SURFACE AREA OF EACH FACADE
- 3 LOCATION OF DESIGNATED PRIMARY FACADES
- 4 LOCATION OF ARTICULATED PARAPET WALL HEIGHT
- 5 INDICATE BUILDING HEIGHT (H)
- 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 7 VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 8 INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
- 9 INDICATE WINDOWS AND COVERED WALKWAYS ARE PROVIDED (25% WINDOWS REQ'D)
- 10 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
- 11 INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE

NON-INDUSTRIAL MATERIAL SELECTIONS:

- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- 12 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
- 13 INDICATE AMOUNT AND LOCATION OF 2" REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
- 14 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT.

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.B.a



REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL



4202 Beltway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

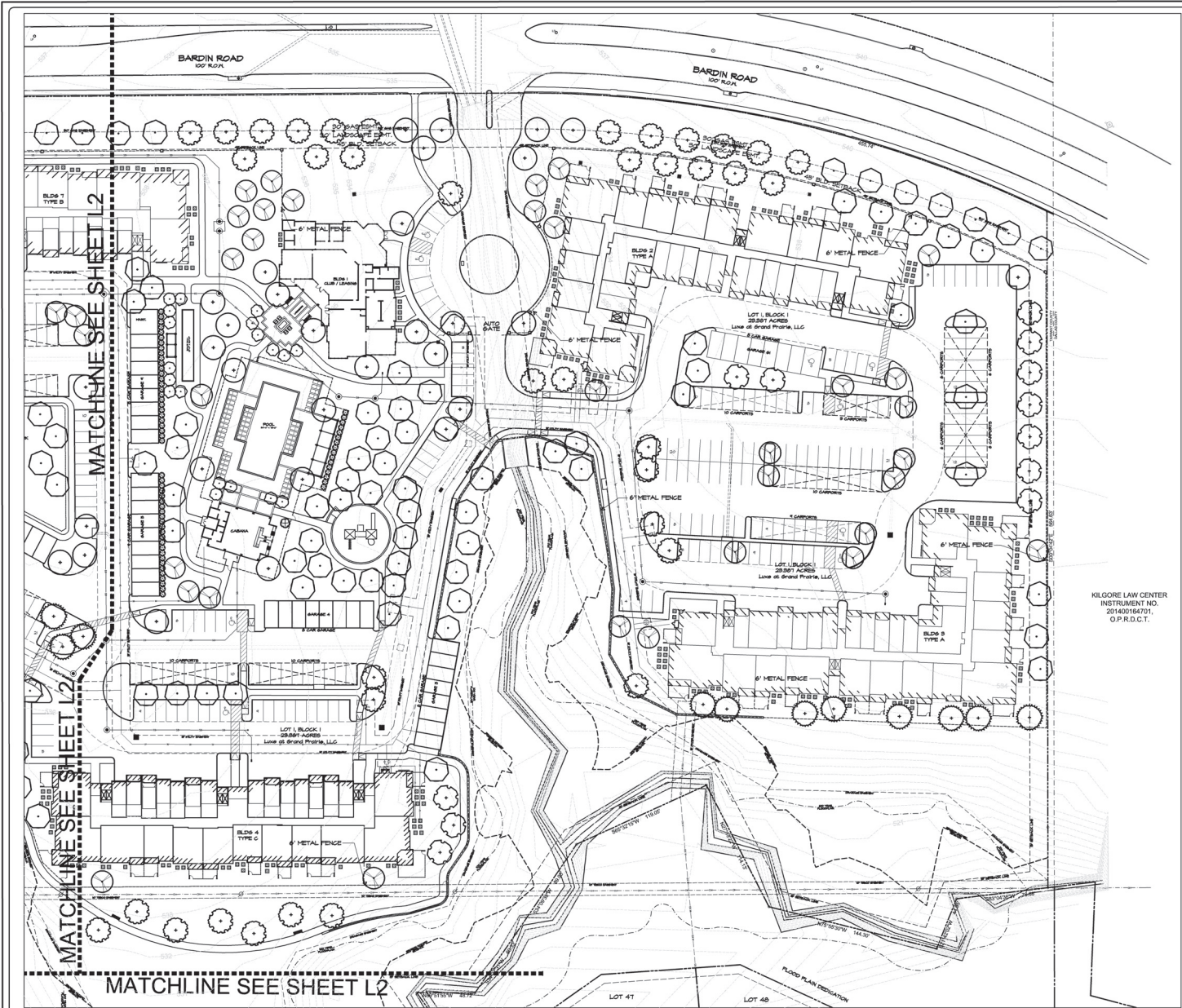
DATE
9-17-2018

PROJECT
17249

SHEET NUMBER
A4-31

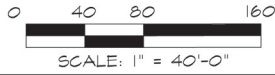
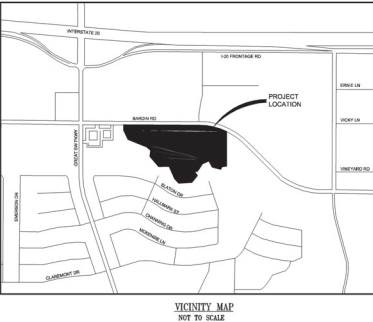
CLUB
EXTERIOR ELEVATIONS

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LANDSCAPE TABULATIONS	
SITE AREA	
REQUIRED LANDSCAPE AREA 15%	
OVERALL SITE AREA (29,948 ACRES) 1,018,480 S.F.	
REQUIRED LANDSCAPE AREA (3.50 ACRES) 152,848 S.F.	
PROVIDED LANDSCAPE AREA (+41.8 ACRES) +4,000,000 S.F.	
SITE TREES REQUIRED:	
1-8" CAL. TREE PER 500 S.F. OF REQUIRED LANDSCAPE AREA	
STREET TREES AND PARKING LOT TREES TO BE INCLUDED WITHIN TOTAL TREE CALCULATION.	
SITE TREES REQUIRED (152,848 / 500 =)	306 TREES
SITE TREES PROVIDED	310 TREES
STREET TREES REQUIRED:	
1-8" CAL. STREET TREE PER MINIMUM OF 25 L.F. APART TO A MAXIMUM OF 50 L.F. APART.	
FRONTAGE L.F. (1174.26' - BARDIN ROAD)	1175 L.F.
REQUIRED STREET TREES (1175 / 50 =)	40 TREES
STREET TREES PROVIDED	52 TREES
PARKING LOT TREES REQUIRED:	
1-8" CAL. STREET TREE PER 20 PARKING SPACES	1175 L.F.
PARKING SPACES	40 TREES
REQUIRED PARKING TREES (366 / 20 =)	18 TREES
PARKING TREES PROVIDED	45 TREES
SIGN NOTE	
ALL SIGNAGE MUST BE APPROVED BY BUILDING INSPECTION. LOCATIONS SHOWN ON THIS PLAN DO NOT INDICATE APPROVAL. ALL LANDSCAPE AREAS TO RECEIVE UNDERGROUND AUTOMATIC IRRIGATION.	

LARGE TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
80		RED OAK	<i>Quercus shumardii</i>	8" caliper, 12' H/L 5'-6' spread, 845, straight trunk.
104		CEDAR ELM	<i>Ulmus crassifolia</i>	8" caliper, 12' H/L 5'-6' spread, 845, straight trunk.
21		BUR OAK	<i>Quercus macrocarpa</i>	8" caliper, 12' H/L 5'-6' spread, 845, straight trunk.
52		LIVE OAK	<i>Quercus virginiana</i>	8" caliper, 12' H/L 5'-6' spread, 845, straight trunk.
24		CHINQUAPIN OAK	<i>Quercus muhlenbergii</i>	8" caliper, 12' H/L 5'-6' spread, 845, straight trunk.
51		PISTACHE	<i>Pinus strobus</i>	8" caliper, 12' H/L 5'-6' spread, 845, straight trunk.



Date:	
Revisions:	
1	

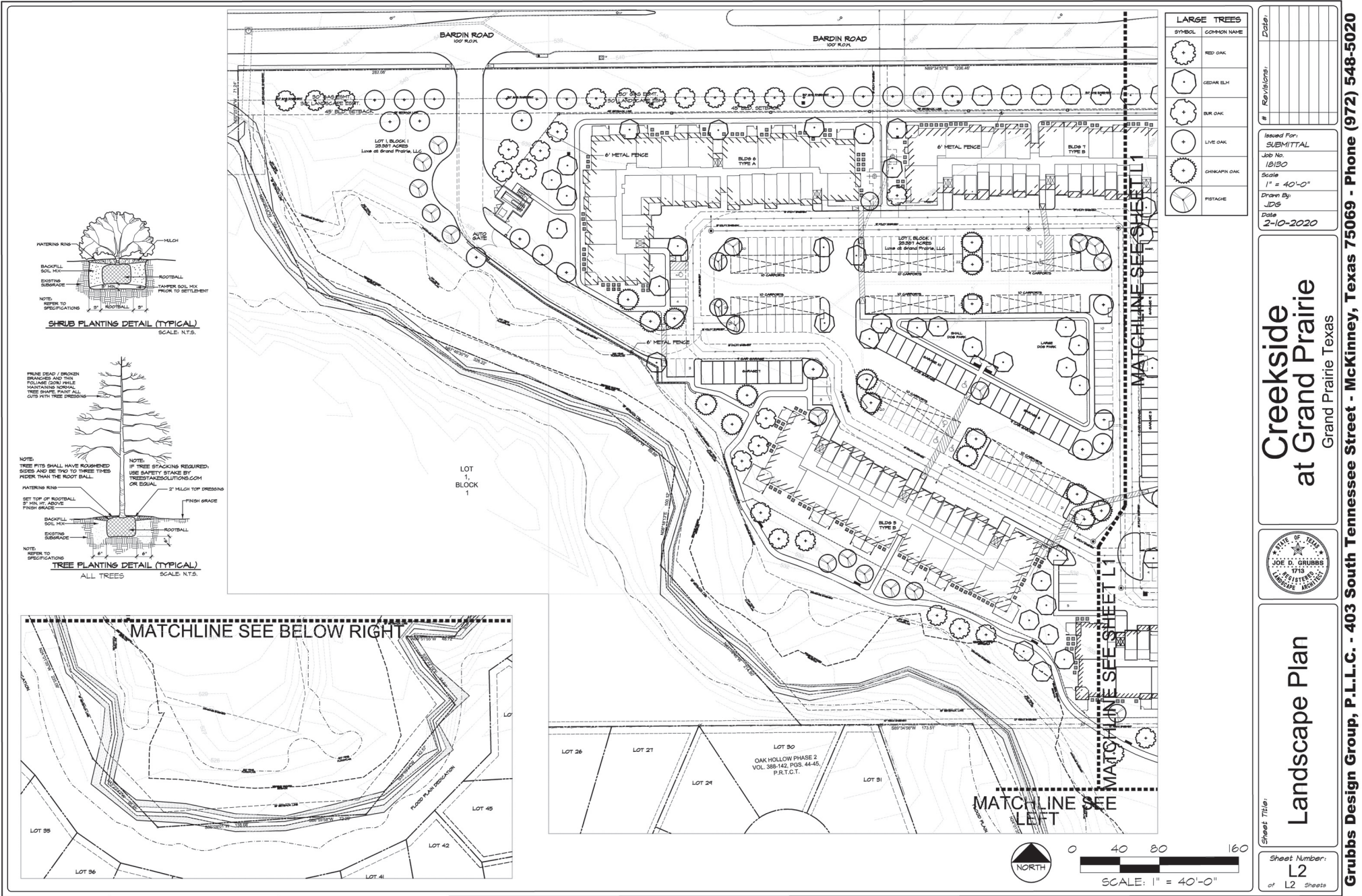
Issued For:
SUBMITTAL
Job No.
18130
Scale
1" = 40'-0"
Drawn By:
JDS
Date
2-10-2020

Creskide
at Grand Prairie
Grand Prairie Texas



Landscape Plan

Sheet Title:
L1
of **L2** Sheets



Creekside
at Grand Prairie
Grand Prairie, Texas



Landscape Plan

Sheet Title:
Sheet Number:
L2
of L2 Sheets



Legislation Details (With Text)

File #:	20-9793	Version:	1	Name:	Z200203 – Civic Campus and Calvary Baptist Church
Type:	Ordinance	Status:		Status:	Public Hearing
File created:	2/11/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	2/24/2020	Final action:		Final action:	
Title:	Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (Commissioner Moser/City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block D, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street. City Council Action: March 3, 2020				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Zoning Comparison.pdf](#)
[Exhibit C - Letter of Support.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (Commissioner Moser/City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block D, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street.

City Council Action: March 3, 2020

Presenter

Savannah Ware, AICP, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

Zoning change from Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block JD, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street.

PURPOSE OF REQUEST:

The purpose of the request is to rezone subject properties to Central Area (CA) District. The properties included in this request are described below. This will not rezone any existing residential properties.

City of Grand Prairie Properties

- Parks Administration Building
- CVE Training Facility
- City Hall West (former City Hall)
- City Hall Central (new City Hall)
- City Hall East (former Development Center)

Calvary Baptist Church Properties

- Calvary Baptist Church and Offices
- Undeveloped land west of church buildings and east of NW 6th Street
- Buildings located at 421 W Church Street and 114 NW 5th Street

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-67, PD-148, 2F, SF-4	Single & Two Family Residential
	GR	Community Organizations/Offices
South	CA, SF-4, O-1, GR-1	Commercial, City Offices, Residential
West	SF-1, 2F, GR-1	Single & Two Family Residential, Office
East	CA	City Offices, County Office
	GR	Community Organizations/Offices

HISTORY:

- November 6, 2007: City Council approved a text amendment creating a Central Business District Overlay with four sub-areas (TA071001). The subject properties are within Central Business District No. 2, which is historically the cultural core of Grand Prairie and is projected as a Mixed Use area including residential units above retail and commercial uses.
- January 14, 2020: The City of Grand Prairie initiated a development request to rezone the subject

properties to Central Area (CA) District.

- February 18, 2020: Staff met with Trustees of Calvary Baptist Church to review the proposed zoning change.
- February 19, 2020: Trustees of Calvary Baptist Church submitted a letter of support for the proposed zoning change.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The 2018 Comprehensive Plan's Future Land Use Map (FLUM) designates this area as Mixed Use. Mixed Use areas are intended for a mixture of non-residential and residential uses that are oriented around the pedestrian.

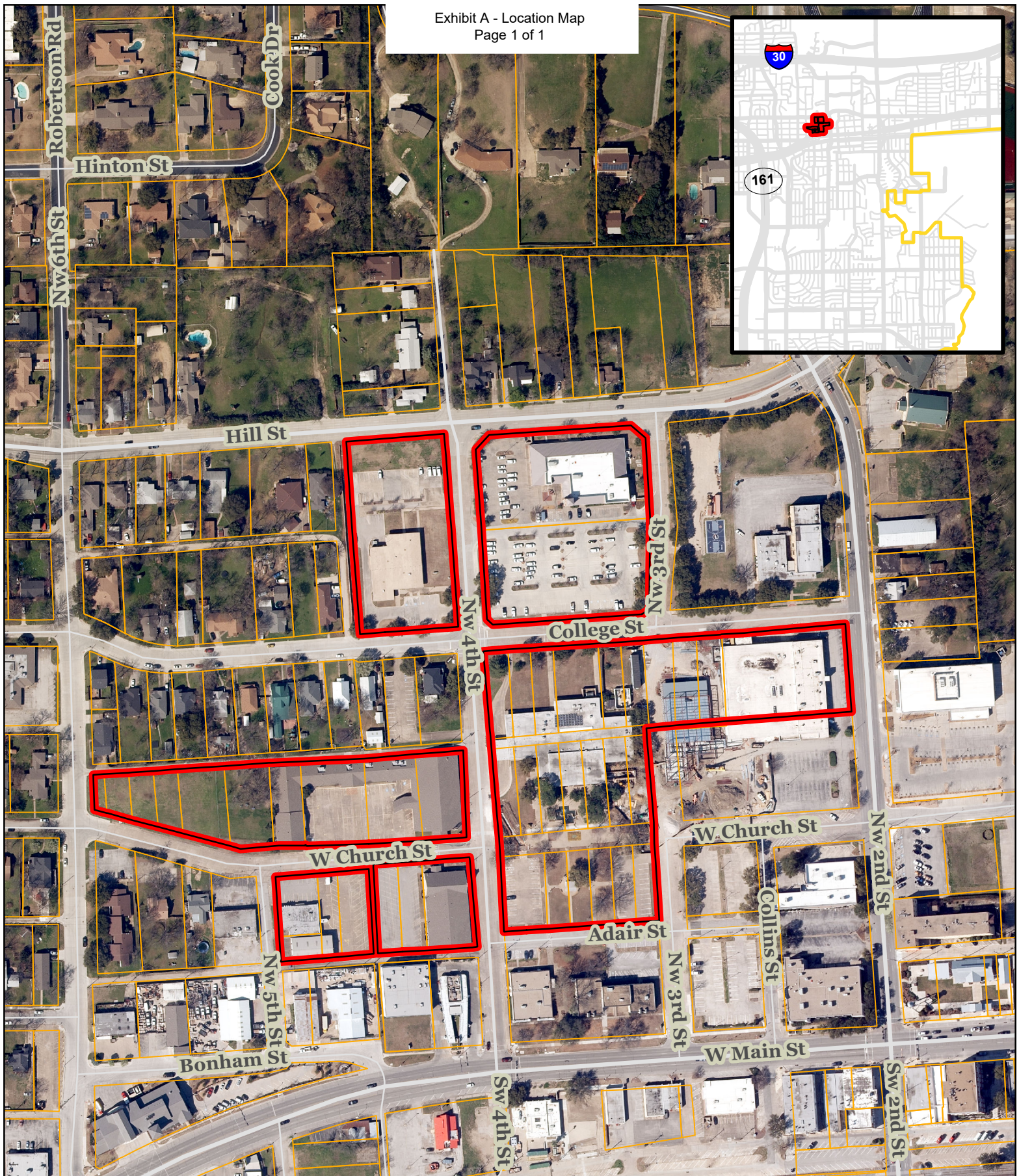
The subject properties are also within the study area of the 2019 Downtown Master Plan. The purpose of the Downtown Master Plan is to create a unique and identifiable downtown that serves the local residents and community, supports economic vibrancy, and offers destination-oriented uses to create greater regional gravity.

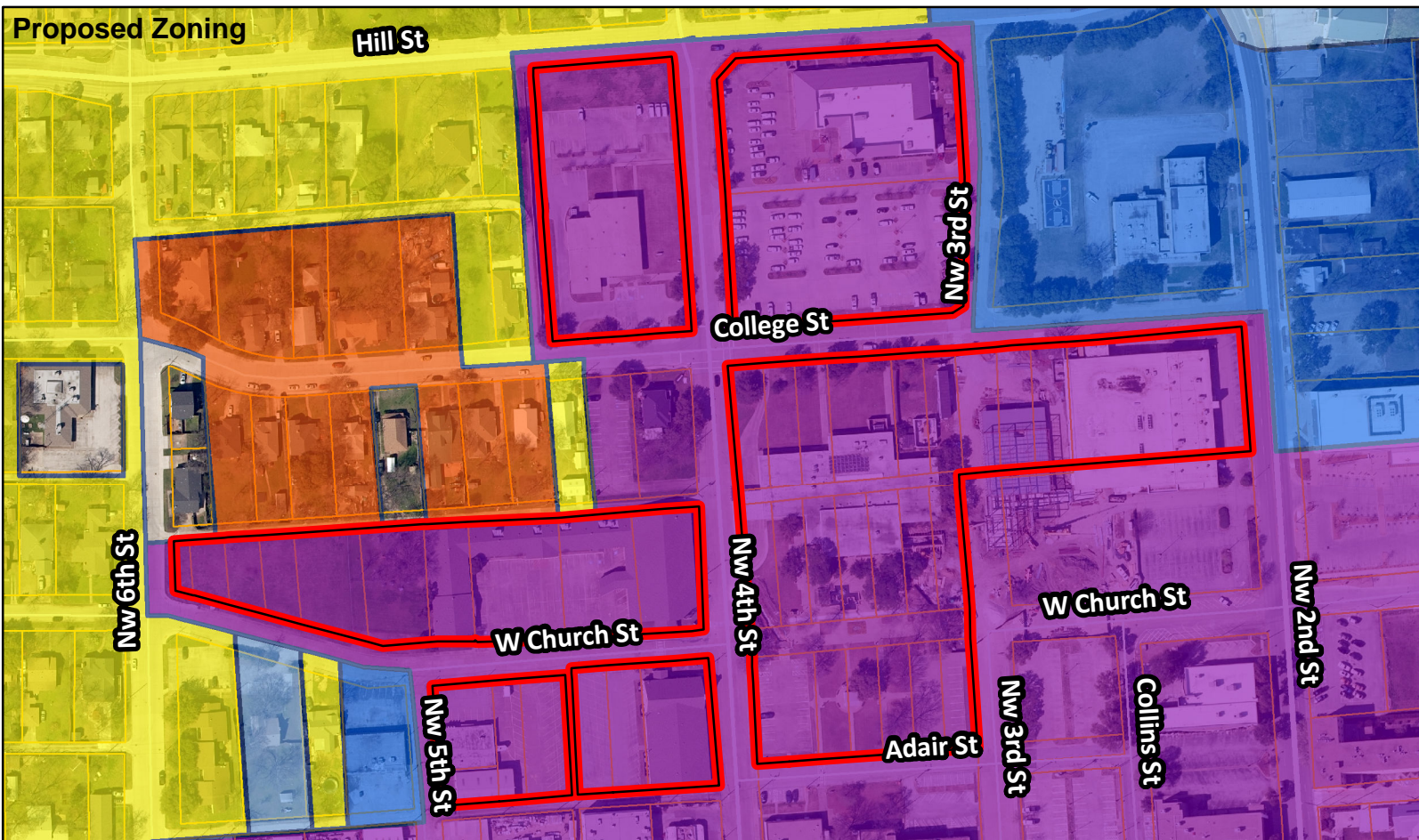
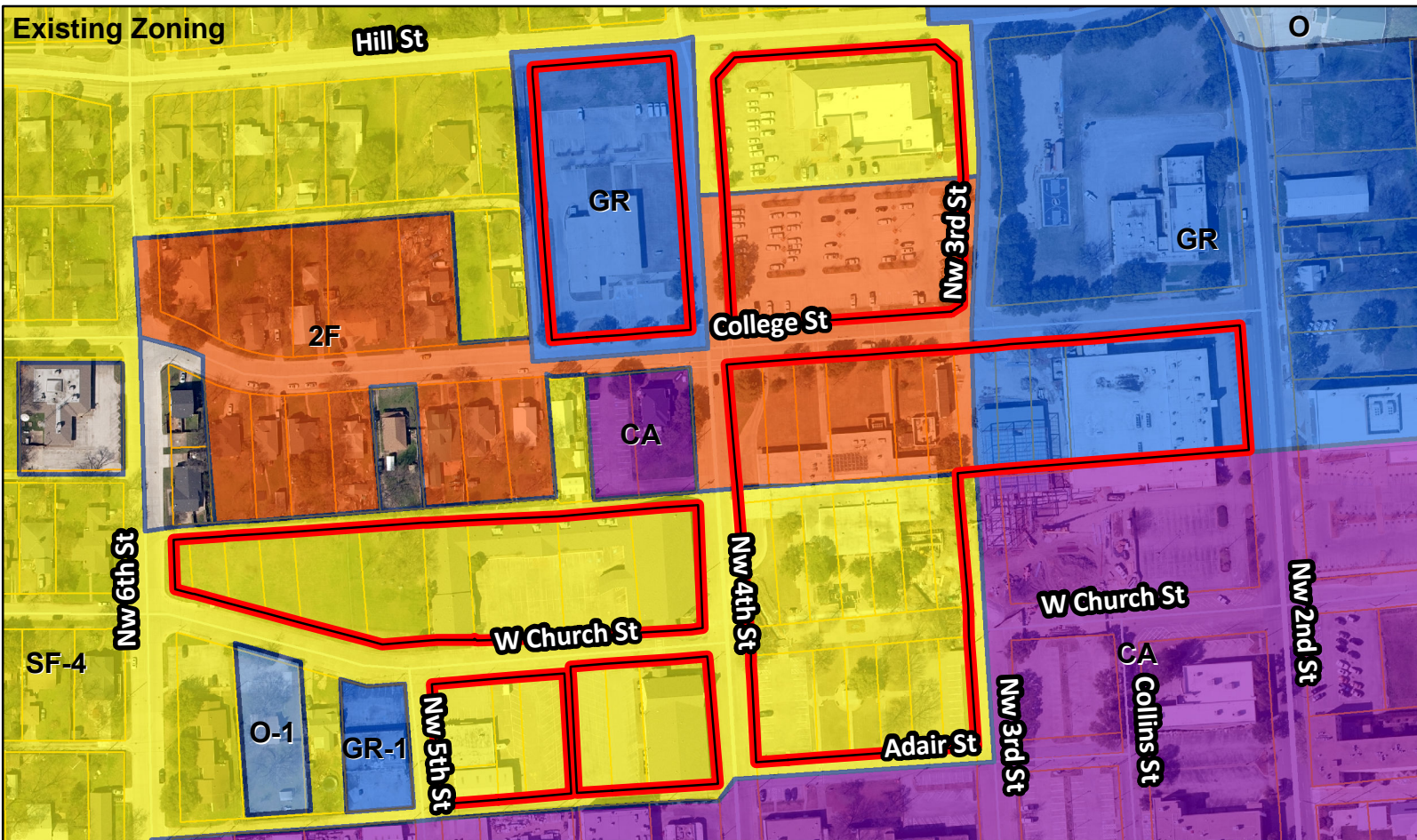
The proposed zoning change is consistent with the Comprehensive Plan and the Downtown Master Plan.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Body





February 19, 2020

Planning Department

FEB 19 2020

Received

City of Grand Prairie, Texas

Josh Spare

Chairman

Planning and Zoning Commission

Dear Mr. Chairman and Commission Members

The Trustees of Calvary Baptist Church have reviewed the proposed rezoning of our properties. We are supportive of the rezoning as presented to us by Ms. Ware.

Let me emphasize that we do not currently have any plans for new development on our existing properties.

We will be celebrating our 85th year of the founding of our church on March 15th

All of you are invited to attend our service.

We request that this letter be read into the minutes of your Meeting.

Sincerely,



Lynn Motley

Deacon, Trustee and Chairman of the Board

Calvary Baptist Church



Legislation Details (With Text)

File #:	20-9794	Version:	1	Name:	Z060601A – Zoning Change – PD Amendment, Greenway Trails
Type:	Ordinance	Status:		Status:	Public Hearing
File created:	2/11/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	2/24/2020	Final action:		Final action:	
Title:	Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (Commissioner Spare/City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake. City Council Action: March 3, 2020				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Exhibit A - Location Map Exhibit B - Zoning Document Exhibit C - Garage Calculations				

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (Commissioner Spare/City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.

City Council Action: March 3, 2020

Presenter

David P. Jones, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Planned Development Amendment (City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas,

zoned PD-322. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.

PURPOSE OF REQUEST:

The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	AG; City of Mansfield	Undeveloped
South	PD-328; AG	Undeveloped; US-287
West	AG; City of Mansfield	Single and Multi-Family Residential; S
East	AG	Undeveloped; FM-661

HISTORY:

- August 8, 2006: City Council approved PD-322 (Z060601/CPA060601), zoning 384.27 acres for single-family residential, including TND (Traditional Neighborhood Development) and mixed use regional/employment center uses.
- 2007-2008: Multiple gas wells were permitted in and around the property which impacted the potential layout of residential lots within PD-322: Merrill 1H & 2H, permitted 2007; and Orr Unit 1H-4H, permitted 2008
- August 30, 2016: Planning and Zoning Commission approved a Preliminary Plat (P160301) for Greenway Trails, including a preliminary layout for 5 residential phases and depicting 135' Tarrant Regional Water District (TRWD) pipeline easement cutting through majority of TND portion of original PD.
- 2016-2019: TRWD constructs water line through majority of TND portion of original PD.
- April 1, 2019: Planning and Zoning Commission approved Final Plat for Greenway Trails, Ph. 1 consisting of 98 residential lots and 4 non-residential lots.

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The amendment does not change the approved uses on the property, but removes the TND elements from Phase 5 in favor of contemporary homes on 62' and 72' lots. The developer further requests that since the TND homes required 100% non-front entry garages, that the homes within that phase be allowed the same percentage of front-entry garages as the other phases in the PD.

DEVELOPMENT STANDARDS:

The applicant is proposing that the over percentage of non-front entry garage units required go from 58% under the existing scheme, which included TND lots, to 39%, which will remove TND lots.

The calculations are summarized in the table below:

**Table 2a: Lot Width and Garage Summary
(Existing PD)**

Lot Width	# Lots	% Non-Front Entry Garages
60-69 feet	438	30%
70+ feet	155	50%
TND	330	100%
TOTAL	923	58.3%

**Table 2b: Lot Width and Garage Summary
(Proposed PD)**

Lot Width	# Lots (per Prelim Plat)	% Non-Front Entry Garages
60-69 feet	352 (-86)	50% (+20%)
70+ feet	256 (+101)	50%
TND	0 (-330)	0
TOTAL	608 (-315)	50%

ANALYSIS:

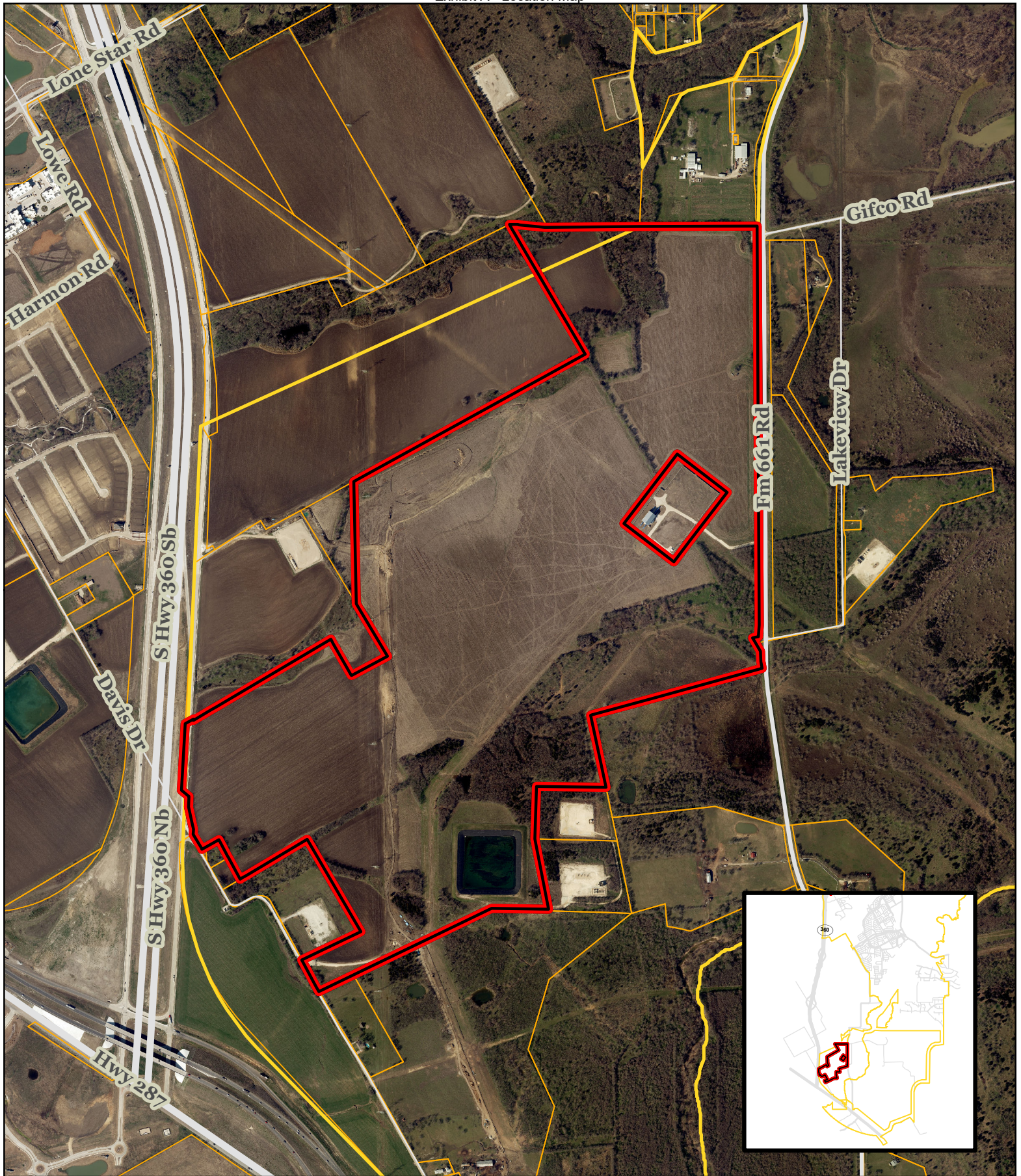
The ability to develop the TND lots conceived in the original PD was severely hampered by two factors that occurred between 2006 and 2016: the construction of two gas wells and an associated fracking pond, and the extension of a water service line by TRWD. Since TND development relies on clustered blocks of homes in a predominantly grid-like street pattern to achieve walkability, the construction of the gas wells and water line had a devastating effect on the layouts that were achievable at the time these facilities were put in place. The subsequent approval of a preliminary plat showing lots arranged around the facilities altered the vision of the approved concept plan.

While these modifications call into question the viability of a TND-style development in this lot configuration, staff believes that the subject of garage orientation is a separate matter from lot and street configuration. Under the PD, more than half of all lots (if TND is included) were required to be non-front entry. Were the percentage of non-front entry garages kept the same for 60-69 and 70+ foot lots, the overall percentage of non-front entry garages would fall by nearly 20% due to the loss of the 330 TND lots. The applicant proposes to offset this reduction by increasing the percentage of non-front entry garages on 60-69 foot lots by 20%, bringing the total percentage across the PD to 50% non-front entry garages.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Body

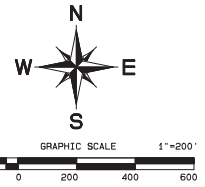


CASE LOCATION MAP
 Case Number Z060601A
Greenway Trails PD Amendment



City of Grand Prairie
 Development Services

☎ (972) 237-8255
 🌐 www.gptx.org



PHASE & LOT COUNT

PHASE	PAD COUNT	TYP. 62' X 110'	TYP. 65' X 120'	TYP. 72' X 120'	TYP. 75' X 120'
1	117	00	51	66	00
2	108	00	51	37	20
3	131	00	96	00	35
4	131	00	43	00	66
5	121	111	00	10	00
TOTAL	608	111	241	103	143

ENGINEER / SURVEYOR:

GOODWIN & MARSHALL
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
Metro (817) 229-4373

OWNED/DEVELOPED BY:

D.R. HORTON
America's Builder
6751 North Freeway
Fort Worth, Texas 76131
(817) 230-0800
Email: jbosworth@drhorton.com

LOT MAP
OF
GREENWAY TRAILS
BEING
353.18 ACRES
SITUATED IN THE
608 RESIDENTIAL LOTS AND
LOCATED IN A PORTION OF THE
S. M. BLAIR SURVEY, ABSTRACT NO. 135,
THE H. HENDERSON SURVEY, ABSTRACT NO. 432,
AND THE J. LAWRENCE SURVEY, ABSTRACT NO. 616
CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS
FEBRUARY, 2020

E:\USG78 - Greenway Trails\Greenway Lot Map.aprx The File 2016-01-04 8:00:00

Greenway Trails - Grand Prairie, Texas

Original Non-Front Entry Garages - Based on 2006 Preliminary Plat

Number of Lots:

Zone A	62
Zone B	438
Zone C	93
Zone D -TND	330
Total	923

Lot Size Breakdown:

	60s Lots	70s Lots
Zone A		62
Zone B	438	
Zone C		93
Zone D -TND	330	
Total	768	155

Zone D - TND:

Alley Loaded Lots:	268
Front Access Lots:	62
Total	330

Non-Front Entry Garages:

60s Lots	30% of 438 lots	131.4
70s lots	50% of 155 lots	77.5
TND lots	100% of 330 lots	330
Total		538.9

Front Entry Garages:

60s Lots	306.6
70s lots	77.5
Total	384.1

Percentage of Non-Front Entry Garages:

Total lots	538.9/923	58.39%
------------	-----------	---------------

Requirement from Original PD-322:

Garage Orientation/Entry on Lots 60' to 69' Wide: Min 30% of all platted lots shall have non-front entry garages.

Garage Orientation/Entry on Lots 70' or Wider: Min 50% of all platted lots shall have non-front entry garages.

Garage Orientation for D-1 - TND Areas: No front entry garages shall be permitted in TND Zoning Area. No garage doors shall be construction within any front street facing wall plane of a residence. Only non-front entry garages shall be permitted for TND Zoning Areas D which shall include J-swing and side swing type garages that are oriented towards the side yard of the lot, or detached rear yard garage configurations.

Source:

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. b. (PD-322)

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #7. a. & b. (PD-322)

Greenway Trails - Grand Prairie, Texas

Current Non-Front Entry Garages - Based on 2017 Preliminary Plat

Number of Lots:

Phase 1	117
Phase 2	108
Phase 3	131
Phase 4	131
Phase 5	121
Total	608

Lot Size Breakdown:

	60s Lots	70s Lots
Phase 1	51	66
Phase 2	51	57
Phase 3	96	35
Phase 4	43	88
Phase 5	111	10
Total	352	256

Non-Front Entry Garages:

60s Lots	30% of 352 lots	105.6
70s lots	50% of 256 lots	128
Total		233.6

Front Entry Garages:

60s Lots	246.4
70s lots	128
Total	374.4

Percentage of Non-Front Entry Garages:

Total lots	233.6/608	38.42%
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**This calculation is using the lot size to determine entry type of Garages for Phase 5.
Most of Phase 5 lots are 60s, therefore 30% of lots are calculated as Non-Front Entry.*

Requirement from Original PD-322:

Garage Orientation/Entry on Lots 60' to 69' Wide:

Min 30% of all platted lots shall have non-front entry garages.

Source:

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)

Garage Orientation/Entry on Lots 70' or Wider:

Min 50% of all platted lots shall have non-front entry garages.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. b. (PD-322)

Garage Orientation for D-1 - TND Areas:

No front entry garages shall be permitted in TND Zoning Area. No garage doors shall be construction within any front street facing wall plane of a residence. Only non-front entry garages shall be permitted for TND Zoning Areas D which shall include J-swing and side swing type garages that are oriented towards the side yard of the lot, or detached rear yard garage configurations.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #7. a. & b. (PD-322)

Greenway Trails - Grand Prairie, Texas

Proposed Non-Front Entry Garages - Based on 2020 Preliminary Plat

Number of Lots:

Phase 1	117
Phase 2	108
Phase 3	131
Phase 4	131
Phase 5	121
Total	608

Lot Size Breakdown:

	60s Lots	70s Lots
Phase 1	51	66
Phase 2	51	57
Phase 3	96	35
Phase 4	43	88
Phase 5	111	10
Total	352	256

Non-Front Entry Garages:

60s Lots	50% of 352 lots	176
70s lots	50% of 256 lots	128
Total		304

Front Entry Garages:

60s Lots	176
70s lots	128
Total	304

Percentage of Non-Front Entry Garages:

Total lots	304/608	50.00%
------------	---------	---------------

Requirement from Original PD-322:

Garage Orientation/Entry on Lots 60' to 69' Wide:

Min 30% of all platted lots shall have non-front entry garages.

Source:

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)

Garage Orientation/Entry on Lots 70' or Wider:

Min 50% of all platted lots shall have non-front entry garages.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. b. (PD-322)

Garage Orientation for D-1 - TND Areas:

No front entry garages shall be permitted in TND Zoning Area. No garage doors shall be construction within any front street facing wall plane of a residence. Only non-front entry garages shall be permitted for TND Zoning Areas D which shall include J-swing and side swing type garages that are oriented towards the side yard of the lot, or detached rear yard garage configurations.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #7. a. & b. (PD-322)