



City of Grand Prairie

City Hall
300 W. Main Street
Grand Prairie, Texas

Meeting Agenda - Final

Planning and Zoning Commission

Monday, November 9, 2020

5:30 PM

Council Chambers and Video Conference

Due to the ongoing the ongoing COVID-19 pandemic, this meeting of the Planning and Zoning Commission shall be held in-person in the Council Chamber at Grand Prairie City Hall, as well as by videoconference. Members of the Commission and the public may elect to participate by attending the meeting in-person, or remotely via videoconference.

Members of the public may participate in the meeting remotely via broadcast by webinar or telephone through the following URL location:

You are invited to a Zoom webinar.

When: Nov 9, 2020 05:30 PM Central Time (US and Canada)

Topic: City of Grand Prairie - Planning & Zoning Meeting

Please click the link below to join the webinar:

<https://gptx.zoom.us/j/98058650078?pwd=MEZZRi96SmsvWnUzbURqOHNVU0Z6dz09>

Passcode: gdARBp467f

Or iPhone one-tap :

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Webinar ID: 980 5865 0078

Passcode: 4467898154

International numbers available: <https://gptx.zoom.us/j/98058650078?pwd=MEZZRi96SmsvWnUzbURqOHNVU0Z6dz09>

All meeting participants attending remotely will be automatically muted until it is their turn to speak. To be recognized to speak, use the “raise hand” feature in the Zoom meeting platform. Those joining the meeting by phone may press *9 to raise your hand. After speaking, please remute your phone by pressing *6.

Any speaker wishing to visually display documents in connection with a presentation must submit them to sware@gptx.org and msespinoza@gptx.org in PDF format no later than 3 o'clock p.m. on Monday, November 9th.

Call to Order - Commissioner Briefing

It is the intent of the Planning and Zoning Commission to be briefed by staff, and that all items on the agenda shall be available or open for discussion during the Briefing Session. The Planning and Zoning Commission may ask applicants and other interested parties for information or presentations. All interested parties are invited to attend. Briefings are taped.

Agenda Review**COVID Meeting Procedures**

Public Hearing**6:30 p.m. Council Chambers and Video Conference**

Chairperson Shawn Connor Presiding**Invocation****Pledge of Allegiance to the US Flags and to the Texas Flag**

Citizen Comments - Citizens may speak during Citizen Comments for up to five minutes on any item not the agenda by completing and submitting a speaker card.

Public Hearing Consent Agenda

Items listed on the Public Hearing Consent Agenda are considered to be routine and will be approved by one motion and one vote. There will be no separate discussion of the Public Hearing Consent Agenda items unless requested. If discussion is desired on an item, it will be considered separately. The Commission may ask questions of those present on an item from the Public Hearing Consent Agenda.

- 1** [20-10558](#) Approval of Minutes of the October 26, 2020 P&Z meeting.

Attachments: [PZ Draft Minutes 10-26-2020.pdf](#)

- 2** [20-10559](#) P201102 - Final Plat - I-30 MacArthur Business Center Addition, Lot 1, Block 3 (City Council District 5). Final Plat for Lot 1 Block 3, I-30/MacArthur Business Center Addition, creating one lot on 6.033 acres. Tract 27.4 and Tract 27.5, Joseph Graham Survey, Abstract No. 506, City of Grand prairie, Dallas County, Texas, zoned PD-41, within the IH-30 Corridor Overlay District, and generally located on the southwest corner of the IH-30 frontage road and N Bagdad Rd.

Attachments: [Exhibit A P201102 Location Map](#)

[Exhibit B P201102 Exhibit B FP I-30 MacArthur Business Center Blk 3, Lot 1](#)

- 3 [20-10560](#) P201103 - Preliminary Plat - Hamilton Bardin Village (City Council District 4). Preliminary Plat for Hamilton Bardin Village, Lots 1-6, Block 3R, creating six lots on 21.803 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.
- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)
- 4 [20-10561](#) P201104 - Preliminary Plat - Heritage Towne (City Council District 6). Preliminary Plat for the multifamily and commercial portions of Heritage Towne, a mixed use development located along SH-360 and HWY 287. The plat includes 6 lots covering 37.324 acres. Located at 2925 Davis Drive, legally described as Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas, zoned PD-399 District. Generally located north of Hwy 287 and east of HWY 360.
- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)
- 5 [20-10562](#) P200901 - Preliminary Plat - Slink Addition, Lots 1-7, Block 1 (City Council District 2). Preliminary Plat creating seven lots on 54.692 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.
- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)

Public Hearing Postponement, Recess, and Continuations

In accordance with Section 1.11.5.7 of the Unified Development Code (UDC) a public hearing for which notice has been given may be postponed by announcing the postponement at or after the time and place the hearing is scheduled to begin. A public hearing may be recessed and continued any time after the hearing has commenced. Section 1.11.5.7.C of the UDC states if a postponement or continuance of a public hearing is to a specific date and time no later than 60 days from the first or most recent hearing, the announcement of the postponement or continuance at the public hearing in which the application has been postponed or continued by the Planning and Zoning Commission shall be sufficient notice and no additional notice is required. However, the Planning and Zoning Commission may direct staff to re-notify postponed or continued applications for which public hearings have not yet commenced.

Items for Individual Consideration

- 6 [20-10563](#) S201101 - Site Plan - Hamilton Bardin Village Phase 1 (City Council District 4). Site Plan for Phase 1 of Hamilton Bardin Village, which includes 405 multi-family units in five buildings with a five-story parking garage on 9.647 acres, a 43,874 sq. ft. movie theater on 5.147 acres, and open space on .93 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.
- Attachments:** [Exhibit A - Location Map.pdf](#)
 [Exhibit B - Site Plan.pdf](#)
 [Exhibit C - Landscape Plan.pdf](#)
 [Exhibit D - Building Elevations.pdf](#)
 [Exhibit E - Amenity Checklists.pdf](#)
- 7 [20-10564](#) S200901 - Site Plan - Kalterra Phase 1 (City Council District 2). Site Plan for a multi-family development of 412 units in four buildings on 11.74 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.
- Attachments:** [Exhibit A - Location Map.pdf](#)
 [Exhibit B - Site Plan.pdf](#)
 [Exhibit C - Landscape Plan.pdf](#)
 [Exhibit D - Building Elevations.pdf](#)
 [Exhibit E - Appendix W Amenities.pdf](#)
 [Exhibit F - Enhanced Screening.pdf](#)
- 8 [20-10565](#) S200603 - Site Plan - Hunter Ferrell Logistics Park (City Council District 1). Site Plan for Hunter Ferrell Logistics Park, a development with a 210,856 sq. ft. warehouse building on 13.62 acres. Tracts 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 2400 W Hunter Ferrell Rd.
- Attachments:** [Exhibit A - Location Map.pdf](#)
 [Exhibit B - Site Plan.pdf](#)
 [Exhibit C - Landscape Plan.pdf](#)
 [Exhibit D - Building Elevations.pdf](#)
 [Exhibit E - Site Lines.pdf](#)

Public Hearing

Members of the public may address the Commission on items listed on the agenda under Public Hearing Items. Persons wishing to address the Commission must first complete a request to speak card. A person may also use the request to speak card to indicate his or her support or opposition to a case without speaking. Cards may be picked up at the desk by the entrance to the City Council Chambers and may be deposited at the desk or given to a staff member. Speaking time is generally limited to five minutes per speaker. Per the by-laws of the Planning and Zoning Commission, the applicant and those favoring the request shall have a maximum of 30 minutes, including rebuttal, to present their arguments for the request. Those in opposition to a request shall have a maximum of 30 minutes to present their arguments against the request. When a large group is present, it is encouraged that representatives be appointed to speak for the group so that redundant testimony is minimized. Commissioners may have questions of those speaking at the public hearing. The time used to answer the Commission's questions will not be deducted from the allotted 30 minutes. These rules may be temporarily suspended, in whole or in part, by a unanimous vote of the Commission.

- 9 [20-10566](#) CP200801 - Concept Plan - Cottages at Dechman (City Council District 2).
Concept Plan for the Cottages at Dechman, a multi-family development with a mixture of attached and detached units on 15.91 acres. Tract 2 of Leonidas O'Gwinn Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, and generally located at the northwest corner of Dechman Dr and the IH-20 frontage road.

 Attachments: [Exhibit A - Location Map.pdf](#)
 [Exhibit B - Concept Plan.pdf](#)
- 10 [20-10567](#) MTP200801 - Amendment to Thoroughfare Plan - Cottages at Dechman (City Council District 2). Amendment to the Master Thoroughfare Plan to remove an unnamed collector from the Master Thoroughfare Plan. The unnamed collector creates an additional connection from Fish Creek Rd/Dechman Dr to the Interstate 20 WB Frontage Rd.
- 11 [20-10568](#) Z200401A - Zoning Change - Heritage Towne Amendment (City Council District 6).
A Planned Development Amendment for Heritage Towne, a development on 76.96 acres which includes single-family, multi-family, commercial, and open space uses. The purpose of the request is to add additional commercial zoning along Davis Road. Tracts 186713 and 186714, J Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas. Zoned PD-399 and addressed as 2925 Davis Drive. Generally located north of Hwy 287, and east of HWY 360.

 Attachments: [Exhibit A - Boundary Description.pdf](#)
 [Exhibit B - Zoning Exhibit.pdf](#)
 [Exhibit C - Conceptual Renderings.pdf](#)
- 12 [20-10569](#) SU201101 - Specific Use Permit/Site Plan - Impound Lot at 2409 E Main St (City Council District 5). Specific Use Permit & Site Plan request for Auto Impound uses on four industrial lots. 1.402 acres out of the Thomas Collins Survey, Abstract 308,

being Westover Place Addition, Block A, Lots 3,4,7 & 8, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) District and designated Specific Use Permit-814A, located in CBD No. 4, generally located southeast of E. Main Street and Bagdad Road, and addressed as 2409 E. Main Street.

Attachments: [Exhibit A Location Map SU201101](#)

[Exhibit B Site Plan SU201101](#)

[Exhibit C Elevations SU201101](#)

[Exhibit D Operational Plan SU201101](#)

[Exhibit E Legal Descript SU201101](#)

Adjournment

In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A., the Planning and Zoning Commission agenda was prepared and posted on 11/06/2020.

Monica Espinoza
Planning Secretary

The City Hall is wheelchair accessible. If you plan to attend this public meeting and you have a disability that requires special arrangements, please call 972-237-8255 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.

LEGISLATIVE PRAYER AND PLEDGE OF ALLEGIANCE

It is the custom and tradition of the members of the Planning and Zoning Commission to have an invocation followed by recitals of the United States of America and State of Texas pledges of allegiance prior to the beginning of its meetings. The invocation and pledges are directed to and offered solely for the benefit of the members of Commission, though members of the audience are welcome to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and will have no bearing on any matter considered or decision made by the Commission during the meeting.



Legislation Details (With Text)

File #: 20-10558 **Version:** 1 **Name:** Approval of Minutes of the October 26, 2020 P&Z meeting.

Type: Agenda Item **Status:** Consent Agenda

File created: 11/2/2020 **In control:** Planning and Zoning Commission

On agenda: 11/9/2020 **Final action:**

Title: Approval of Minutes of the October 26, 2020 P&Z meeting.

Sponsors:

Indexes:

Code sections:

Attachments: [PZ Draft Minutes 10-26-2020.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

Approval of Minutes of the October 26, 2020 P&Z meeting.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
OCTOBER 26, 2020**

COMMISSIONERS PRESENT: Chairperson Shawn Connor, Vice-Chairperson Bill Moser, Secretary Cheryl Smith, and Commissioners, Josh Spare, Julia Perez, Max Coleman, Eric Hedin, Warren Landrum, John Fedorko.

COMMISSIONERS ABSENT: none

CITY STAFF PRESENT: Rashad Jackson, Planning and Development Director, Savannah Ware, Chief City Planner, Charles Lee, Senior Planner, Jonathan Tooley, Planner, Mark Dempsey, Deputy City Attorney, Brett Huntsman, Transportation Planner, Monica Espinoza, Executive Assistant.

Chairperson Shawn Connor called the meeting to order by Video Conference at 6:36 p.m. and Commissioner Moser gave the invocation, and Commissioner Spare led the pledge of allegiance to the US Flag, and the Texas Flag.

Citizen Comments: None

AGENDA ITEM: #1 - APPROVAL OF MINUTES: To approve the minutes of the Planning and Zoning Commission meeting of October 12, 2020.

CONSENT PUBLIC HEARING AGENDA Item #2- P201001 - Final Plat - Hill Street Addition (City Council District 5). A Final Plat to establish Lot 1, Block 1, Hill Street Addition, out of a 13.1509 acre tract. Located at 1610 and 1614 Hill Street, legally described as 13.1509 acres out of the Hein Bilsmirer Survey, Tract 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 District, and generally located north of Hill Street and East of State Highway 161.

ITEM #3 – P201101 - Final Plat - Natitex, Lot 1, Block 1 (City Council District 1). A Final Plat to establish Lot 1, Block 1, Natitex Addition, out of a .857 acre tract. Located at 923 S Highway 161, legally described as .857 acres out of the Elizabeth Gray Survey, Abstract No. 517, Page 215, Dallas County, City of Grand Prairie, Texas, Zoned PD12 District, and generally located north of Desco Lane and east of State Highway 161.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

ITEM #4- P201002 - Preliminary Plat - I-30/MacArthur Business Center Addition (City Council District 5). Preliminary Plat of Lots 1-2 Block 1, Lots 1-2 Block 2 and Lot 1, Block 3, I-30/MacArthur Business Center Addition, creating five industrial lots on 16.94 acres. I-30/MacArthur Business Center Addition, 16.94 acre tracts situated in the Joseph Graham Survey, Abstract No. 506, City of Grand Prairie, Dallas County, Texas, zoned Planned Development-41 (PD-41) Light Industrial District, within the I-30 Corridor Overlay District, generally located south of eastbound I-30 Service Road and north of Gifford Street; west of Bagdad Road extending east to Garden Way.

ITEM #5- P201003 - Final Plat - I-30/MacArthur Business Center (City Council District 5). Final Plat of Lots 1-2 Block 1, of I-30/MacArthur Business Center Addition, establishing two industrial lots on 4.929 acres. I-30/MacArthur Business Center Addition, 4.29 acre tracts situated in the Joseph Graham Survey, Abstract No. 506, City of Grand Prairie, Dallas County, Texas, zoned Planned Development-41 (PD-41) Light Industrial District, within the IH-30 Corridor Overlay District, generally located south of eastbound I-30 Service Road and north of Gifford Street; west of Burbank Way extending east to Garden Way.

ITEM #6- P201004 - Final Plat - The Lakeside (City Council District 4). Final Plat of the Lakeside, creating 44 single family residential lots and four open space lots on 10 acres. Tract 2A1, 2A3, 2A3A1, 2A3B, 2A3C, 2A3D, and 2A03A2 of the Boalis Estes Survey, Abstract No. 438, City of Grand Prairie, Tarrant County, Texas, zoned PD-401, within the Lake Ridge Corridor Overlay District, and generally located on the north side of Hanger Lowe Rd, east of Coastal Blvd, and west of Nautical Dr.

ITEM #7- P200104 – Final Plat – Mira Lago (Previously Lakeridge Commons) (City Council District 4). Final Plat for Lakeridge Commons, creating 98 residential lots on 33.653 acres. Tract 1, William Linn Survey, Abstract No. 926, City of Grand Prairie, Tarrant County, Texas, zoned PD-384, within the Lake Ridge Corridor Overlay District, and generally located west of Lake Ridge Pkwy, south of Hanger Lowe Rd, and east of Coastal Blvd.

Vice-Chairperson Moser moved to approve the minutes, cases P201001, P201101, P201002, P201003, P201004 and P200104.

Motion: Moser

Second: Coleman

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

Motion: **carried.**

ITEM FOR INDIVIDUAL CONSIDERATION: Item # 8 - S201002 - Site Plan - ATS Drive-Thru (City Council District 1). Planner Jonathan Tooley presented the case report and gave a Power Point presentation for a site plan request for a 10,994 square foot building which will include retail and a drive through restaurant on 1.14 acres. Located at 2615 W Pioneer Parkway, legally described as Sam's Properties Addition, Lot 1R, City of Grand Prairie, Tarrant County, Texas, zoned Light Industrial District, and generally located south of Pioneer Parkway and west of South Great Southwest Parkway.

Mr. Tooley stated the applicant is proposing to develop the north portion of Lot 1R (Hong Kong Market) into retail/restaurant spaces. The eastern portion of the building will provide a drive-through option a café or restaurant. The proposed layout will be approximately 75 percent restaurant and 25 percent retail. The applicant only has one tenant lined up at this time, 7 Leaves Café, which will be for the drive-thru portion of the building. The property has access from W Pioneer Parkway and will have an access easement established to allow access from S Great Southwest Parkway. By having access from Great Southwest Parkway, this will allow for garbage trucks to access the dumpster location with ease. The owner has executed a written agreement with the property owner of Lot 5R (gas station located on the corner of W Pioneer and S GSW) to establish an access easement with the driveway situated on the east property line. Mr. Loh will be required to file this agreement as a separate instrument and provide staff with a copy and show the instrument on the replat.

The Development Review Committee (DRC) recommends approval of the proposal as requested along with the following conditions:

- An access easement established with the property owner on the corner of W Pioneer and S Great Southwest Parkway. The applicant will need to file the agreement with the County and provide a separate instrument number on the replat.
- A shared parking agreement executed before the issuance of building permits.
- The property is replatted before the issuance of building permits.

Applicant Matthew Loh, 2625 W Pioneer Parkway Grand Prairie TX. 75051, stepped forward representing the case, he stated he wanted to thank the commissioners for their time and working with the City of Grand Prairie has always been great. Additionally, he stated there are several hurdles they need to overcome which includes an access easement flow moved and was able to secure it with the owner of the gas station two days ago. Shared parking isn't a problem because Asia Time Square is here in Grand Prairie to become a tourist destination. There hasn't been a

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lease signed pending the outcome of today's commission decision but the owner of 7 Leaves is present and has agreed with the same vision for ATS.

Chairperson Connor stated he likes what they have done with the corner and it has really enhanced it. Mr. Coleman wanted to thank Mr. Loh and his family for all the money they have invested in Grand Prairie and they have always done a top notch quality product.

Commissioner Smith thanked Asia Time Square for doing a wonderful job and asked what type of cuisine will 7 Leaves Café offer.

7 Leaves Café Owner, Tony Nguyen, 2805 Greenbrook Ct. Grapevine TX. 76051, stepped forward representing the case, he stated this will be the first café drive thru in DFW and 7 Leaves Café specializes in serving coffee and tea. He went on to say the product will speak for itself and he wanted everyone to know that on every cup, employees' t-shirt and on store walls it will have the quote "Be the change you wish to see in the world" because they believe in bringing community together.

Commissioner Moser asked to get a bit more information about the franchise. Mr. Nguyen stated the brand started in Orange County by a family of immigrants 8 years ago. He signed up for 10 units in DFW with master rights. Houston and Austin also has another 30 units and the brand is in 6-7 other states now. Mr. Moser asked how many cafes are operating now. Mr. Nguyen stated 25-26 locations in California, 15-16 franchises opened at the moment. Mr. Moser asked will this café be the first one in DFW. Mr. Nguyen stated this will be the 3rd one with there being one in Carrollton and in Frisco.

Commissioner Moser stated Mr. Loh and his family have done so much for the community and likes how Mr. Nguyen echoes the family because he believes Grand Prairie is about family.

There being no further discussion on the case commissioner Spare moved to close the public hearing and approve case S201002 per staff recommendations.

The action and vote recorded as follows:

Motion: Spare

Second: Moser

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

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PUBLIC HEARING AGENDA ITEM # 9- CPA201001 - Comprehensive Plan Amendment - 2601 Hines Avenue (City Council District 1). Planner Jonathan Tooley presented the case report and gave a Power Point presentation for a request to change the Future Land use Map from Mixed use to Commercial, Retail, and Office. Located at 2601 Hines Avenue, legally described as Cox and Hines Located at 2601 Hines Avenue, legally described as Cox and Hines Subdivision, Lots 1-3, 4A, 5 A, 6-8, Block D, City of Grand Prairie, Tarrant County, Texas, zoned Commercial Office District, and generally located south of Hines Avenue and west of South Great Southwest Parkway.

Mr. Tooley stated the applicant is proposing to construct a commercial business with later phasing in retail/restaurants along the Great Southwest Parkway frontage. The request is for a change from Mixed Use to Commercial/Retail/Office on the Future Land Use Map (FLUM). The 2018 update to the Comprehensive Plan defines these categories as follows:

Commercial/Retail/Office (pg. 58 of the Comprehensive Plan):

Commercial uses are more intense than retail establishments, yet also provide goods and services for the public. Examples of commercial establishments would include hotels, automotive services, and big box retailers.

Retail

This land use type is intended to provide for a variety of restaurants, shops, grocery stores, and personal service establishments. Retail uses require high visibility locations and should be located in high-traffic areas such as along arterial roadways.

Office

Office areas provide for low- to medium-rise suburban-scale developments. Generally, permitted uses include corporate, professional, medical and financial offices as well as offices for individuals and non-profit organizations. These areas can also serve as a lower intensity transitional use to adjacent residential areas.

Mixed Use (pg. 58 of the Comprehensive Plan):

Areas with this land use designation are intended for an appropriately planned mixture of non-residential and residential uses. They are referred to as mixed-use because it is envisioned that these areas would be integrated developments of retail, public, office, and entertainment, with a residential component appropriately blended into larger scale buildings that would otherwise be used to support those uses independently. Mixed-use areas are intended to provide flexibility for the City and the development community in order to encourage innovative, unique, and sustainable developments. Residential uses in mixed-use developments have begun to appeal to seniors or younger generations. Walkable connections to shopping and dining should be key

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components of the mixed-use areas. There are two types of mixed-use - vertical and horizontal. Vertical mixed-use (sometimes referred to as New Urbanism) incorporates multiple uses in one building on different floors. For example, a building could have shops and dining on the first floor and residential and office on the remaining floors. Horizontal mixed-use is defined generally as different land uses on different lots in one area, and is not intended to be included with this description.

Development Review Committee (DRC) recommends approval of the requested amendment to the FLUM.

PUBLIC HEARING AGENDA ITEM # 10- Z201003 - Zoning Change - C at 2601 Hines Avenue (City Council District 1).). Planner Jonathan Tooley presented the case report and gave a Power Point presentation for a request to change the base zoning from Commercial Office (CO) to Commercial (C) to allow for future development at this location. Located at 2601 Hines Avenue, legally described as Lots 1-3, 4A-5A, 6-8, Block D, L. Cox and C. Hines Resubdivision, City of Grand Prairie, Tarrant County, Texas, zoned Commercial Office District, and generally located south of Hines Avenue and west of South Great Southwest Parkway. Mr. Tooley stated the purpose of the request is to rezone the subject property from Commercial Office District (CO) to Commercial District (C). The owner will develop this property in two phases. The first phase will include a large commercial building that will house their business specializing in selling road striping supplies (Striping Service and Supply). In the second phase, the owner intends to build spec retail/restaurant suites along Great Southwest Parkway to attract economic development for the property. The owner is required to follow Article 6, 8, and 10 of the Unified Development Code for all future development. The owner stated that there will not be any outside storage, or any industrial type uses. Mr. Nelson is planning to replat the property into two lots to correspond with each phase of the project.

The Development Review Committee (DRC) recommends approval.

Walter Nelson 3012 Hobble Ct. Grand Prairie TX., stepped forward representing the case, he said client is wishing to develop property as soon as possible. Phase 1 building will be in less than a year and hope to have a building permit by January, Phase 2 building permit possible April. Phase 1 to open Sept. 2021 and Phase 2 six months later.

Commissioner Moser asked what does the other business on the aerial map do. Mr. Nelson stated the Sargent family owns another company called Striping Service and Supply and it's a retail operation. Mr. Moser asked will that company take up all of the building in Phase 1. Mr. Nelson

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stated yes they are taking 20,000 sq. ft. Ms. Moser asked will Phase 2 be all rentals. Mr. Nelson stated yes.

Commissioner Coleman wanted to thank the Sargent family for investing their money in Grand Prairie.

There being no further discussion on the case commissioner Coleman moved to close the public hearing and approve case CPA201001 and Z201003 per staff recommendations.

The action and vote recorded as follows:

Motion: Coleman

Second: Smith

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 11- SU201001 - Specific Use Permit - Marshal Renee Construction (City Council District 1). Chief City Planner Savannah Ware presented the case report and gave a Power Point presentation for a Specific Use Permit for a Contractor's Shop with Outside Storage. Lot 1, Block 1, Zac's Ridge Conference Center, City of Grand Prairie, Dallas County, Texas, zoned LI, within the SH-161 Corridor Overlay District, and addressed as 1771 Robinson Rd.

Ms. Ware stated the applicant is operating a Contractor's Shop with Outside Storage at 1771 Robinson Rd. A Contractor's Shop with Outside Storage requires a Specific Use Permit when located within a Corridor Overlay District or within 300 ft. of residential zoning. A Specific Use Permit is required at this location because the subject property is within the SH-161 Corridor Overlay District and adjacent to properties zoned Multi-Family One. The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have potentially negative impact upon surrounding properties; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to eliminate such probable negative impacts.

The Development Review Committee (DRC) recommends approval with the following conditions:

1. The applicant shall submit final record drawings to the Engineering Division for processing and final acceptance before a Certificate of Occupancy will be released.

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2. The applicant shall schedule and pass any remaining inspections with the Building Inspections Division before a Certificate of Occupancy will be released.
3. The applicant shall obtain a Certificate of Occupancy within 30 days of City Council approval of this request.
4. The applicant shall obtain City Council approval of a Site Plan for any additional construction or future expansion.
5. The applicant shall provide and install landscaping that meets current Appendix F standards within six months of City Council approval of the SUP.
6. The applicant shall make any driveway and roadway improvements needed to handle expanded business operations. Transportation Department and Public Works Department will assess future expansion and determine requirements upon the formal submittal of the Site Plan development request.
7. The applicant shall post on-site signage to prevent heavy trucks from turning right to exit the site and travel northbound on Robinson Rd to connect to SH-161.
8. Heavy trucks shall use W Marshall Rd to connect to SH-161.
9. Any storage of materials under powerlines is prohibited.
10. Permanent screening of outside storage shall meet requirements in the Unified Development Code.
11. The area used for outside storage shall not exceed what is allowed by the UDC.

Commissioner Fedorko stated only thing that is concerning is he comes from a district where they approved warehouses and even with the no trucking signs, the truck drivers ignore them which is concerning for people who live around there. Ms. Ware stated the conditions with be in the Specific Use Permit like the signage and have to go south onto Marshall to get onto 161 hwy. As part of the SUP process all cases are brought back in one year for evaluation to make sure they are meeting will all of the conditions staff recommended. So if city staff observes trucks going north and get complaints those will be violations of SUP and while evaluating if there is considerable amount of traffic not meeting those conditions it could be grounds of relocation of the SUP. Mr. Fedorko asked has anyone ever been revoked of their SUP in the city. Ms. Ware stated there has been some SUP's revoked for violating the conditions placed by the planning staff.

Owner, Adam Spears from Marshall Renee Contraction, 502 Bottom St. Grand Prairie Tx., stepped forward representing the case, he stated all of his truck drivers are hourly employees and they will all be under his control.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

Commissioner Moser wanted to make sure he understood if his employees break the rules they will get fired. Mr. Spear stated yes sir.

There being no further discussion on the case commissioner Coleman moved to close the public hearing and approve case SU201001 per staff recommendations.

The action and vote recorded as follows:

Motion: Coleman

Second: Landrum

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 12- Z201002 - Zoning Change - LI at 1303 W Hunter Ferrell Rd (City Council District 1). Senior Planner Charles Lee presented the case report and gave a Power Point presentation for a Requested Zoning Change from PD-10 (Mobile Home Park) to Light Industrial (LI) district for an industrial development with a 610,000 sq. ft. warehouse/distribution facility. A 10.667-acre tract of land in the I. Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned PD-10 (Mobile Home Park), generally located southwest of Hunter Ferrell Road and MacArthur Blvd, and addressed as 1303 Hunter Ferrell Road.

Mr. Lee stated the purpose for the request is to rezone 10.667 acres from Planned Development-10 (PD-10) allowing for a Mobile Home Park to Light Industrial (LI) zoning district to construct a 610,000 SF warehouse facility. The 10.6-acre site is located less than 300 feet from the Trinity (West Fork) Riverbank. The site is sparsely vegetated with a slight depression towards the center and gradually sloping to the southeast towards the Trinity River. A gravel roadway/access drive is located along the southern portion of the tract serving an array of commercial communication towers (Broadcast Works Addition) located approximately 700 feet to the southwest. The site is located entirely within the floodplain and the applicant has been working with the City of Grand Prairie's Floodplain Administrator as well as US Army Corp of Engineers in obtaining permits to develop the property. Those include the granting of a CDC permit and in the process of (CLOMR) Conditional Letter of Map Revision approval regarding the floodplain area of request.

The Development Review Committee (DRC) recommends approval subject to:

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

- Engineering final approval of associated floodplain and CLOMR permits.
- City of Grand Prairie's and City of Irving's Transportation Engineering associated permits related to improvements along MacArthur Boulevard.

Commissioner Smith asked is FEMA giving this project any incentive or grants. Mr. Lee stated he is not aware of any.

Applicant Robert Baldwin, 3904 Elm St. Suite B Dallas Tx., stepped forward representing the case, he stated this is a great location for this project and asks for the commissioners' support.

There being no further discussion on the case commissioner Coleman moved to close the public hearing and approve case Z201002 per staff recommendations.

The action and vote recorded as follows:

Motion: Coleman

Second: Smith

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 13- TA201001 - Text Amendment - Appendix O - Hospital District. Chief City Planner Savannah Ware presented the case report and gave a Power Point presentation for a Text Amendment to Appendix O: Hospital District of the Unified Development Code to add Funeral Home to the list of permissible uses.

Ms. Ware stated the purpose of this request is to add "Funeral Home" to the list of permissible uses in Appendix O: Hospital District. The Hospital District is located immediately east of the common corporate boundary line for the City of Grand Prairie and the City of Arlington, south of Sherman St. The purpose of the Hospital District is to create a single area in which the physical and mental health needs of the citizenry can be accommodated in a comprehensive fashion with support facilities that complement the health care land uses. This request will add "Funeral Home" to Section 7.3.3: Permitted Principal Uses.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

There being no further discussion on the case commissioner Moser moved to close the public hearing and approve case TA201001.

The action and vote recorded as follows:

Motion: Moser

Second: Spare

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 14- TA201002 - Accessory Structure Text Amendment – Amendment to Article 6 Density and Dimensional Requirements of the Unified Development Code; Planning Director Rashad Jackson presented the case report and gave a Power Point presentation for an ordinance amending Article 6 Section 6 Accessory Structures, and all related sections, to amend development regulations for accessory structure size, height and allowed exterior materials.

Mr. Jackson stated Grand Prairie has seen an increase in the number of variance requests for accessory structures and detached garages. The requests have been focused primarily on size, height and exterior material exceptions. Over the last two years, approximately 34% of Zoning Board of Adjustment request stemmed from accessory structure variances ([see Attachment 1 table](#)). From a planning and development standpoint, significant and routine variance requests for regulations usually means the regulation should be amended. Staff has proposed an amendment to address the significant number of requests in order to reduce resident and staff time for such matters. The proposed amendments will streamline staff review of accessory structure requests and allow for more administrative approvals. The amendments will also put the Unified Development Code (UDC) in line with House Bill 2439 which prohibits the ability to require specific exterior materials on principle or accessory structures.

There being no further discussion on the case commissioner Hedin moved to close the public hearing and approve case TA201002.

The action and vote recorded as follows:

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

Motion: Hedin

Second: Moser

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 15- TA201003 - Hybrid Housing Text Amendment – Amend Residential Development Standards of the Unified Development Code to establish development and design standards for hybrid housing or build to rent residential development; An ordinance amending Appendix W Residential Development Standards; Article 4 Permissible Uses; Article 10 Parking and Loading Standards and Article 30 Definitions of the Unified Development Code. Planning Director Rashad Jackson presented the case report and gave a Power Point presentation for Hybrid housing, also known as build-to-rent homes, combines elements of traditional single family and multi-family development. It typically includes a mix of attached and detached single-story units available for rent on a single lot. Maintenance of individual units, common areas and landscaping is the responsibility of a single entity. Over the last few months, the city has seen an increase in interest from developers wanted to construct hybrid housing. The Unified Development Code does not contain development standards specific to this style development. Previous hybrid housing developments have been allowed to develop under multifamily development requirements. The resulting developments have caused design concerns from staff and Council members.

Mr. Jackson stated as noted, staff recommends using the Townhouse design criteria as a basis for all hybrid housing development. Hybrid housing will be included in the Appendix W Townhouse Amenity, Design & Parking standards. The use, SF- Hybrid Housing (Build To Rent), will be added to Article 4 Permissible Uses. The use will be allowed under the SF - Townhouse zoning district. Hybrid housing planned developments will be required to use townhouse zoning as its base zoning district as well.

Most developers only implement the single-family unit as the “hybrid” aspect of the development with multifamily zoning used as the base zoning district. The increased density and typical site layout allowed for multifamily development can create design and function issues (access, parking, orientation) when trying to incorporate single family units. The goal would be to require additional single-family design and function elements to truly make a “hybrid” design that accommodates single family development.

Using the townhouse zoning designation for this use will also set a reasonable density baseline for proposed development as opposed to using the multifamily zoning designation. Staff also feels the townhouse amenity and design standard requirements will create developments more in line with other single-family developments.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

The proposed amendment will allow for:

- More Townhouse Derived product
- Use of the existing Townhouse Amenity, Design & Parking standards set forth in Appendix W of the UDC. Simple way to regulate using existing design standards.
- Opportunity for Individual / Independent Access for each unit.
- Better building orientation. The Townhouse access and design standards address building orientation issues.
- Open space standards in line with Appendix W requirements.
- Proper ROW Screening / Landscape Buffers in accordance with existing Appendix W standards

Chairperson Connor asked is townhouse concept free standing structure with garage. Mr. Jackson stated townhouses requires garage direct access and developers may request variations.

There being no further discussion on the case commissioner Spare moved to close the public hearing and approve case TA201003 per staff recommendations.

The action and vote recorded as follows:

Motion: Spare

Second: Coleman

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

Commissioner Moser moved to adjourn the meeting. The meeting adjourned at 8:00 p.m.

Shawn Connor, Chairperson

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

ATTEST:

Cheryl Smith, Secretary

An audio recording of this meeting is available on request at 972-237-8255.



Legislation Details (With Text)

File #:	20-10559	Version:	1	Name:	P201102 - I-30 MacArthur Business Center Addition, Lot 1, Block 3
Type:	Agenda Item	Status:			Consent Agenda
File created:	11/2/2020	In control:			Planning and Zoning Commission
On agenda:	11/9/2020	Final action:			
Title:	P201102 - Final Plat - I-30 MacArthur Business Center Addition, Lot 1, Block 3 (City Council District 5). Final Plat for Lot 1 Block 3, I-30/MacArthur Business Center Addition, creating one lot on 6.033 acres. Tract 27.4 and Tract 27.5, Joseph Graham Survey, Abstract No. 506, City of Grand prairie, Dallas County, Texas, zoned PD-41, within the IH-30 Corridor Overlay District, and generally located on the southwest corner of the IH-30 frontage road and N Bagdad Rd.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A P201102 Location Map](#)
[Exhibit B P201102 Exhibit B FP I-30 MacArthur Business Center Blk 3, Lot 1](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

P201102 - Final Plat - I-30 MacArthur Business Center Addition, Lot 1, Block 3 (City Council District 5). Final Plat for Lot 1 Block 3, I-30/MacArthur Business Center Addition, creating one lot on 6.033 acres. Tract 27.4 and Tract 27.5, Joseph Graham Survey, Abstract No. 506, City of Grand prairie, Dallas County, Texas, zoned PD-41, within the IH-30 Corridor Overlay District, and generally located on the southwest corner of the IH-30 frontage road and N Bagdad Rd.

Presenter

Charles Lee, AICP, CBO, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

Final Plat of Lot 1 Block 3, I-30/MacArthur Business Center Addition, creating one industrial lot on 6.033 acres. Tract 27.4 and Tract 27.5, Joseph Graham Survey, Abstract No. 506, City of Grand Prairie, Dallas County, Texas, zoned Planned Development-41 (PD-41) District, within the I-30 Corridor Overlay District, and generally located on the southwest corner of the I-30 Service Road and N Bagdad Rd.

PURPOSE OF REQUEST:

The purpose of the Final Plat is to create one industrial lot on 6.033 acres to facilitate development at this location.

ADJACENT LAND USES AND ACCESS:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	LI	Warehouse (Under Construction)
South	PD-41 & SF-4	TXDPS Office & Single-Family Residential
West	SF-4	Single Family Residential
East	PD-41	Warehouse (MacArthur Crossing)

HISTORY:

- Planned Development-41 (PD-41) was established in the 1950's. PD-41 allows for light industrial related uses and office/warehouse uses by-right.
- April 21, 2020: City Council approved a Site Plan for five office/warehouses on 16.944 acres (Case Number S200301).
- October 12, 2020: The Planning & Zoning Commission approved a Preliminary Plat for I-30 MacArthur Business Center Addition, creating five lots on 16.94 acres (Case Number P201002).

PLAT FEATURES:

The Final Plat establishes fire lane, access, and utility easements for Lot 1, Block 3. The plat depicts an existing billboard tract, utility and visibility easements.

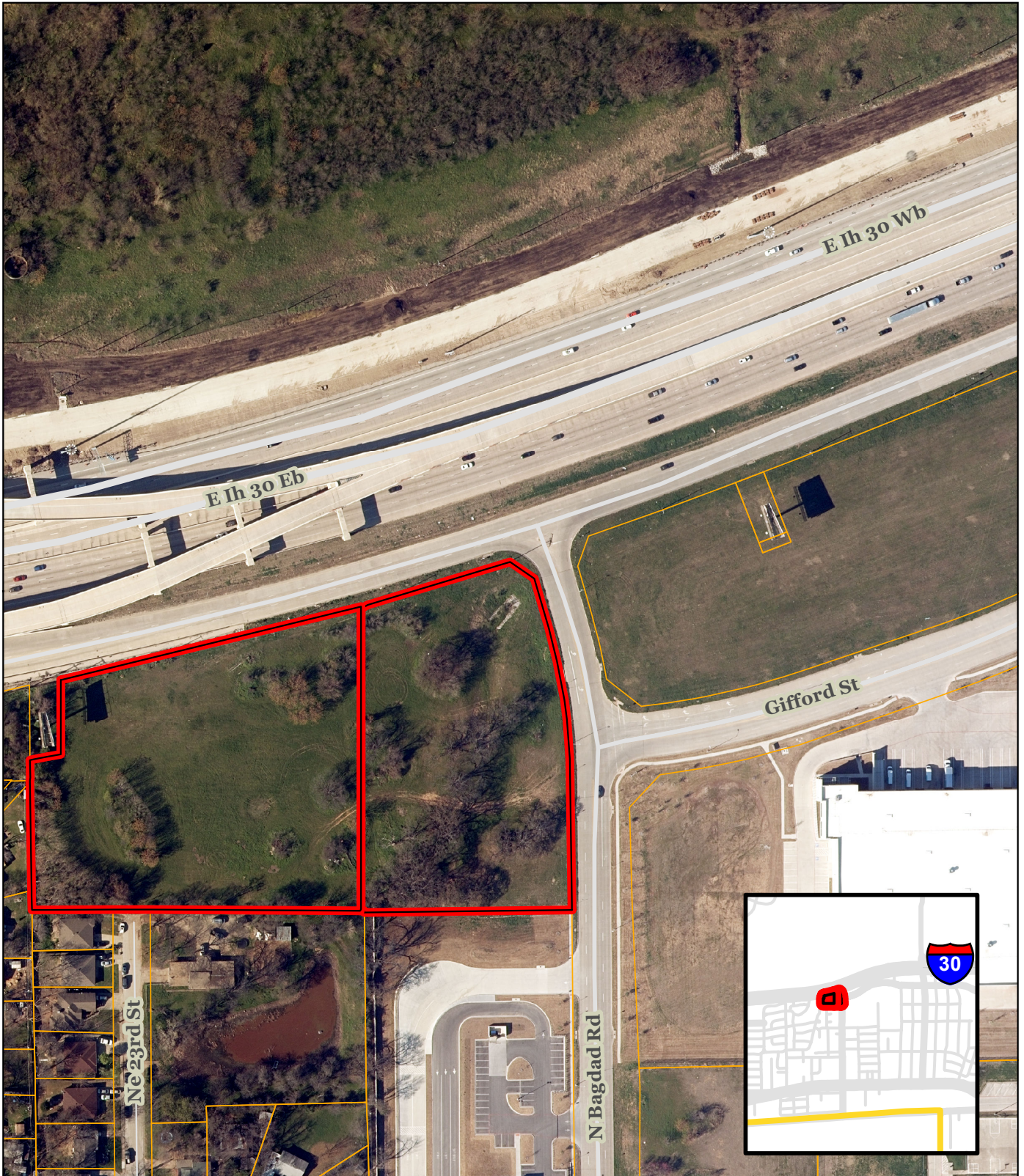
The property is zoned PD-41 for industrial uses and must meet the density and dimensional requirements for the Light Industrial (LI) District. The following table summarizes these requirements.

Table 2: Summary of Density and Dimensional Requirements

Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	15,000	262,792	Yes
Min. Lot Width (Ft.)	100	718	Yes
Min. Lot Depth (Ft.)	150	380	Yes
Front Setback (Ft.)	25	25	Yes

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



CASE LOCATION MAP

**P201102 - Final Plat
I-30/MacArthur Business Center
Addition, Lot 1, Block 3**



**City of Grand Prairie
Development Services**

(972) 237-8255

www.gptx.org



Legislation Details (With Text)

File #:	20-10560	Version:	1	Name:	P201103 - Hamilton Bardin Village Addition
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	P201103 - Preliminary Plat - Hamilton Bardin Village (City Council District 4). Preliminary Plat for Hamilton Bardin Village, Lots 1-6, Block 3R, creating six lots on 21.803 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

P201103 - Preliminary Plat - Hamilton Bardin Village (City Council District 4). Preliminary Plat for Hamilton Bardin Village, Lots 1-6, Block 3R, creating six lots on 21.803 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Preliminary Plat for Hamilton Bardin Village, Lots 1-6, Block 3R, creating six lots on 21.803 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.

PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to create six lots on 21.803 acres to facilitate development of Hamilton

Bardin Village, a horizontal mixed-use development. The Site Plan for Phase One of this development is under concurrent review (Case Number S201101).

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-37A; PD-327	Light Industrial, Commercial, Retail
South	PD-140	Medical Offices, Multi-Family
	PD-140B	Undeveloped
West	City Limits	City Limits
East	PD-140	Concorde Career College; Church

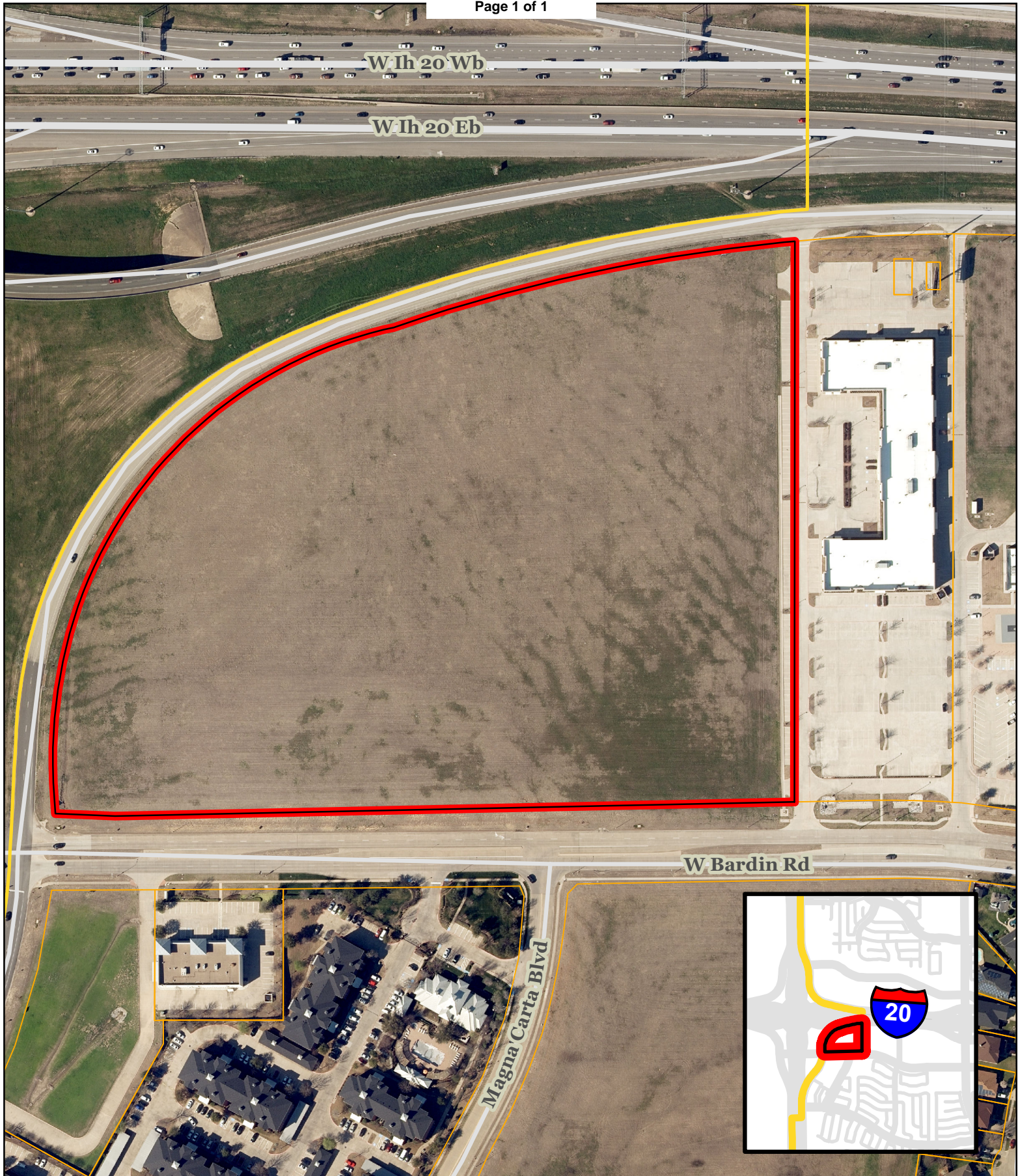
PLAT FEATURES:

The plat depicts the necessary utility and access easements and meets the applicable dimensional standards.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with the condition that the plat adheres to the standards set forth in the UDC and the following:

1. The applicant shall establish easements by a separate instrument for the off-site improvements that will be constructed with Phase One but not final platted with Phase One. The recording information for the easements shall be shown on the final plat for Phase One.
2. The final plat shall provide a 15 ft. utility easement along all street frontages.



OWNER'S CERTIFICATION

WHEREAS, Hamilton Commercial LLC is the owner of a 21.803 acre (949,747 square foot) tract of land situated in the John Moody Survey, Abstract No. 1007, City of Grand Prairie, Tarrant County, Texas; said tract being part of Block 3, Phase IV Sheffield Village, an addition to the City of Grand Prairie recorded in Volume 388-190, Page 83-86, of the Plat Records of Tarrant County, Texas and all of that certain tract of land described in Special Warranty Deed to Hamilton Commercial LLC, recorded in Document Number 219265070 of the Official Public Records of Tarrant County, Texas; said 21.803 acre tract of land being more particularly described as follows:

BEGINNING, at a 5/8-inch iron rod with KCS 2617 cap found at the north end of a right-of-way corner clip at the intersection of the east right-of-way line of Interstate 20 Frontage Road (a variable width right-of-way) and the north said line of Bardin Road (a 100-foot wide right-of-way); said point being the westernmost corner of said Block 3;

THENCE, along the said east line of I-20 and the west line of said Block 3, the following three (3) calls:

North 02 degrees, 32 minutes, 15 seconds East, a distance of 150.47 feet to a Brass Disk Stamped "Texas Department R.O.W.- No." found at the beginning of a tangent curve to the right;

Along said curve to the right, having a central angle of 65 degrees, 09 minutes, 52 seconds, a radius of 696.20 feet, a chord bearing and distance of North 35 degrees, 12 minutes, 24 seconds East, 749.82 feet on arc distance of 791.81 feet to a 5/8-inch iron rod found at the end of said curve, said point also being the beginning of a curve to the right;

Along said curve to the right, having a central angle of 16 degrees, 14 minutes, 33 seconds, a radius of 2,844.79 feet, a chord bearing and distance of North 75 degrees, 57 minutes, 54 seconds East, 803.76 feet, an arc distance of 806.46 feet to a "x" cut in concrete found, said point being the northwest corner of that certain tract of land described in a Special Warranty Deed with Vendor's Lien to CWW West Wind Apartment LLC, and Dallas Concorde LLC, recorded in Document No. 217153984 of said Official Public Records;

THENCE, South 00 degrees, 27 minutes, 02 seconds East, departing the said east line of Interstate 20 Frontage Road and along the west line of said CWW West Wind Apartment LLC, and Dallas Concorde LLC tract, a distance of 958.28 feet to a 5/8-inch iron rod with orange cap found on the said north line of Bardin Road, said point being the southwest corner of said CWW West Wind Apartment LLC, and Dallas Concorde LLC tract;

THENCE, South 89 degrees, 32 minutes, 58 seconds West, along the said north line of Bardin Road and the south line of said Block 3, a distance of 1,216.74 feet to a 5/8-inch iron rod with KCS 2617 cap found, at the south end of said corner clip;

THENCE, North 43 degrees, 57 minutes, 23 seconds West, along said corner clip, a distance of 13.77 feet to the POINT OF BEGINNING;

CONTAINING: 21.803 acres or 949,747 square feet of land, more or less.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Hamilton Commercial LLC, does hereby adopt this plat designating the hereon above described property as HAMILTON BARDIN VILLAGE LOTS 1-6, BLOCK 3R an addition to the City of Grand Prairie, Texas and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water management areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes as indicated. The utility, access, GPS monuments and fire lane easements shall be open to the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire lane easements is the responsibility of the property owner. No buildings or other improvements, including fences, shall be permitted in an erosion hazard easement. No buildings or other improvements or growths, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

Signature of Owner
(Hamilton Peck)

Position in Corporation
(Manager)

Name of Corporation
(Hamilton Commercial, LLC)

To the best of my knowledge, there are no liens against this property.

Signature of Owner

NOTARY CERTIFICATE

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the said _____ County and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this _____ day of _____, 2020.

Notary's Signature Stamp

SURVEYOR CERTIFICATE

STATE OF TEXAS

I, Luis M. Gonzalez, Registered Public Surveyor, hereby certify that I have prepared this plat from an actual on-the-ground survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Grand Prairie, Texas.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELED UPON AS A FINAL SURVEY DOCUMENT.
RELEASED 10/22/20.

Luis M. Gonzalez
Registered Professional Land Surveyor
No. 6793

NOTARY CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for the said Dallas County and for the State of Texas, on this day personally appeared Luis M. Gonzalez, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my hand and seal of office, this _____ day of _____, 2020.

Notary's Signature Stamp

PRELIMINARY PLAT
HAMILTON BARDIN
VILLAGE LOTS 1-6,
BLOCK 3R

6 LOTS- 21.803 ACRES
BLOCK 3, LOT 6, SHEFFIELD VILLAGE
LOCATED IN THE CITY OF GRAND PRAIRIE
AND BEING OUT OF THE
JOHN MOODY SURVEY, ABSTRACT NO. 1007
TARRANT COUNTY, TEXAS
CASE NUMBER: P201103
SHEET 2 OF 2

SURVEYOR / ENGINEER

PACHECO KOCH CONSULTING ENGINEERS INC.
7557 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: (972) 235-3031
CONTACT: LUIS M. GONZALEZ

OWNER

HAMILTON COMMERCIAL, LLC
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 76010
PH:
CONTACT: MR. HAMILTON PECK

Pacheco Koch				
DRAWN BY	CHECKED BY	SCALE	DATE	JOB NUMBER
VTS	LMG	1"=60'	OCT. 2020	4363-19.365



Legislation Details (With Text)

File #:	20-10561	Version:	1	Name:	P201104 - Heritage Towne
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	P201104 - Preliminary Plat - Heritage Towne (City Council District 6). Preliminary Plat for the multifamily and commercial portions of Heritage Towne, a mixed use development located along SH-360 and HWY 287. The plat includes 6 lots covering 37.324 acres. Located at 2925 Davis Drive, legally described as Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas, zoned PD-399 District. Generally located north of Hwy 287 and east of HWY 360.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

P201104 - Preliminary Plat - Heritage Towne (City Council District 6). Preliminary Plat for the multifamily and commercial portions of Heritage Towne, a mixed use development located along SH-360 and HWY 287. The plat includes 6 lots covering 37.324 acres. Located at 2925 Davis Drive, legally described as Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas, zoned PD-399 District. Generally located north of Hwy 287 and east of HWY 360.

Presenter

Jonathan Tooley, Planner

Recommended

Approve

Analysis

SUMMARY:

A preliminary plat for the multifamily and commercial portions of Heritage Towne, a mixed use development located along SH-360 and HWY 287. The plat includes 6 lots covering 37.324 acres. Located at 2925 Davis Drive, legally described as Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas, zoned PD-399 District.

PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to subdivide multiple survey tracts into 6 platted lots for multi-family, commercial, and open spaces uses. The developer is designing the site plan for the multi-family at this time, along with commercial uses. Lot 2, Block J, is intended for the future fire station that will service the south sector of the City. Mr. DeBaun wants to donate this lot to the City. There are approximately 28 acres planned for development as Multi-Family Three, 6.6 acres as General Retail, and 3 acres as open space.

The applicant has submitted a development application for a Planned Development amendment, which is running concurrent to this case (Z200401A). The current Planned Development - 399 District does not permit commercial uses north of Eva Mae Boulevard. The applicant is seeking to have this amended, bringing the plat into concurrency with the zoning.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-322A	Single -Family Residences
South	Agriculture; ETJ	Residential, Commercial, Cemetery
East	Agriculture	Undeveloped
West	Agriculture	Undeveloped

DENSITY AND DIMENSIONAL REQUIREMENTS:

The lots meet the density and dimensional requirements required in Article 6 of the Unified Development Code.

Table 2: Summary of Lot Requirements - Multi-Family (MF-3)

Standard	Required	Meets?
Min. Lot Area (Sq. Ft.)	12,000	Yes
Min. Lot Width (Ft.)	100	Yes
Min. Lot Depth (Ft.)	120	Yes
Maximum Height (Ft.)	60	Yes

Table 3: Summary of Lot Requirements - Commercial

Standard	Required	Meets?
Min. Lot Area (Sq. Ft.)	20,000	Yes
Min. Lot Width (Ft.)	100	Yes
Min. Lot Depth (Ft.)	150	Yes
Front Setback (Ft.)	25	Yes
Maximum Height (Ft.)	50	N/A

HISTORY:

- Planned Development Amendment application for Heritage Towne to allow additional commercial zoning fronting Davis Drive is under concurrent review (Case Number Z200401A).
- August 24, 2020: Planning and Zoning Commission approved a preliminary plat for Heritage Towne - single-family portion (Case Number P200801).
- April 21, 2020: City Council approved a zoning change and concept plan creating Planned Development-399 District for single-family, multi-family, and general retail uses (Case Number Z200401).

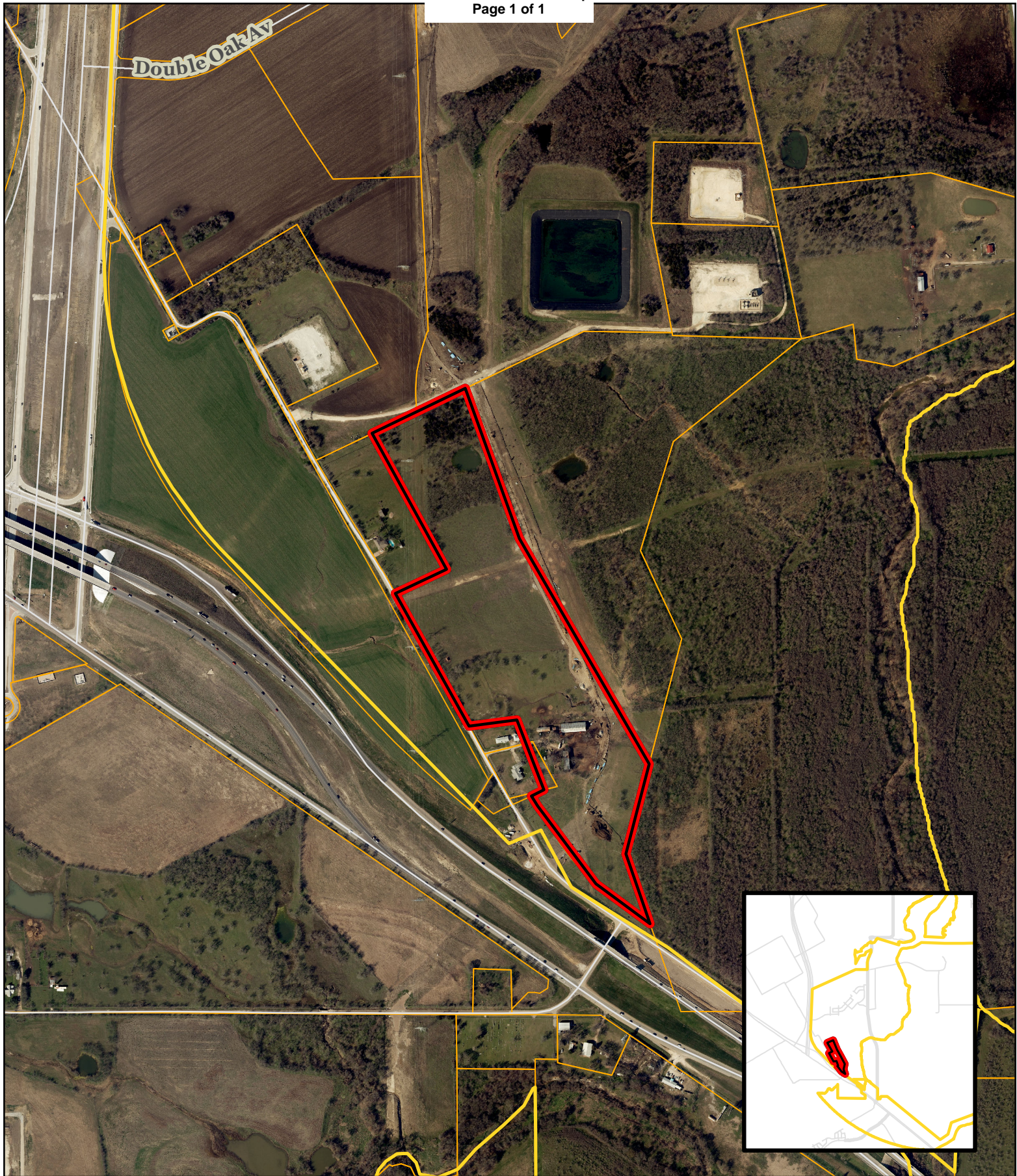
PLAT FEATURES:

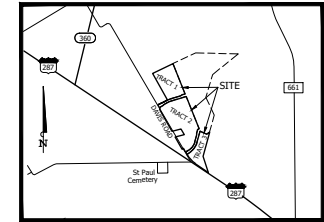
The multi-family and commercial tracts will be accessible from Davis Drive and the two proposed public right of ways, Heritage Towne / Eva Mae Boulevard. The multi-family zoning district allows for a density of 26 units per acre. The plat meets density and dimensional requirements in the UDC. The applicant is dedicating 25 feet of right-of-way along Davis Drive to meet current City standards. Mr. Debaun has submitted the TIA to staff, and once the review is complete, additional right-of-way may need to be dedicated depending on the anticipated flow of traffic. The finalizing of right-of-way dedication and TIA requirements to be addressed before the final platting.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with conditions:

- Approval of the Planned Development - 399 District amendment, reduce the Multi-Family Three and enlarge General Retail zoning along Davis Drive.
- The applicant shall address Transportation Department comments and finalize the TIA before submitting a development application for the final plat.





VICINITY MAP
NOT TO SCALE
GRAND PRAIRIE, TEXAS

GENERAL NOTES:

1. All bearings shown herein are Texas State Plane Coordinate System, NAD83 (2011), Texas North Central Zone (4202) and are relative to the City of Grand Prairie GPS Control System. All distances shown herein are surface distances.
2. According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48139C0025F, dated June 3, 2013. The property appears to be within Zone "X", defined as "Areas determined to be outside the 0.2% annual chance floodplain" zone and within Zone "A", defined as "No Based Flood Elevations Determined" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.

The subject property is located within the 1% annual chance (100-year floodplain) per FEMA FIRM Map #48139C0025F, in Ellis County, dated June 3, 2013.

The subject property is not located within the 100 year flood plain per FIRM Panel # 48139C0025F, dated June 3, 2013. Where applicable and prior to construction, submit certification by a professional that site does not have wetlands and other waters of the United States, an investigation showing that site development will not impact wetlands and other waters of the United States, or a permit for proposed activities in wetlands and other waters of the United States. Wetlands and other waters of the United States are as defined in Section 404 of the Clean Water Act. All delineations shall certify that they were conducted per U.S. Army Corps of Engineers' requirements. An agreement stipulating that the owner is responsible for maintenance of any wetland mitigation areas is required prior to construction.

The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".

3. All lot corners (Original Monumentation) shall be iron rods set and/or found (IRS and/or IRF) are 5/8-inch with a red plastic cap stamped "RPLS 4838".
4. Existing or future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat.
5. Ownership references shown hereon are based on the Ellis County Appraisal District's web page data (www.elliscad.org).
6. The property is currently Zoned Planned Development No. 399, Case No. Z200401. Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
7. SOURCE BENCHMARK: City of Grand Prairie Monument 68, being a top security rod monument with aluminum cap stamped "GPS 68" found in well with aluminum access cover located on the West side of FM Road 661, 6.6 feet off the edge of asphalt pavement, 168' +/- South of Lakeview Drive. Elevation = 539.85
8. Private streets and alleys must be constructed and maintained by the property owners association. Private streets must conform to the City's standards for Public Street and alley right-of-way. An easement covering the street lot shall be granted to the City providing unrestricted use of the property for utilities and storm drainage systems and the maintenance of the same. This right shall extend to all utility providers including telephone/cable companies, operating within the City. The easement shall also provide the City with the right of access for any purpose related to the exercise of a governmental service or function, including but not limited to fire and police protection, inspection and code enforcement. The easement shall permit the City to remove any vehicle or obstacle within the street lot that impedes emergency access. Variation to streets and right-of-way widths must be approved by the City Planning and Zoning Commission.
9. The purpose of this plat is to divide land for development.

Case SD# P201104

PRELIMINARY PLAT - for Inspection Purposes only

HERITAGE TOWNE

Being Tract 1 (10.883 acres), Tract 2 (19.617 acres) and Tract 3 (6.824 acres) out of the Joseph Lawrence Survey, Abstract Number 616 City of Grand Prairie, Ellis County, Texas

3 Retail Lots, 2 Multi-Family-3 Lots & 1 Open Space Lot
Preparation Date: September 2020
Revision Date: October 2020
SHEET 1 OF 5

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT, LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052
CONTACT: CHASE DEBAUN
PHONE: 972-263-6796
chase@aerofirmoffice.com

SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS:

That I, Michael Dan Davis, a Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual and accurate survey of the land and that the corner monuments shown hereon were or shall be properly placed under my personal supervision, in accordance with the plotting rules and regulations of the City of Grand Prairie, Dallas County, Texas.

PRELIMINARY,
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE AND SHALL NOT BE
USED OR VIEWED OR RELIED UPON AS A FINAL
SURVEY DOCUMENT

Michael Dan Davis DATE:
Registered Professional Land Surveyor No. 4838
BANNISTER ENGINEERING, LLC
T.B.P.L.S. REGISTRATION NO. 10193823

State of Texas §
County of Tarrant §

Before me, the undersigned authority, on this day personally appeared Michael Dan Davis, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2020.

Notary Public in and for the State of Texas

My Commission expires: _____



SHEET 2

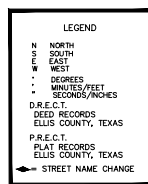
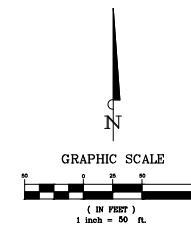
SHEET 3

SHEET 4

KEY MAP
SCALE: 1" = 150'

LEGEND	
N	NORTH
S	SOUTH
E	EAST
W	WEST
•	DEGREES
•	MINUTES/FEET
•	SECONDS/INCHES
D.R.E.C.T.	DEED RECORDS
	ELLIS COUNTY, TEXAS
P.R.E.C.T.	PLAT RECORDS
	ELLIS COUNTY, TEXAS
—	STREET NAME CHANGE

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBPLS REGISTRATION NO. 10193823 PROJECT NO.: 116-20-006



Case SD# P201104

PRELIMINARY PLAT - for Inspection Purposes only

HERITAGE TOWNE

Being Tract 1 (10.883 acres), Tract 2 (19.617 acres) and Tract 3 (6.824 acres) out of the Joseph Lawrence Survey, Abstract Number 616
City of Grand Prairie, Ellis County, Texas

3 Retail Lots, 2 Multi-Family-3 Lots & 1 Open Space Lot
Preparation Date: September 2020
Revision Date: October 2020
SHEET 2 OF 5

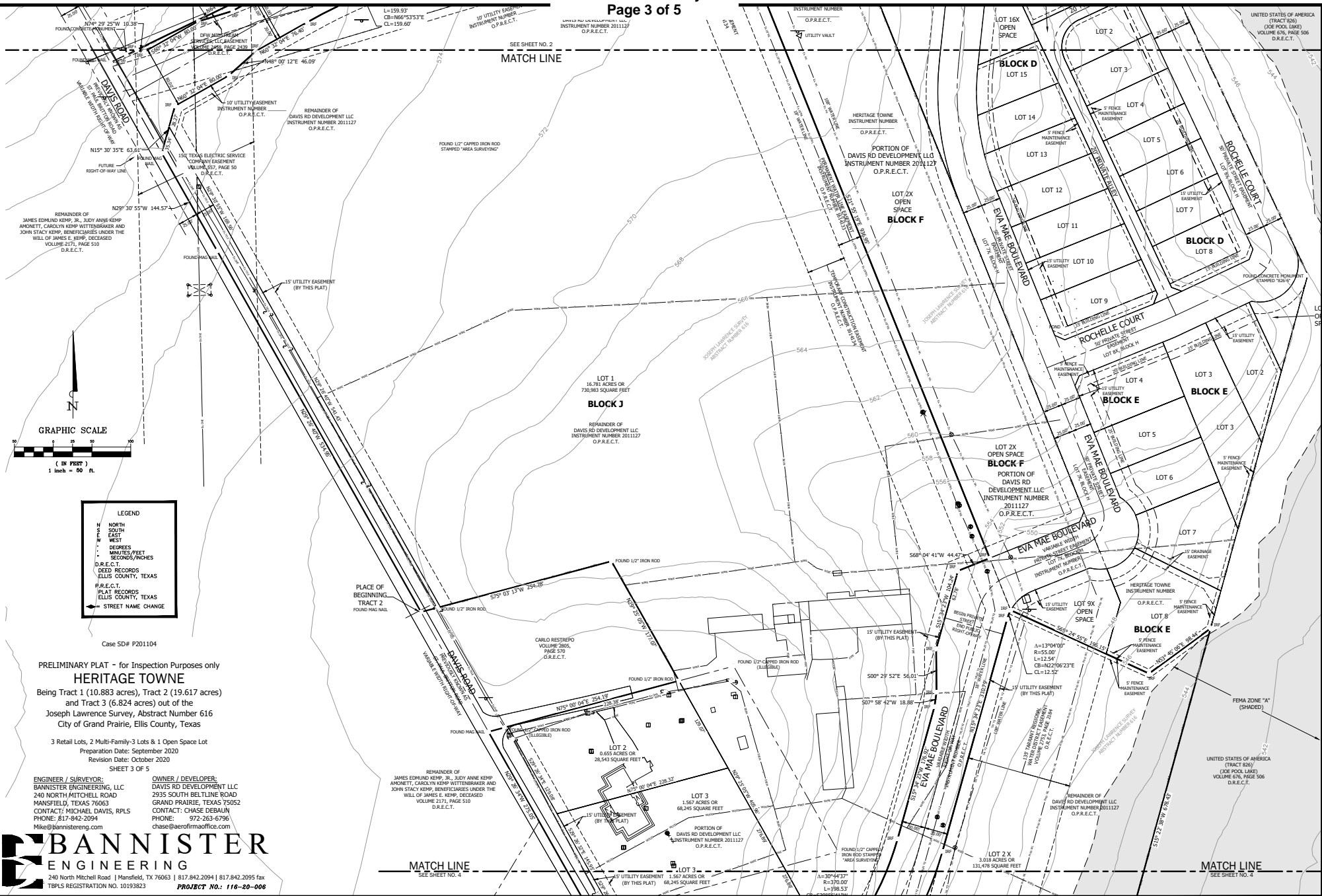
ENGINEER / SURVEYOR: BANNISTER ENGINEERING, LLC 240 NORTH MITCHELL ROAD MANSFIELD, TEXAS 76063 CONTACT: MICHAEL DAVIS, RPLS PHONE: 817-842-2094 Mike@bannistereng.com	OWNER / DEVELOPER: DAVIS RD DEVELOPMENT LLC 2935 SOUTH BELTLINE ROAD GRAND PRAIRIE, TEXAS 75052 CONTACT: CHASE DEBAUN PHONE: 972-263-6796 chase@aerofirmaffice.com
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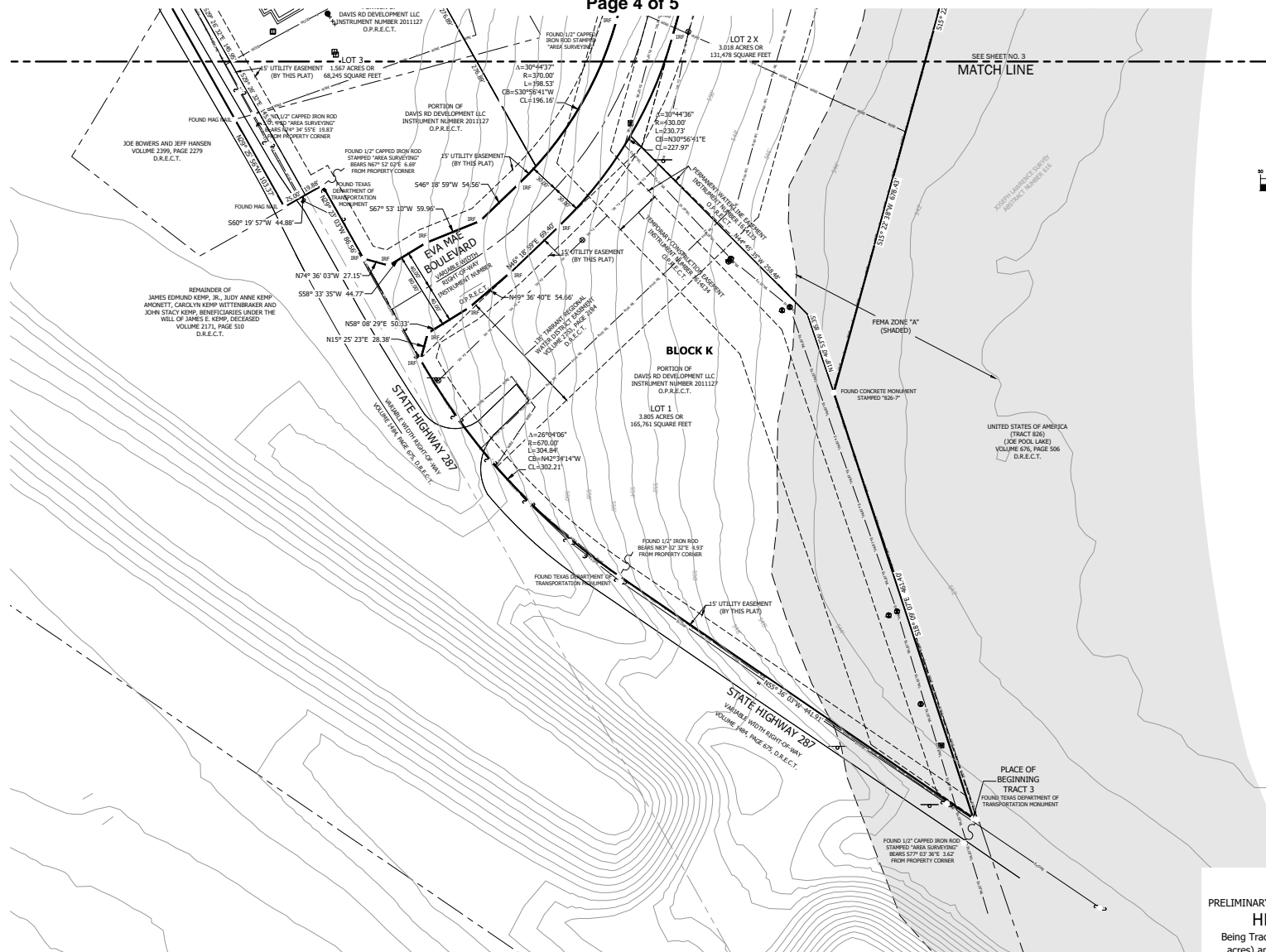
OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052
CONTACT: CHASE DEBAUN
PHONE: 972-263-6796
chase@aerofirmaoffice.com

BANNISTER
ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TSPHS REGISTRATION NO. 10193823 **PROJECT NO.: 116-20-006**

MATCHLINE
SEE SHEET NO. 3

MATCH LINE
SEE SHEET NO. 3





OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052
CONTACT: CHASE DEBAUN
PHONE: 972-263-6796
chase@aerofirmaoffice.com

LEGEND

N NORTH
S SOUTH
E EAST
W WEST
* DEGREES
* MINUTES/FEET
* SECONDS/INCHES

D.R.E.C.T.
DEED RECORDS
ELLIS COUNTY, TEXAS

P.R.E.C.T.
PLAT RECORDS
ELLIS COUNTY, TEXAS

◀== STREET NAME CHANGE



OWNER'S CERTIFICATE:

WHEREAS, **DAVIS RD DEVELOPMENT LLC** is the sole owner of that certain tract of land in the Joseph Lawrence Survey, Abstract Number 616, City of Grand Prairie, Ellis County, Texas:

TRACT 1

BEING 10.884 acres (474,090 square feet) of land being a portion of that certain tract of land described in a Warranty Deed to Davis Rd Development LLC (hereinafter referred to as Davis Rd Development tract), as recorded in Instrument Number 2011127, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.); said 10.884 acres (474,090 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a concrete monument found for the Northwestern corner of said Davis Rd Development tract, same being the Southeastly line of that certain tract of land described in a Special Warranty Deed to TEXDEVCO GP LLC (hereinafter referred to as TEXDEVCO GP tract), as recorded in Instrument Number 1900187, O.P.R.E.C.T., same also being the Northernly corner of that certain tract of land described in a Warranty Deed to William Telford and wife, Jay Telford (hereinafter referred to as Telford tract), as recorded in Volume 738, Page 371, Deed Records, Ellis County, Texas (D.R.E.C.T.);

THENCE North 64 degrees 23 minutes 15 seconds East with the common line between said Davis Rd Development tract and said TEXDEVCO GP tract, pass at a distance of 424.28 feet, the Southeastly corner of said TEXDEVCO GP tract, same being the Southeastly corner of that certain tract of land described in a deed to WM SUB 07, 19 (hereinafter referred to as WM SUB 07 tract), as recorded in Volume 2865, Page 57, D.R.E.C.T., and continuing with the common line between said Davis Rd Development tract and said WM SUB 07 tract for a total distance of 610.46 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Northernly Northwest corner of that certain tract of land described as Lot 1X (Open Space, Block G, Heritage Towne (hereinafter referred to as Lot 1X), an addition to the City of Grand Prairie, Ellis County, Texas, according to the plat recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE South 21 degrees 55 minutes 19 seconds East with the common line between said Davis Rd Development tract and said Lot 1X, a distance of 882.17 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner for the Southeastly corner of said Lot 1X, same being in the existing Northernly right-of-way line of Heritage Towne Boulevard (variable width right-of-way), as recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE with the common line between the remainder of said Davis Rd Development tract and the existing Northernly right-of-way line of said Heritage Towne Boulevard for the following 8 courses:

1. North 88 degrees 48 minutes 33 seconds West for a distance of 11.59 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

2. South 73 degrees 15 minutes 41 seconds West, a distance of 75.77 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

3. South 51 degrees 37 minutes 46 seconds West, a distance of 48.83 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

4. South 73 degrees 15 minutes 41 seconds West, a distance of 261.89 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner for the beginning of a curve to the left, whose long chord bears South 66 degrees 53 minutes 53 seconds West, a distance of 172.90 feet;

5. Southeastly with said curve to the left having a radius of 780.00 feet, through a central angle of 12 degrees 43 minutes 37 seconds, for an arc distance of 173.26 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

6. South 60 degrees 32 minutes 04 seconds West, a distance of 76.45 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

7. South 73 degrees 03 minutes 39 seconds West, a distance of 86.11 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

8. South 60 degrees 32 minutes 04 seconds West, a distance of 80.00 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

9. North 74 degrees 29 minutes 25 seconds West, a distance of 10.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner in the Southeastly line of the aforesaid Telford tract;

THENCE North 64 degrees 05 minutes 22 seconds East with the common line between said Davis Rd Development tract and said Telford tract, a distance of 275.21 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Southeastly corner of said Telford tract;

THENCE North 29 degrees 26 minutes 50 seconds West with the common line between said Davis Rd Development tract and said Telford tract, a distance of 823.38 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 10.884 acres (474,090 square feet) of land.

TRACT 2

BEING 19.67 acres (854,532 square feet) of land being a portion of that certain tract of land described in a Warranty Deed to Davis Rd Development LLC (hereinafter referred to as Davis Rd Development tract), as recorded in Instrument Number 2011127, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.); said 19.67 acres (854,532 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a mag nail found for the Northwestern corner of that certain tract of land described in a General Warranty Deed to Carlo Restrepo (hereinafter referred to as Restrepo tract), as recorded in Volume 2865, Page 570, Deed Records, Ellis County, Texas (D.R.E.C.T.), same being in Davis Road, previously known as E. Paul Britton Road (variable width right-of-way), same also being the Northwesternly line of that certain tract of land described in a deed to James Edmund Kemp, Jr., Judy Anne Kemp Annette, Carolyn Kemp Wittelsberger and JohnRay Kemp, beneficiaries under the Will James E. Kemp, deceased (hereinafter referred to as James E. Kemp tract), as recorded in Volume 2171, Page 510, D.R.E.C.T.;

THENCE North 29 degrees 26 minutes 40 seconds West with the common line between said Davis Rd Development tract and said James E. Kemp tract and with said Davis Road, a distance of 534.95 feet to a mag nail found for corner;

THENCE North 29 degrees 30 minutes 55 seconds West, continue with the common line between said Davis Rd Development tract and said James E. Kemp tract and with said Davis Road, a distance of 144.57 feet to a mag nail found for corner, same being the intersection of the existing Southeastly right-of-way line of Heritage Towne Boulevard (variable width right-of-way), as recorded in Instrument Number _____, O.P.R.E.C.T., with said Davis Road;

THENCE with the common line between the remainder of said Davis Rd Development tract and the existing Southeastly right-of-way line of Heritage Towne Boulevard for the following 6 courses:

1. North 15 degrees 30 minutes 35 seconds East, departing said Davis Road, a distance of 63.61 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

2. North 60 degrees 32 minutes 04 seconds East, a distance of 80.00 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

3. North 48 degrees 00 minutes 12 seconds East, a distance of 46.09 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

4. North 60 degrees 32 minutes 04 seconds East, a distance of 76.40 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the beginning of a curve to the right, whose long chord bears North 66 degrees 53 minutes 53 seconds East, a distance of 159.80 feet;

5. Northeastly with said curve to the right having a radius of 720.00 feet, through a central angle of 12 degrees 43 minutes 37 seconds, for an arc distance of 159.93 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

6. North 73 degrees 15 minutes 41 seconds East, a distance of 490.83 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Northwesternly corner of that certain tract of land described as Lot 2X (Open Space, Block F, Heritage Towne (hereinafter referred to as Lot 2X), an addition to the City of Grand Prairie, Ellis County, Texas, according to the plat recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE South 21 degrees 55 minutes 19 seconds East, departing the existing Southeastly right-of-way line of Heritage Towne Boulevard and with the common line between the remainder of said Davis Rd Development tract and said Lot 2X, a distance of 936.39 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner in the existing Northernly right-of-way line of Eva Mae Boulevard (variable width right-of-way), as recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE with the common line between the remainder of said Davis Rd Development tract and the existing Northernly right-of-way line of said Eva Mae Boulevard for the following 11 courses:

1. South 68 degrees 04 minutes 14 seconds West, a distance of 44.47 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

2. South 15 degrees 34 minutes 23 seconds West, a distance of 62.78 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

3. South 15 degrees 34 minutes 23 seconds West, a distance of 41.46 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

4. South 00 degrees 29 minutes 52 seconds East, a distance of 56.01 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

5. South 07 degrees 58 minutes 42 seconds West, a distance of 18.88 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

6. South 15 degrees 34 minutes 23 seconds West, a distance of 176.92 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the beginning of a curve to the right, whose long chord bears South 30 degrees 56 minutes 41 seconds West, a distance of 196.36 feet;

7. Southeastly with said curve to the right having a radius of 370.00 feet, through a central angle of 30 degrees 44 minutes 37 seconds, for an arc distance of 193.50 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

8. South 46 degrees 18 minutes 59 seconds West, a distance of 54.56 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

9. South 67 degrees 53 minutes 10 seconds West, a distance of 59.96 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

10. South 58 degrees 33 minutes 35 seconds West, a distance of 44.77 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

11. North 74 degrees 36 minutes 03 seconds West, a distance of 27.15 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner in the Southeastly line of said Davis Rd Development tract, same also being existing Northeastly right-of-way line of State Highway 287 (variable width right-of-way), as recorded in Volume 1484, Page 676, D.R.E.C.T.;

THENCE North 29 degrees 23 minutes 03 seconds West with the common line between said Davis Rd Development tract and the existing Northeastly right-of-way line of said State Highway 287, a distance of 86.56 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

THENCE South 60 degrees 19 minutes 57 seconds West, continue with the common line between said Davis Rd Development tract and the existing Northeastly right-of-way line of said State Highway 287, a distance of 44.88 feet to a mag nail found in the aforesaid Davis Road, same also being the Northeastly line of that certain tract of land described in a General Warranty Deed to Joe Bowers and Jeff Hansen (hereinafter referred to as Bowers tract), as recorded in Volume 2399, Page 2279, D.R.E.C.T.;

THENCE North 29 degrees 23 minutes 56 seconds West, departing the existing Northeastly right-of-way line of said State Highway 287 and with the common line between said Davis Rd Development tract and said Bowers tract, a distance of 103.37 feet to a mag nail found for corner;

THENCE North 29 degrees 26 minutes 34 seconds West, continue with the common line between said Davis Rd Development tract and said Bowers tract, pass at a distance of 142.26 feet, the Northeastly corner of said Bowers tract, same being an angle point in the Northeastly line of the aforesaid James E. Kemp tract, and continue with said course, the common line between said Davis Rd Development tract and said James E. Kemp tract and with said Davis Road, a distance of 270.05 feet to a mag nail found for corner, same being an angle point in the Westernly line of said Davis Rd Development tract, same also being the Southeastly corner of the aforesaid Restrepo tract;

THENCE North 75 degrees 03 minutes 04 seconds East, departing the Northeastly line of said James E. Kemp tract, departing said Davis Road and with the common line between said Davis Rd Development tract and said Restrepo tract, a distance of 254.19 feet to a one-half inch iron rod found for corner for the Southeastly corner of said Restrepo tract;

THENCE North 29 degrees 25 minutes 05 seconds West, continue with the common line between said Davis Rd Development tract and said Restrepo tract, a distance of 177.07 feet to a one-half inch iron rod found for corner;

THENCE South 75 degrees 03 minutes 13 seconds West, continue with the common line between said Davis Rd Development tract and said Restrepo tract, a distance of 254.28 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 19.617 acres (854,532 square feet) of land.

TRACT 3

BEING 6.824 acres (297,239 square feet) of land being a portion of that certain tract of land described in a Warranty Deed to Davis Rd Development LLC (hereinafter referred to as Davis Rd Development tract), as recorded in Instrument Number 2011127, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.); said 6.824 acres (297,239 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a Texas Department of Transportation monument found for the Southernly corner of said Davis Rd Development tract, same being the Southeastly corner of that certain tract of land described in a General Warranty Deed to the United States of America (hereinafter referred to as Tract 838), as recorded in Volume 676, Page 506, D.R.E.C.T., same also being the existing Northeastly right-of-way line of State Highway 287 (variable width right-of-way), as recorded in Volume 1484, Page 676, D.R.E.C.T.;

THENCE North 55 degrees 36 minutes 03 seconds West with the common line between said Davis Rd Development tract and the existing Northeastly right-of-way line of said State Highway 287, a distance of 445.93 feet to a Texas Department of Transportation monument found for the beginning of a curve to the right, whose long chord bears North 42 degrees 34 minutes 14 seconds West, a distance of 302.21 feet;

THENCE Northeastly, continue with the common line between said Davis Rd Development tract and the existing Northeastly right-of-way line of said State Highway 287 and said curve to the right having a radius of 670.00 feet, through a central angle of 26 degrees 04 minutes 08 seconds, for an arc distance of 204.84 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the intersection of the existing Northeastly right-of-way line of said State Highway 287 and the existing Northernly right-of-way line of Eva Mae Boulevard (variable width right-of-way), as recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE with the common line between the remainder of said Davis Rd Development tract and the existing Northernly right-of-way line of said Eva Mae Boulevard for the following 7 courses:

1. North 15 degrees 25 minutes 23 seconds East, departing the existing Northeastly right-of-way line of said State Highway 287, a distance of 28.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

2. North 58 degrees 08 minutes 29 seconds East, a distance of 50.33 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

3. North 49 degrees 36 minutes 40 seconds East, a distance of 54.66 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

4. North 46 degrees 18 minutes 59 seconds East, a distance of 69.40 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the beginning of a curve to the left, whose long chord bears North 30 degrees 56 minutes 41 seconds East, a distance of 227.97 feet;

5. Northeastly with said curve to the left having a radius of 430.00 feet, through a central angle of 30 degrees 44 minutes 36 seconds, for an arc distance of 230.74 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

6. North 15 degrees 34 minutes 23 seconds West, a distance of 130.79 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the beginning of a curve to the right, whose long chord bears North 22 degrees 08 minutes 23 seconds East, a distance of 12.32 feet;

7. Northernly with said curve to the right having a radius of 55.00 feet, through a central angle of 13 degrees 04 minutes 00 seconds, for an arc distance of 12.54 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Westernly corner of that certain tract of land described as Lot 9X, Block E of the aforesaid Heritage Towne (hereinafter referred to as Lot 9X);

THENCE South 65 degrees 24 minutes 55 seconds East, departing the existing Northernly right-of-way line of said Eva Mae Boulevard, with the common line between the remainder of said Davis Rd Development tract and said Lot 9X, pass at a distance of 125.25 feet, the Southeastly corner of said Lot 9X, same being the Southeastly corner of that certain tract of land described as Lot 8, Block E of said Heritage Towne (hereinafter referred to as Lot 8), continue with said course and the common line between the remainder of said Davis Rd Development tract and said Lot 8, a distance of 158.15 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

THENCE North 53 degrees 45 minutes 06 seconds East, continue with said course and the common line between the remainder of said Davis Rd Development tract and said Lot 8, a distance of 98.44 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Southeastly corner of said Lot 8, same being the Easternly line of said Davis Rd Development tract, same also being the Westernly line of the aforesaid Tract 826;

THENCE South 15 degrees 22 minutes 38 seconds West with the common line between said Davis Rd Development tract and said Tract 826, a distance of 478.43 feet to a concrete monument stamped "326-7" found for corner;

THENCE South 18 degrees 09 minutes 07 seconds East, continue with the common line between said Davis Rd Development tract and said Tract 826, a distance of 461.40 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 6.824 acres (297,239 square feet) of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT **DAVIS RD DEVELOPMENT LLC** does hereby adopt this plat designating the herein-above described property as **HERITAGE TOWNE**, an addition to the City of Grand Prairie, Texas and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water management areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes as indicated. The utility, access, GPS monuments and fire lane easements shall be open to the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire lane easements is the responsibility of the property owner. No building or other improvements, including fences, shall be permitted in an erosion hazard easement. No building or other improvements or growth, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction or maintenance of the easements shown on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purposes of constructing, reconstructing, inspecting, painting, maintaining and adding to or removing all or parts of the respective systems not necessary at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all planning ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

Witness, my hand this ____ day of _____, 2020.

DAVIS RD DEVELOPMENT LLC

By: _____

State of Texas §

County of _____ §

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2020.

Notary Public in and for the State of Texas

My Commission expires: _____

Case SD# P201104

PRELIMINARY PLAT - for Inspection Purposes only

HERITAGE TOWNE

Being Tract 1 (10.883 acres), Tract 2 (19.617 acres) and Tract 3 (6.824 acres) out of the

Joseph Lawrence Survey, Abstract Number 616

City of Grand Prairie, Ellis County, Texas

3 Retail Lots, 2 Multi-Family-3 Lots & 1 Open Space Lot

Preparation Date: September 2020

Revision Date: October 2020

SHEET 5 OF 5

ENGINEER / SURVEYOR:

BANNISTER ENGINEERING, LLC

240 NORTH MITCHELL ROAD

MANSHFIELD, TEXAS 76063

CONTACT: MICHAEL DAVIS, RPLS

PHONE: 817-842-2094

mike@bannistereng.com

OWNER / DEVELOPER:

DAVIS RD DEVELOPMENT LLC

2935 SOUTH BELTLINE ROAD

GRAND PRAIRIE, TEXAS 75052

CONTACT: CHASE DEBAIN

PHONE: 972-263-6796

chase@aerofmaffice.com



240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax

TBPLS REGISTRATION NO. 10193823

PROJECT NO.: 118-20-008



Legislation Details (With Text)

File #:	20-10562	Version:	1	Name:	P200901 - Slink Addition, Lots 1-7, Block 1
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	P200901 - Preliminary Plat - Slink Addition, Lots 1-7, Block 1 (City Council District 2). Preliminary Plat creating seven lots on 54.692 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

P200901 - Preliminary Plat - Slink Addition, Lots 1-7, Block 1 (City Council District 2). Preliminary Plat creating seven lots on 54.692 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Preliminary Plat creating seven lots on 54.692 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to create seven lots on 54.67 acres to facilitate development of multi-family, retail/restaurant, and single-family townhome uses in the SH-161 Corridor. The Site Plan for Phase 1 of

this development is under concurrent review (S200901). Revisions to the Preliminary Plat may be required depending on approval of the related site plan.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-143	Gas Well, Undeveloped
South	PD-382; PD-294	Undeveloped
West	PD-231C; PD-367	Single Family Residential Use; Hybrid
East	PD-294; PD-294D	IKEA, Retail, Restaurant Uses; Undeve

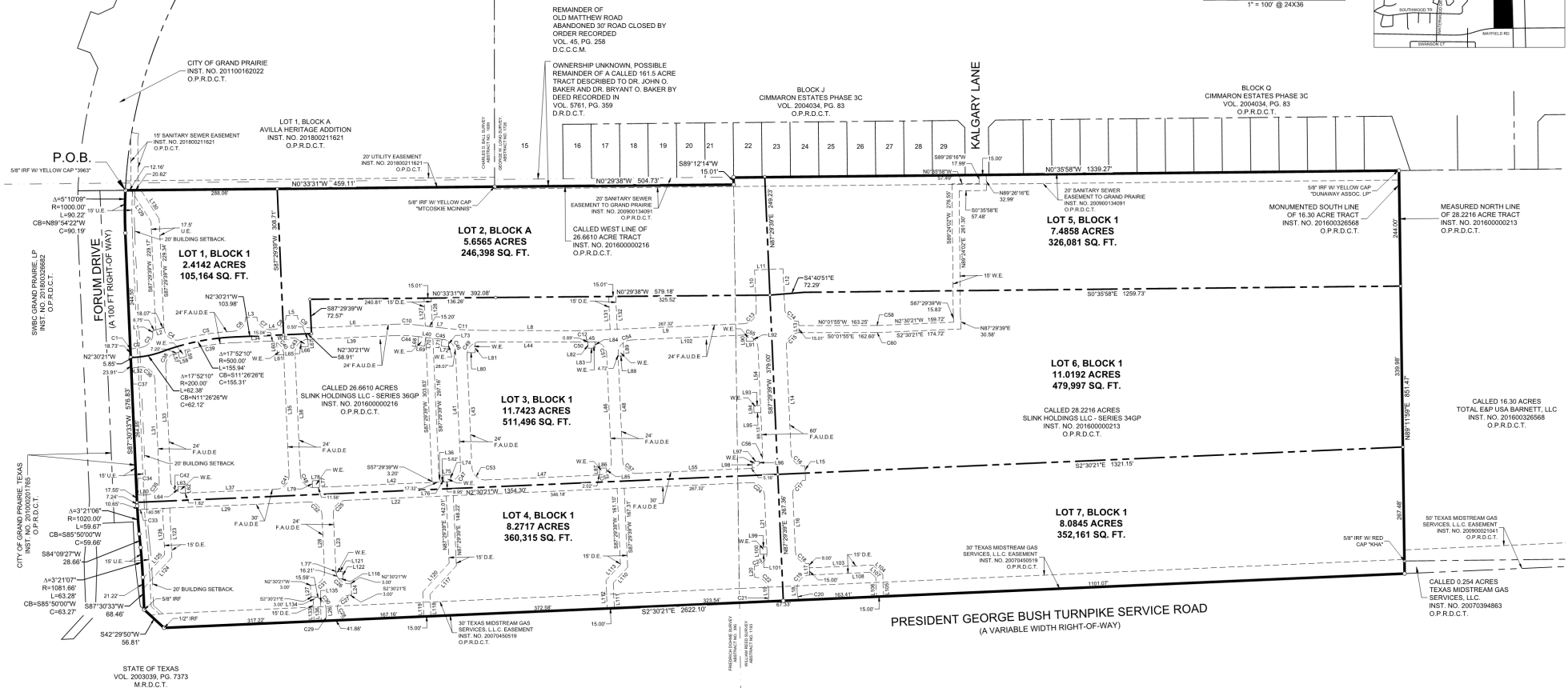
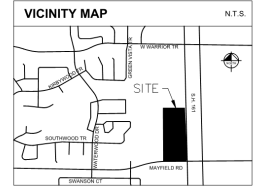
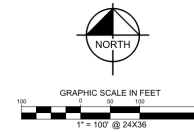
PLAT FEATURES:

The plat depicts the necessary utility and access easements and meets the applicable dimensional standards.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with the condition that the plat adheres to the standards set forth in the UDC.

Exhibit B - Preliminary Plat
Page 1 of 2



LEGEND

P.O.B. = POINT OF BEGINNING
VOL. = VOLUME
PG. = PAGE
SQ. FT. = SQUARE FEET
INST. NO. = INSTRUMENT NUMBER
C.M. = CONTROLLING MONUMENT
X* = "X" CUT IN CONCRETE FOUND
IRFC = IRON ROD WITH CAP FOUND
IRF = IRON ROD FOUND
IRSC = IRON ROD STAMPED "XHA" SET
IPF = IRON PIPE FOUND
D.R.D.C.T. = DEED RECORDS OF DALLAS COUNTY, TEXAS
O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS
F.A.U.D.E. = FIRE LANE, ACCESS, UTILITY AND DRAINAGE EASEMENT
W.E. = WATER EASEMENT
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT

NOTES:

- Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983 (2011).
- According to Community Panel No.48130435M, dated March 21, 2019 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Dallas County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is in "Zone X" and not in a flood hazard area. If the site is not within an identified special flood hazard area, the flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
- The purpose of this plat is to plat two existing tracts of land into 7 lots and dedicate new easements as shown.
- All easements are dedicated by this Plat unless otherwise stated.
- All corners are marked by a 5/8" iron rod with plastic cap stamped "XHA" unless otherwise stated.

OWNER/APPLICANT:
SLINK HOLDINGS LLC SERIES 34 GP &
SLINK HOLDINGS LLC SERIES 36 GP
1650 S. CHERRY LN
FORT WORTH, TX 76108
CONTACT: SUNNY
PHONE: 465-569-7446

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE
TOWER, SUITE 700 DALLAS, TEXAS 75240
PHONE: 972-770-1300
CONTACT: JONATHAN KERBY, P.E.

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE
TOWER, SUITE 700 DALLAS, TEXAS 75240
PHONE: 972-770-1300
CONTACT: ANDY DOBBS, R.P.L.S.

**PRELIMINARY PLAT
SLINK ADDITION
LOTS 1-7, BLOCK 1
54.6742 ACRES**

**WILLIAM REED SURVEY, ABSTRACT NO. 1193 &
FREDERICK DOHME SURVEY, ABSTRACT NO. 395**

**CITY OF GRAND PRAIRIE,
DALLAS COUNTY, TEXAS
CASE NO. P200901**

Kimley»Horn

13455 Noel Road, Two Galleria Office
Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 259-3520

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MRW/MGB	JAD	SEPT. 2020	061305001	1 OF 2

FWWD NAME: KCM SURVEY: M123001 WAL TERRA NVC FORM: AND 161 GRAND PRairie: CHAYKAL TERRA NVC FORM: AND 161 GRAND PRairie PR DWG: PLOTTED BY: BLANKENSHIP MATTHEW M11/2016 12:11 AM LAST SAVED M11/2016 10:31 AM



Legislation Details (With Text)

File #:	20-10563	Version:	1	Name:	S201101 - Hamilton Bardin Village Phase 1
Type:	Agenda Item	Status:		Status:	Items for Individual Consideration
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	S201101 - Site Plan - Hamilton Bardin Village Phase 1 (City Council District 4). Site Plan for Phase 1 of Hamilton Bardin Village, which includes 405 multi-family units in five buildings with a five-story parking garage on 9.647 acres, a 43,874 sq. ft. movie theater on 5.147 acres, and open space on .93 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Site Plan.pdf](#)
[Exhibit C - Landscape Plan.pdf](#)
[Exhibit D - Building Elevations.pdf](#)
[Exhibit E - Amenity Checklists.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

S201101 - Site Plan - Hamilton Bardin Village Phase 1 (City Council District 4). Site Plan for Phase 1 of Hamilton Bardin Village, which includes 405 multi-family units in five buildings with a five-story parking garage on 9.647 acres, a 43,874 sq. ft. movie theater on 5.147 acres, and open space on .93 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Site Plan for a phased mixed-use development of multi-family, retail, restaurant, and a theater on 16.551 acres.

Sheffield Village Phase IV, Block 3, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the I-20 and SH-360 Corridor Overlay District, generally located south of I-20 on the east side of Bardin Rd, and addressed as 3025 W IH-20.

PURPOSE OF REQUEST:

The applicant intends to construct Phase One of a mixed-use development for multi-family, retail, restaurant, and a theater on 16.551 acres. Site Plan approval by City Council is required for development within a Corridor Overlay District or any project involving multi-family use. Development at this location requires City Council approval of a Site Plan because the property is within the I-20 and SH-360 Corridor Overlay Districts and intended for multi-family use.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-37A; PD-327	Light Industrial, Commercial, Retail
South	PD-140	Medical Offices, Multi-Family
	PD-140B	Undeveloped
West	City Limits	City Limits
East	PD-140	Concorde Career College; Church

PROPOSED USE CHARACTERISTICS AND FUNCTION:

This 21.80-acre, horizontal mixed-use development is anchored by Alamo Drafthouse, a 43,874 sq. ft. movie theater. Phase One of the project includes the theater, 405 multi-family units, and a common open space amenity. The multi-family development includes five residential buildings, one of which wraps around three sides of a five-level structure parking garage.

The three use components - multi-family, retail/restaurant, and theater - are physically and functionally organized around the Grand Lawn. Buildings frame the space to create a consistent edge and screen surface parking from the open space.

The development will be accessible from Bardin Rd and the I-20 frontage road. The primary internal drives will be constructed with Phase One and include on-street parallel parking spaces. PD-395 requires the developer to participate in the cost of signaling the intersection of Bardin Rd and SH-360. The applicant will continue to coordinate with the Transportation Department on the timing of intersection improvements.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The subject property is zoned PD-395 with a base zoning of Multi-Family Three (MF-3) and General Retail (GR). The following tables evaluate the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

Table 2: Site Data Summary for Commercial Uses (Lot 2)

Standard	Required	Provided	Meets
Min. Lot Area Sq. Ft.	5,000	224,250	Yes
Min. Lot Width (Ft.)	50	394.3	Yes
Min. Lot Depth (Ft.)	100	579.42	Yes
Front Setback (Ft.)	25	25	Yes
Rear Setback (Ft.)	0	0	Yes
Max. Height (Ft.)	60	57.83	Yes

Table 3: Site Data Summary for Multi-Family (Lot 1)

Standard	Required	Provided	Meets
Min. Lot Area Sq. Ft.	12,000	420,216	Yes
Min. Lot Width (Ft.)	100	1,226.25	Yes
Min. Lot Depth (Ft.)	120	344	Yes
Front Setback (Ft.)	30	25	No
Rear Setback (Ft.)	45	39	No
Max. Height (Ft.)	66	56.3	Yes
Max. Density (DUA)	42	42	Yes
Max. One Bedroom (%)	60	60	Yes

Parking

Both lots provide the required number of parking spaces for their associated use. The multi-family portion of the development includes a five-level structured parking garage and some tuck-under garages. Garage spaces account for more than 50% of the required parking spaces, meeting the requirements for PD-395.

Landscape and Screening

The property is subject to landscape and screening requirements in Appendix F and Appendix W of the UDC. The proposal meets or exceeds the landscape and screening requirements.

Exterior Building Materials

The multi-family exterior finish materials include brick, stucco, wood slat, and fiber cement siding. The proposed elevations meet the recommended design and building materials in Appendix W. The theater exterior materials include patterned tilt wall concrete panels, painted tilt wall concrete panels, and architectural metal panels. The north facade includes a painted mural that accounts for 17% of the area of the facade. Any mural outside of the Central Area (CA) zoning district requires City Council approval.

Project Amenities

Both the multi-family and theater must provide amenities. Appendix W requires multi-family developments to provide amenities from three categories:

- environmentally friendly features
- high-quality features or designs
- technology

Appendix F requires commercial developments to provide amenities from four categories:

- usable open space and pedestrian linkages

- site design and building orientation
- building design
- healthy, smart, and sustainable community

The tables below summarize the amenities included in the project. Both the multi-family and theater meet the requirements.

Table 5: Appendix W Amenities

Category	Tier	Amenity
Environmentally Friendly Features	1	Reservation of existing natural resour
Environmentally Friendly Features	1	Electric car charge station
Environmentally Friendly Features	1	High efficiency windows
Environmentally Friendly Features	2	Efficient roofing material
Environmentally Friendly Features	2	Recycled or locally sourced materia
Environmentally Friendly Features	2	Recycling Program
Environmentally Friendly Features	2	Walking/jogging trails
Environmentally Friendly Features	3	Additional insulation
Environmentally Friendly Features	3	LED or Low-Wattage Lighting
Environmentally Friendly Features	3	Bicycle Parking
Environmentally Friendly Features	3	Native plantings
Environmentally Friendly Features	3	Outdoor Recreation Spaces with Co
Environmentally Friendly Features	3	Single dog park (included in Area C
High-Quality Features or Designs	1	Granite Countertops in Kitchens and
High-Quality Features or Designs	1	Upgraded Flooring
High-Quality Features or Designs	1	10-foot ceilings
High-Quality Features or Designs	1	Upgraded Cabinetry
High-Quality Features or Designs	2	Upgraded Light Fixtures
High-Quality Features or Designs	2	Walk-in Closets
High-Quality Features or Designs	2	Upgraded Bathroom and Kitchen H
High-Quality Features or Designs	2	Full-Size Stainless-Steel Major App
High-Quality Features or Designs	2	8-foot doors leading to each room o
Technology	N/A	Wi-Fi Internet Access in Common /

Table 6: Appendix F Amenities

Menu Item	Category
Enhanced Usable Open Space	Usable Open Space & Pedestrian Linkages
Ceremonial Drive	Site Design & Building Orientation
Park Once Environment	Site Design & Building Orientation
Color Contrast	Building Design
Specialty Accent	Building Design
Articulated Public Entrance	Building Design
Roof Profile Variation	Building Design
Articulation Elements	Building Design
70% Native Plants	Healthy, Smart & Sustainable Community

Ride Sharing Drop-Off	Healthy, Smart & Sustainable Community
Pollinator Friendly Flowers	Healthy, Smart & Sustainable Community
Curbless Pedestrian Focused Streets	Alternative Compliance

VARIANCES:

1. Exterior Color - the west building elevation includes a red metal panel that accounts for 17% of the facade, which exceeds the 10% allowed in Appendix F.
2. Required Windows - the proposal does not meet the 30% window requirement for the north facade or the window requirement for the whole building.
3. Setbacks - the articulation bump-outs on the multi-family buildings encroach the setback by five feet along the south and west property lines. Multi-family buildings are setback 40 feet from the internal lot line to the north. The UDC requires a rear yard setback of at least 45 feet.
4. Landscape Buffer - Appendix F requires a 30 ft. landscape buffer along streets. The landscape buffer along the I-20 frontage road is 25 ft.
5. Parking Lot Design - Appendix F requires concrete pedestrian paths between rows of parking spaces and tree islands every 10 parking spaces. The proposal does not include concrete pedestrian paths and the number of parking spaces between tree islands exceeds 10 spaces.

ANALYSIS:

Staff does not object to the variances to the building design of the theater. Although the use of a primary color exceeds what is allowed, it seems proportional to the size and scale building. The proposed use is a movie theater - it isn't feasible to provide the required windows. The change in materials, building articulation, and mural create visual interest and help reduce the perceived scale of the buildings. Staff believes that the design meets the intent of Appendix F.

The site design and mix of uses create a unique development. The requested variances contribute to the overall development by allowing buildings to be placed so that they frame the internal streets and aggregating open space into a single usable open space.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Exhibit B - Site Plan
Page 1 of 1

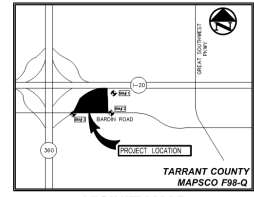
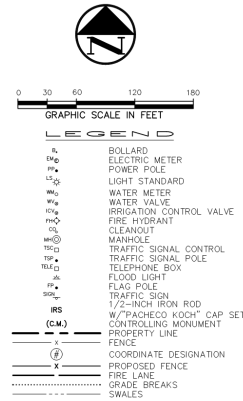
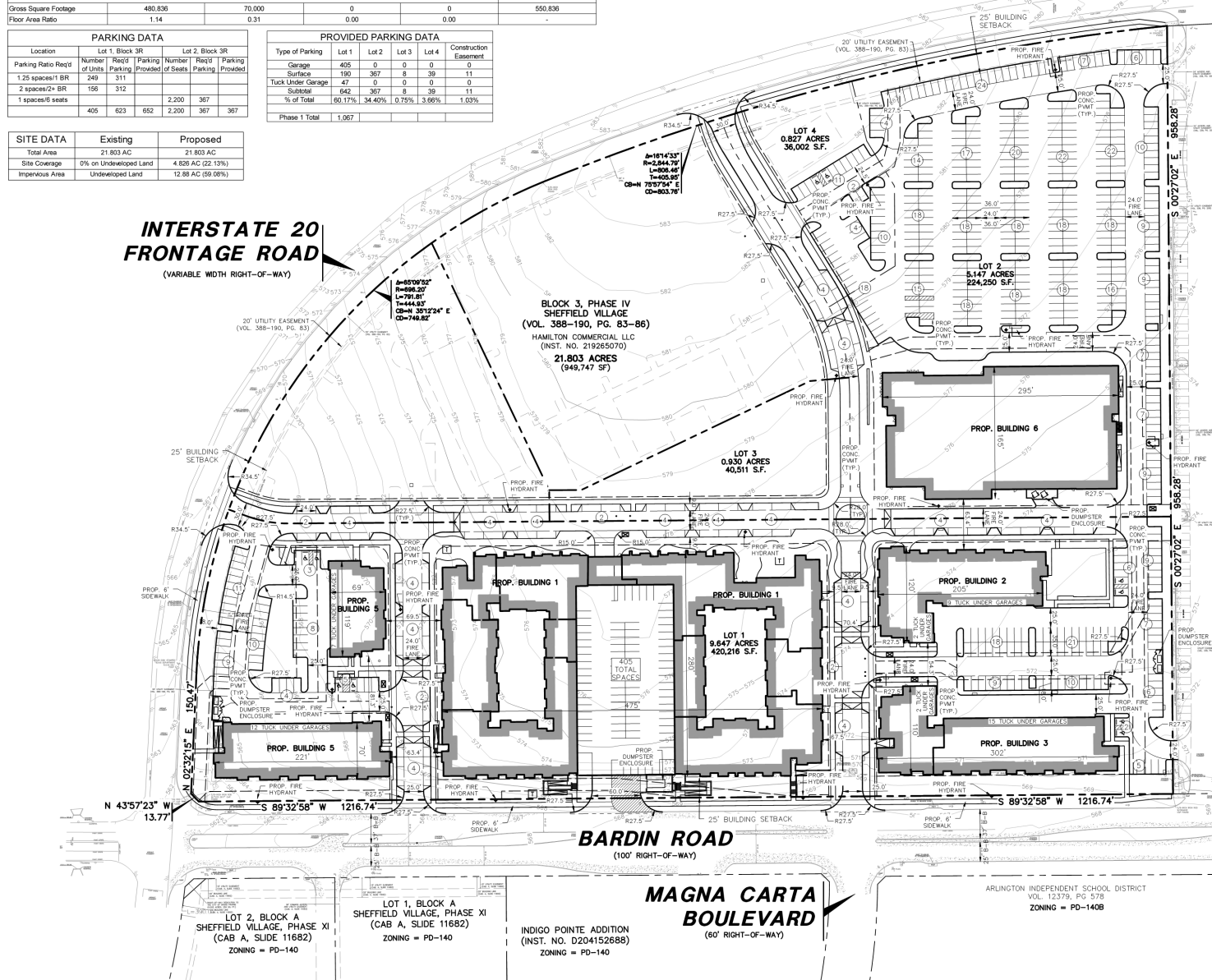
LOT DATA					
Location	Lot 1, Block 3R	Lot 2, Block 3R	Lot 3, Block 3R	Lot 4, Block 3R	PHASE 1 TOTAL
Zoning	Planned Development District No. 395				
Overlay	Corridor Overlay District				
Use	Multi-family	Theater	Open Space	Restaurant	Mixed-Use
Site Area	9,647 AC. (420,216 S.F.)	5,147 AC. (224,250 S.F.)	0,930 AC. (40,511 S.F.)	0,827 AC. (36,002 S.F.)	16,551 AC. (720,979 S.F.)
Total Building Footprint	186,745 S.F.	43,874 S.F.	0 S.F.	0 S.F.	230,619 S.F.
Open Space S.F.	-	-	40,511 S.F.	-	40,511 S.F.
Gross Square Footage	480,836	70,000	0	0	550,836
Floor Area Ratio	1.14	0.31	0.00	0.00	

PARKING DATA					
Location	Lot 1, Block 3R	Lot 2, Block 3R	Lot 3, Block 3R	Lot 4, Block 3R	PHASE 1 TOTAL
Parking Ratio Req'd	Number of Units	Number of Units	Number of Units	Number of Units	Number of Units
1.25 spaces/1 BR	249	311	3	3	556
2 spaces/2+ BR	156	312	2,200	367	3,025
1 space/0 seats	405	623	652	2,200	3,880

SITE DATA		
Existing	Proposed	
Total Area	21,803 AC.	21,803 AC.
Site Coverage	0% on Undeveloped Land	4.826 AC (22.13%)
Impervious Area	Undeveloped Land	12.88 AC (59.08%)

PROVIDED PARKING DATA					
Type of Parking	Lot 1	Lot 2	Lot 3	Lot 4	Construction Easement
Garage	405	0	0	0	0
Surface	150	357	0	39	11
Tuck Under Garage	47	0	0	0	0
Subtotal	642	357	0	39	11
% of Total	50.17%	34.40%	0.75%	3.66%	1.03%
Phase 1 Total	1,067				

BUILDING SCHEDULE					
Building ID	Number of Units	Building SF	Gross SF	Number of Floors	Height
1	265	74,840	297,520	4	54'
2	39	16,067	48,201	3	47'
3	50	22,556	67,668	3	50'
4	17	7,559	22,677	3	47'
5	34	14,790	44,370	3	50'



BLOCK 3, PHASE IV
SHEPHERD VILLAGE
(VOL. 388-190, PG. 83-86)
CWW WEST WIND APARTMENTS LLC
(DOC. NO. 217153984)
ZONING = PD-140

OWNER
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY
SUITE 550
ARLINGTON, TX 76010
P: 972-663-9775
E: hamilton@hamiltoncommercialtx.com

ENGINEER
TATE BRAUN
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD
SUITE 1400
DALLAS, TX 75231
P: 972-235-3031
E: tbraun@pkce.com

PRELIMINARY
NOT FOR CONSTRUCTION
THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES. PLANS PREPARED UNDER THE DIRECT SUPERVISION OF TATE B. BRAUN, P.E. TEXAS REGISTRATION NO. 131167 DATE 09/11/2020

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)
THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND THEREFORE REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

					</		

S201101

PK-4363-19.365 SITEPLAN.DWG

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19.365 SITEPLAN.DWG

Planting Schedule

Trees							
QTY	KEY	UNIT	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPACING
10	BCY	EA	Bald Cypress	Taxodium distichum	3" cal.	14'-16'	8'-10'
50	CEB	EA	Cedar Elm	Ulmus crassifolia	3" cal.	14'-16'	8'-10'
24	ELM	EA	Lacebark Elm	Ulmus parvifolia	3" cal.	14'-16'	8'-10'
21	LOK	EA	Live Oak	Quercus virginiana	3" cal.	14'-16'	8'-10'
24	OAK	EA	Chinkapin Oak	Quercus muhlenbergii	3" cal.	14'-16'	8'-10'
21	RED	EA	Texas Red Oak	Quercus texana	3" cal.	14'-16'	8'-10'
Shrubs & Perennials (Utilize Native/Drought Tolerant Plants)							
253	TKS	EA	Texas Sage	Myrica pauciflora	#5 cont.	22"-26"	18"-22"
337	DWM	EA	Dwarf Wax Myrtle	Leucophyllum frutescens	#5 cont.	22"-26"	18"-22"
Flowering or Colorful Plants							
337	GAL	EA	Flowering or Colorful Plants				

PLANTING LOCATION NOTES

TREES CAN BE ADJUSTED OR REMOVED BEYOND LOCATIONS SHOWN ON THIS PLAN IN THE EVENT EXISTING OR PROPOSED UTILITIES OF ANY KIND, TRANSFORMERS, OR GRADE ISSUES CAUSE SUCH LOCATIONS TO BE DETRIMENTAL TO THE TREES LONG TERM GROWTH AND WELFARE.

LEGEND

- PROPERTY LINE
- EASEMENTS
- TYPE 2 FENCE
- TYPE 3 FENCE
- LANDSCAPE AREA
2 OR MORE TYPES OF PLANTING
MAXIMUM 40% GROUND COVER
- LAWN
- 3" BALD CYPRESS
- 3" CEDAR ELM
- 3" CHINKAPIN OAK
- 3" LACEBARK ELM
- 3" LIVE OAK
- 3" TEXAS RED OAK
- 5 GAL EVERGREEN PARKING
SCREENING SHRUBS
(DWARF WAX MYRTLE, TEXAS SAGE)

LANDSCAPE AREA NOTES

EXCAVATE AS NEEDED TO PROVIDE 12" OF PLANTING MIX AND 3" OF HARDWOOD MULCH; 2 OR MORE TYPES OF PLANTING. PLANT (10) #5 CONTAINER SHRUBS; (10) #3 CONTAINER SHRUBS PER 100 SQ.FT. AND MAXIMUM OF 40% GROUND COVER, PROVIDE AUTOMATIC IRRIGATION SYSTEM.

SOIL NOTES

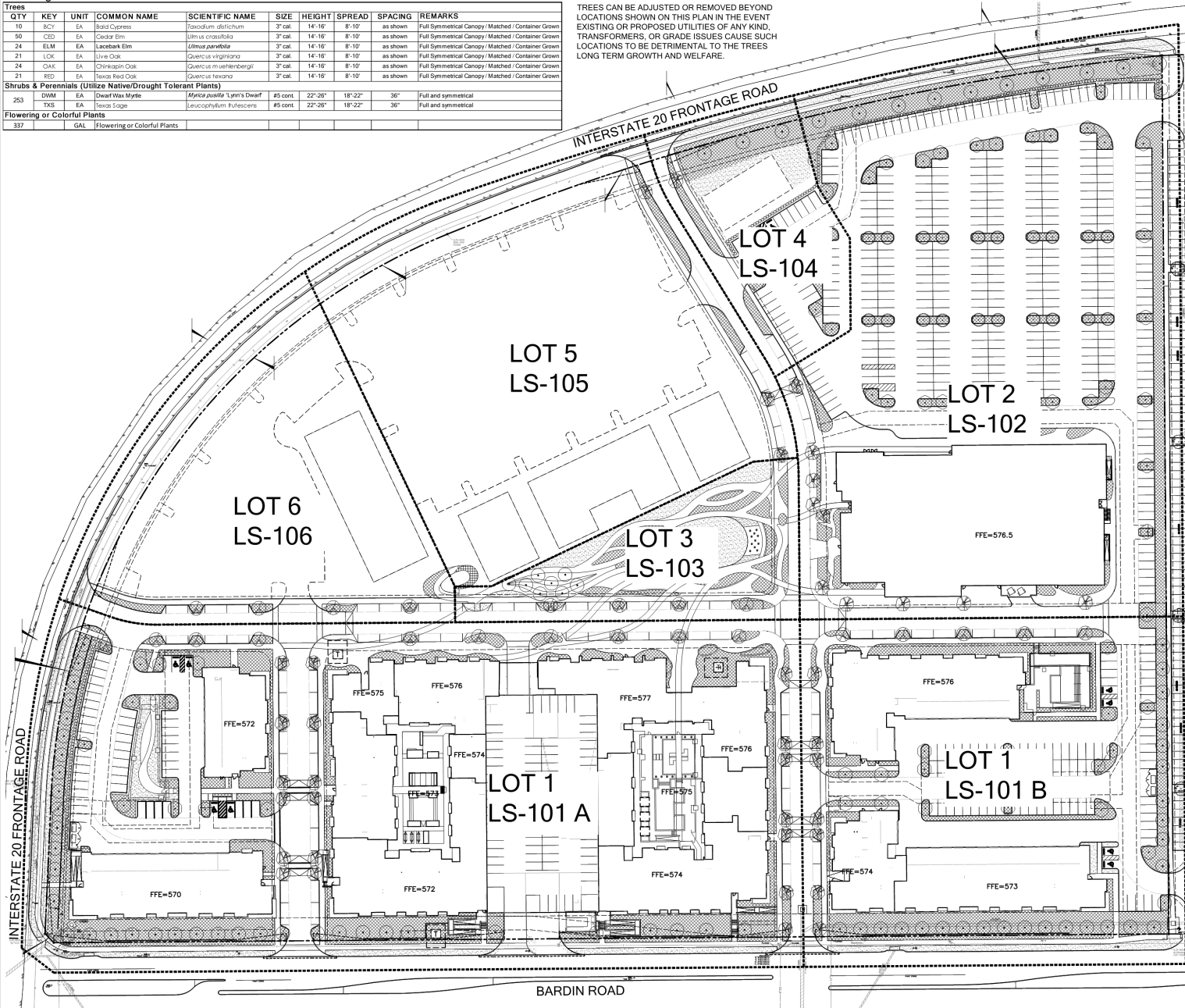
EACH LARGE TREE WILL BE INSTALLED WITH A MINIMUM SOIL DEPTH OF 36 INCHES
EACH LARGE SHRUB OR SMALL TREE WILL BE INSTALLED WITH A MINIMUM DEPTH OF 30 INCHES

TREE MITIGATION NOTES

ALL EXISTING SITE TREES OVER 6" CALIPER INCHES TO BE MITIGATED IN ACCORDANCE WITH GRAND PRAIRIE TREE MITIGATION REQUIREMENTS.

IRRIGATION NOTES

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- ALL IRRIGATION AND RELATED EQUIPMENT INCLUDING (BUT NOT LIMITED TO) PIPING, VALVES, CONTROLLERS, BACKFLOW PREVENTER(S), THRUST BLOCKS, CONTROL WIRE, VALVE BOXES, SPRINKLER HEADS, RISERS, ETC. TO BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS
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- IRRIGATION MUST FOLLOW ALL TCEQ 30 TAC 344 REGULATIONS



Scale: 1" = 50'-0"

CASE NUMBER: S201101

LANDSCAPE

Dallas | Fort Worth | Austin

gff

BARDIN VILLAGE

PHASE 1 UPDATED

GRAND PRAIRIE, TEXAS 75052

SITE PLAN SUBMISSION

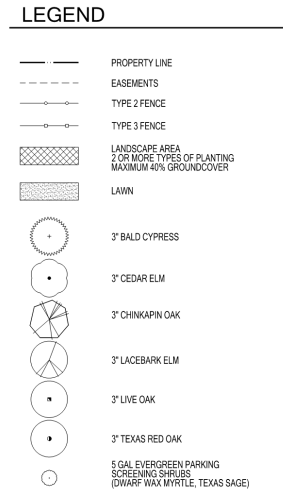
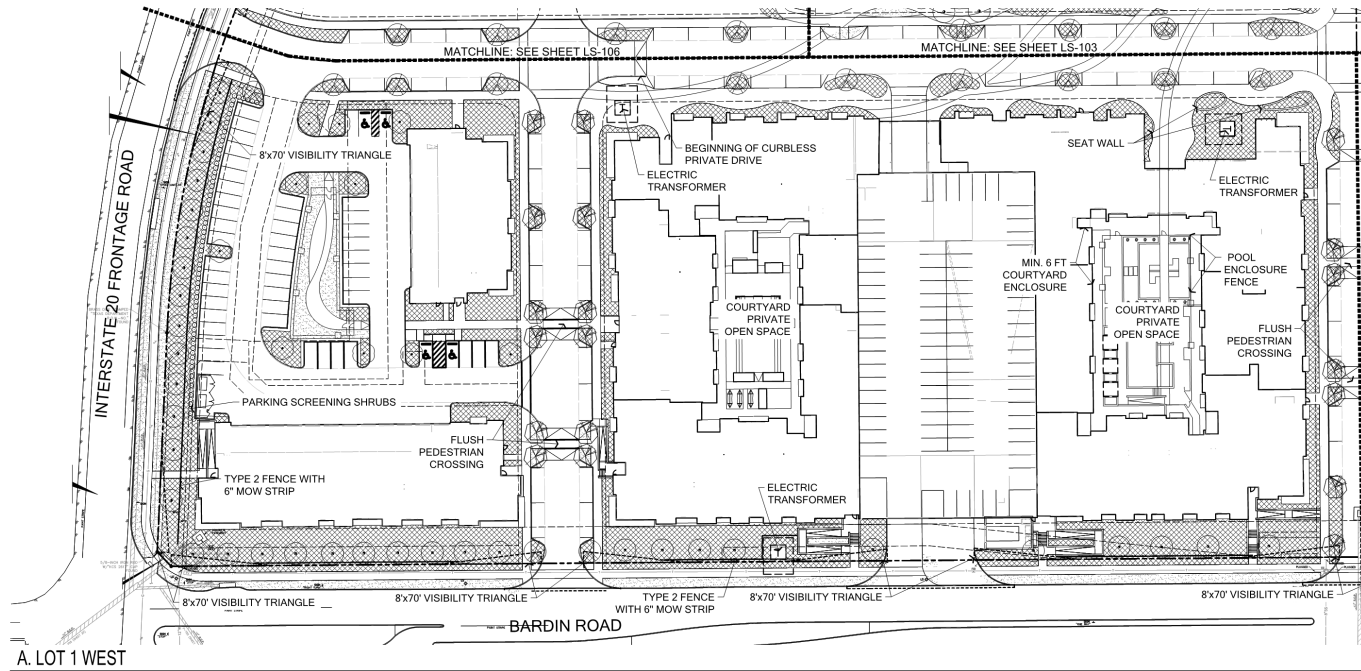
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ALEX J. MARTIN
TEXAS LIC NO. 3420

OVERALL SUBMITTAL PLAN

Project No. 20089.00
Date 10.23.2020

LS-100



LANDSCAPE AREA NOTES

EXCAVATE AS NEEDED TO PROVIDE 12" OF PLANTING MIX AND 3" OF HARDWOOD MULCH; 2 OR MORE TYPES OF PLANTING, PLANT (10) #5 CONTAINER SHRUBS; (10) #3 CONTAINER SHRUBS PER 100 SQ.FT. AND MAXIMUM OF 40% GROUND COVER, PROVIDE AUTOMATIC IRRIGATION SYSTEM.

SOIL NOTES

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MINIMUM SOIL DEPTH OF 36 INCHES

EACH LARGE SHRUB OR SMALL TREE WILL BE
INSTALLED WITH A MINIMUM DEPTH OF 30 INCHES

TREE MITIGATION NOTES

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GRAND PRAIRIE TREE MITIGATION REQUIREMENTS.

PLANTING LOCATIONS NOTES

TREES CAN BE ADJUSTED OR REMOVED BEYOND LOCATIONS SHOWN ON THIS PLAN IN THE EVENT EXISTING OR PROPOSED UTILITIES OF ANY KIND, TRANSFORMERS, OR GRADE ISSUES CAUSE SUCH LOCATIONS TO BE DETRIMENTAL TO THE TREES LONG TERM GROWTH AND WELFARE.

APPENDIX W ELECTED MENU ITEMS

CATEGORY 1

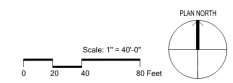
- RESERVATION OF EXISTING NATURAL AREAS
- ELECTRIC CAR CHARGING STATION
- HIGH EFFICIENCY WINDOWS
- ROOFING MATERIAL WITH MIN. SOLAR REFLECTANCE OF 0.70
- SIGNIFICANT USE OF RECYCLED OR LOCALLY-SOURCED MATERIALS
- QUALIFIED RECYCLING PROGRAM
- WALKING/JOGGING TRAILS
- ADDITIONAL INSULATION
- LED OR LOW-WATTAGE LIGHTING
- BICYCLE PARKING
- OUTDOOR RECREATION SPACES
- SINGLE DOG PARK PROVIDED IN AREA C

CATEGORY 2

- GRANITE COUNTERTOPS
- UPGRADED FLOORING
- MINIMUM 10 FOOT CEILINGS
- UPGRADED CABINETY
- UPGRADED LIGHT FIXTURES
- WALK-IN CLOSETS
- UPGRADED BATHROOM AND KITCHEN HARDWARE
- FULL-SIZE S.S. STEEL MAJOR APPLIANCES
- 8FT DOORS

CATEGORY 3

- WI-FI INTERNET ACCESS FOR COMMON AMENITIES

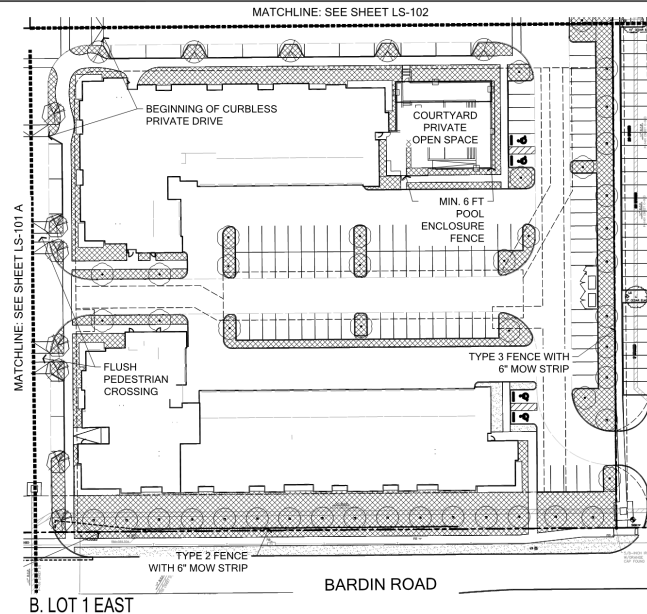
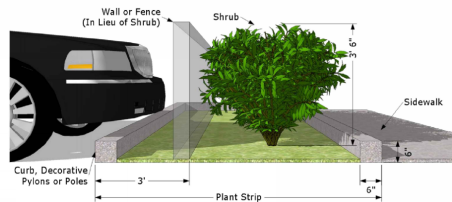


CASE NUMBER: S201101

LANDSCAPE ORDINANCE CALCULATIONS

Landscape Ordinance Calculations			
Grand Prairie, Texas		LOT 1	
Landscape and Screening - Article 8		420,216	Total Site Area (SF)
	Required	Provided	
15% Landscape Area Required	63,031	49,373	Landscape Site Area (SF)
Required Site Trees (1 Tree Per 500 SF)	126	134	One 3" Tree Required per 500 SF
Required Parking Trees (1 Tree Per 20 Parking Spaces)	-	200	Parking Spaces Provided (Excluding Garage)
	10	24	One Tree per 20 Parking Spaces
No Parking Shall Be Located Greater than 100' From The Center of a Tree		Yes	
Required Shrubs (1 Shrub Per 50 SF)	1,260	1,387	One 5 Gal Shrub per 50 SF of Required LSA

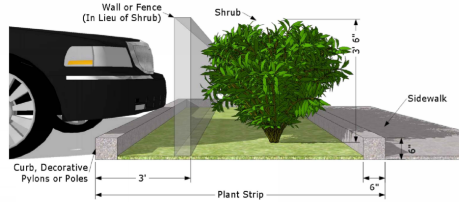
SCREENING DETAIL - NTS



IRRIGATION NOTES

- **IRRIGATION INSTALLATION TO BE DESIGN/BUILT BY THE CONTRACTOR / SUBCONTRACTOR**
- **ALL LAWN SURFACES TO BE FULLY IRRIGATED WITH 100% HEAD TO HEAD COVERAGE. NO ROTATOR SPRAY HEADS ARE TO BE USED**
- **ALL TREES TO BE IRRIGATED WITH MIN. (2) BUBBLES**
- **ALL PLANTER BEDS TO BE IRRIGATED VIA DRIP IRRIGATION.**
- **SLEEVES TO BE PROVIDED AS NEEDED TO AVOID PERFORATING ANY LINES TO ANY PLANTED MEDIAN, DRIVE OR OTHER LOSS TO AREAS SEPARATED BY PAVEMENT PRIOR TO PAVEMENT LAYDOWN.**
- **NO IRRIGATION SPRAY IS TO BE DIRECTED ONTO WALKWAYS OR OTHER PAVEMENT.**
- **ALL IRRIGATION LINES SHALL BE LEAK-TESTED PRIOR TO BURIAL.**
- **SPRINKLER HEADS TO BE INSTALLED ONLY AFTER A USER'S HEAD HAS BEEN COMPLETELY FLUSHED.**
- **ALL IRRIGATION AND RELATED EQUIPMENT INCLUDING BUT NOT LIMITED TO: PIRING, VALVES, CONTROLLERS, BACKFLOW PREVENTERS, THERMOCOILS, ZONE CONTROL WIRE, VALVE BOXES, SPRINKLER HEADS, RISERS, ETC. TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.**
- **AS-BUILT DRAWINGS FOR ALL IRRIGATION PLUMBING AND EQUIPMENT SHALL BE ACCORDING TO MAIN PLUMBING SPECIFICATIONS AND PROVIDED TO OWNER AT THE TIME OF FINAL ACCEPTANCE.**
- **IRRIGATION MUST FOLLOW ALL TCEQ 30 TAG 344 REGULATIONS.**

SCREENING DETAIL - NTS

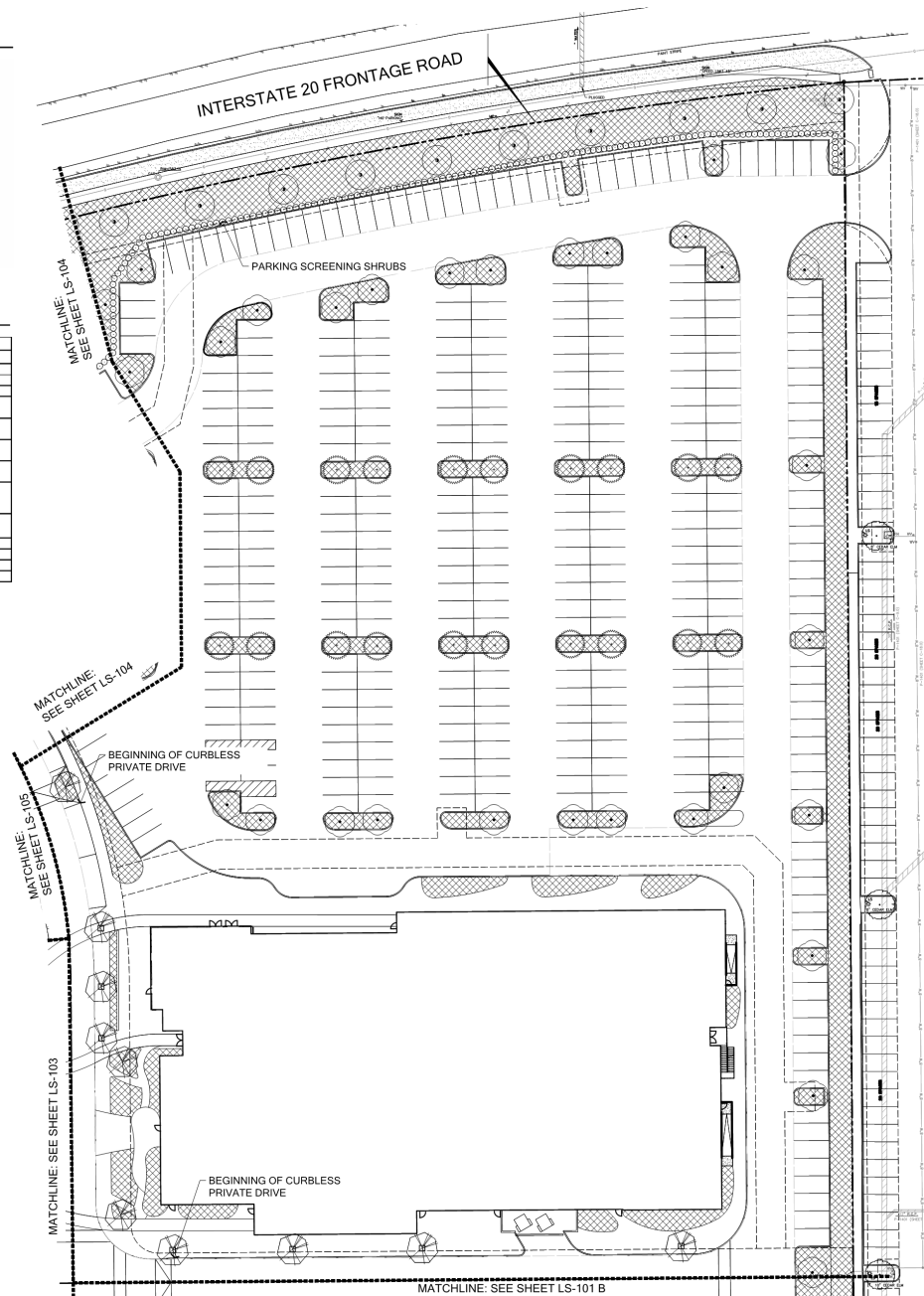


LANDSCAPE ORDINANCE CALCULATIONS

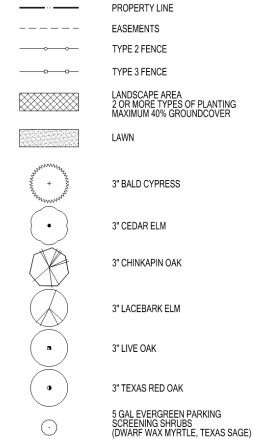
Landscape Ordinance Calculations		LOT 2	
Grand Prairie, Texas			
Landscape and Screening - Article 8	224,250	Total Site Area (SF)	
	Required	Provided	
10% Required Landscape Area	22,425	29,337	Landscape Site Area (SF)
75% Required Landscape Area in Front Yard	16,819	25,789	Landscape Site Area (SF)
Required Site Trees (1 Tree Per 500 SF)	82	70	One 3" Tree Required per 500 SF
Required Parking Trees (1 Tree Per 20 Parking Spaces)	-	370	Parking Spaces Provided
	19	52	One Tree per 20 Parking Spaces
No Parking Shall Be Located Greater than 100' From the Center of a Tree		Yes	
Required Shrubs (1 Shrub Per 50 SF)	449	567	One 5' Gal Shrub per 50 SF of Required LSA
Required Flowering or Colorful Plants	337	337	Container Gallons of Plant Material

IRRIGATION NOTES

- IRRIGATION INSTALLATION TO BE DESIGN/BUILD BY THE CONTRACTOR / SUBCONTRACTOR
- ALL LAWN SURFACES TO BE FULLY IRRIGATED WITH 100% HEAD TO HEAD COVERAGE. NO ROTOR SPRAY HEADS ARE TO BE USED
- ALL TREES TO BE IRRIGATED WITH MIN. (2) BUBBLERS.
- ALL PLANTER BEDS TO BE IRRIGATED VIA DRIP IRRIGATION
- SLEEVES TO BE PROVIDED AS NEEDED TO CONNECT IRRIGATION LINES TO ANY PLANTED MEDIAN OR OTHER LANDSCAPE AREAS SEPARATE FROM DRIVEWAYS PRIOR TO PAVEMENT INSTALLATION
- NO IRRIGATION SPRAY IS TO BE DIRECTED ONTO WALKWAYS OR OTHER PAVEMENT.
- ALL IRRIGATION LINES SHALL BE LEAK-TESTED PRIOR TO BURIAL.
- SPRINKLER HEADS TO BE INSTALLED ONLY AFTER SYSTEM HAS BEEN COMPLETELY FLUSHED.
- ALL IRRIGATION AND RELATED EQUIPMENT INCLUDING (BUT NOT LIMITED TO) PIPING, VALVES, MANIFOLDS, BACKFLOW PREVENTERS), THRUST BLOCKS, CONTROL WIRING, ETC. SHALL BE INSTALLED ON RISERS, ETC. TO BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- AS-BUILT DRAWINGS FOR ALL IRRIGATION PLUMBING SHALL BE PROVIDED AND BE ACCURATELY MAINTAINED DURING INSTALLATION AND PROVIDED TO OWNER AT TIME OF FINAL ACCEPTANCE
- IRRIGATION MUST FOLLOW ALL TCEQ 30 TAC 344 REGULATIONS.



LEGEND



LANDSCAPE AREA NOTES

EXCAVATE AS NEEDED TO PROVIDE 12" OF PLANTING MIX AND 3" OF HARDWOOD MULCH; 2 OR MORE TYPES OF PLANTING CONTAINING A MIN. OF 70% NATIVE AND DROUGHT TOLERANT SPECIES, MIN. 20% POLLINATOR FRIENDLY FLOWERS, PLANT (10) #5 CONTAINER SHRUBS; (10) #3 CONTAINER SHRUBS PER 100 SQ.FT. AND MAXIMUM OF 40% GROUND COVER, PROVIDE AUTOMATIC IRRIGATION SYSTEM.

SOIL NOTES

EACH LARGE TREE WILL BE INSTALLED WITH A
MINIMUM SOIL DEPTH OF 36 INCHES

EACH LARGE SHRUB OR SMALL TREE WILL BE
INSTALLED WITH A MINIMUM DEPTH OF 30 INCHES

TREE MITIGATION NOTES

ALL EXISTING SITE TREES OVER 6" CALIPER
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GRAND PRAIRIE TREE MITIGATION REQUIREMENTS.

PLANTING LOCATIONS NOTES

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APPENDIX F ELECTED MENU ITEMS

- ### USABLE OPEN SPACE & PEDESTRIAN LINKAGES
- ENHANCED USABLE OPEN SPACE

SITE DESIGN & BUILDING ORIENTATION

- CEREMONIAL DRIVE
- PARK ONCE ENVIRONMENT

BUILDING DESIGN

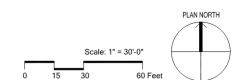
- COLOR CONTRAST
- SPECIALTY ACCENT
- ARTICULATED PUBLIC ENTRANCE
- ROOF PROFILE VARIATION
- ARTICULATION ELEMENTS

HEALTHY, SMART, AND SUSTAINABLE COMMUNITY

- 70% NATIVE PLANTS
- RIDE-SHARING DROP-OFF
- POLLINATOR FRIENDLY FLOWERS

ALTERNATIVE COMPLIANCE

- CURBLESS PEDESTRIAN FOCUSED STREETS



CASE NUMBER: S201101

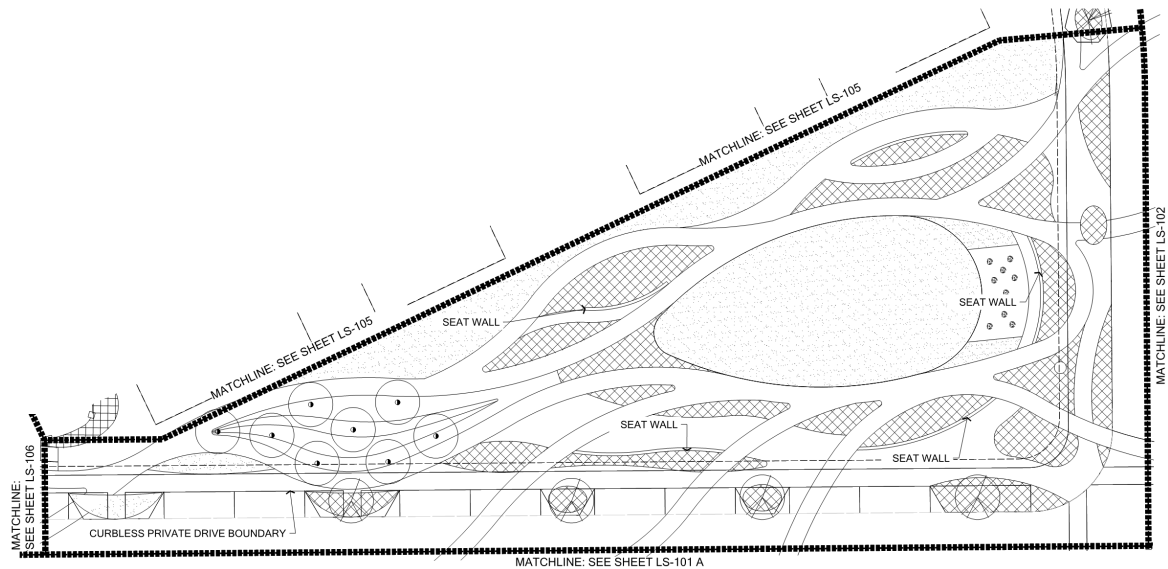
No.	Date
	Revision

AES, CLM
Drawn

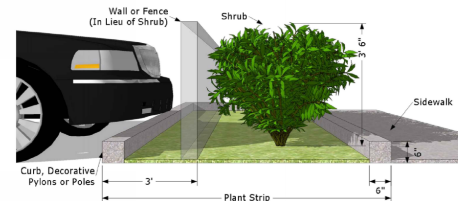
AJM
Approved

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ALEX J. MARTIN
TEXAS LIC NO: 3420



SCREENING DETAIL - NTS
















LANDSCAPE ORDINANCE CALCULATIONS

Landscape Ordinance Calculations				
Grand Prairie, Texas			LOT 3	
Landscape and Screening - Article 8				
	40,511	Total Site Area (SF)		
15% Required Landscape Area	Required 6,077	Provided 6,168	Landscape Site Area (SF)	
Required Site Trees (1 Tree Per 500 SF)	12	12	One 3" Tree Required per 500 SF	
Required Parking Trees (1 Tree Per 20 Parking Spaces)	—	8	Parking Spaces Provided	
	1	4	One Tree per 20 Parking Spaces	
No Parking Shall Be Located Greater than 100' From The Center of a Tree				
Required Shrubs (1 Shrub Per 50 SF)	122	124	One 5 Gal Shrub per 50 SF of Required LSA	

IRRIGATION NOTES

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- ALL PLANTER BEDS TO BE IRRIGATED VIA DRIP IRRIGATION.
- SLEEVES TO BE PROVIDED AS NEEDED TO CROSS EXISTING UTILITY LINES TO ANY PLANTED MEDIAN OR OTHER PLANTING AREAS. SLEEVES SEPARATED BY PAVEMENT PRIOR TO PLANTING.
- NO IRRIGATION SPRAY IS TO BE DIRECTED ONTO WALKWAYS OR OTHER PAVEMENT.
- ALL IRRIGATION LINES SHALL BE LEAK-TESTED PRIOR TO BURIAL.
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LEGEND

- | | |
|---|---|
|  | PROPERTY LINE |
|  | EASEMENTS |
|  | TYPE 2 FENCE |
|  | TYPE 3 FENCE |
|  | LANDSCAPE AREA
2 OR MORE TYPES OF PLANTING
MAXIMUM 40% GROUND COVER |
|  | LAWN |
|  | 3" BALD CYPRESS |
|  | 3" CEDAR ELM |
|  | 3" CHINKAPIN OAK |
|  | 3" LACEBARK ELM |
|  | 3" LIVE OAK |
|  | 3" TEXAS RED OAK |
|  | 5 GAL EVERGREEN PARKING
SCREENING SHRUBS
(DWARF WAX MYRTLE, TEXAS SAGE) |

LANDSCAPE AREA NOTES

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**BARDIN VILLAGE
PHASE 1 UPDATED
GRAND PRAIRIE, TEXAS 75052**

SITE PLAN SUBMISSION

[illegible]

AES, CLM
Drawn

AJM
Approved

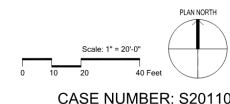
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ALEX J. MARTIN
TEXAS LIC NO: 3420

LOT 3
SUBMITTAL PLAN

Project No.	20089.00
Date	10.23.2020

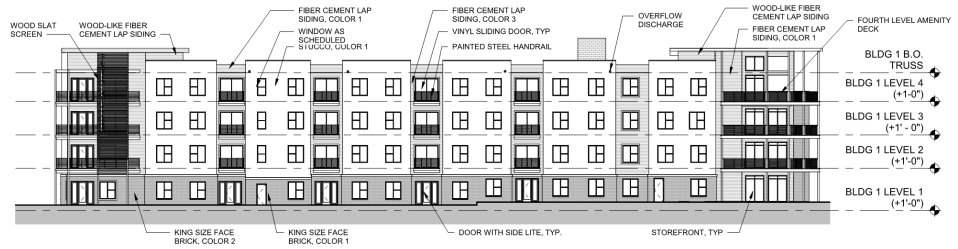
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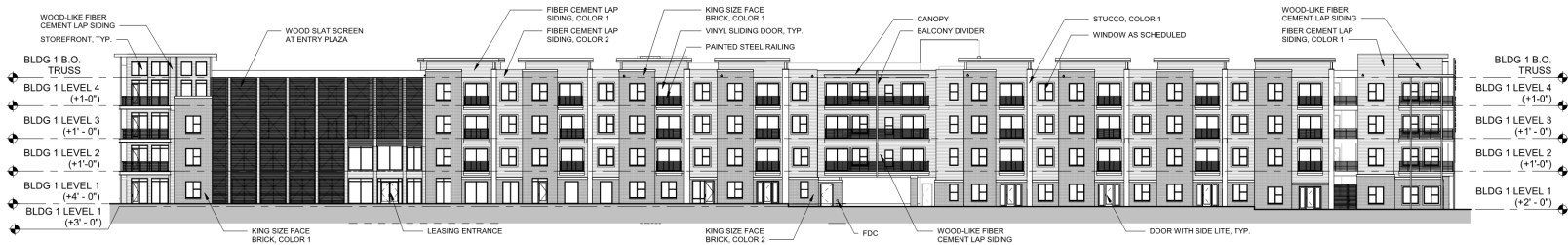
CASE NUMBER: S201101

Building 1 East Elevation	Percentage	Area (SF)
Brick Color 1	13.1%	1138
Brick Color 2	4.7%	408
Stucco Color 1	51.8%	4515
Fiber Cement Siding Color 1	7.1%	621
Fiber Cement Siding Color 3	9.5%	826
Fiber Cement Siding Wood-Look	13.8%	1203
Total	100.0%	8711

Building 1 North Elevation	Percentage	Area (SF)
Brick Color 1	30.8%	4547
Brick Color 2	6.0%	888
Stucco Color 1	5.0%	744
Fiber Cement Siding Color 1	18.2%	2695
Fiber Cement Siding Color 2	13.4%	1973
Fiber Cement Siding Wood-Look	10.2%	1506
Wood Slat Screen	16.4%	2415
Total	100.0%	14768

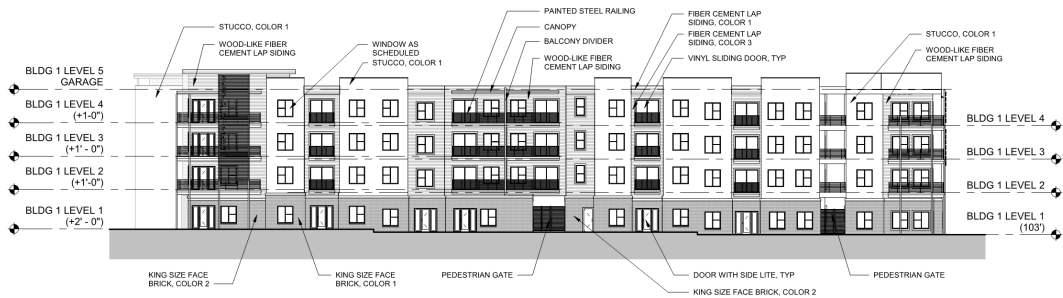


4 EAST ELEVATION - BUILDING 1



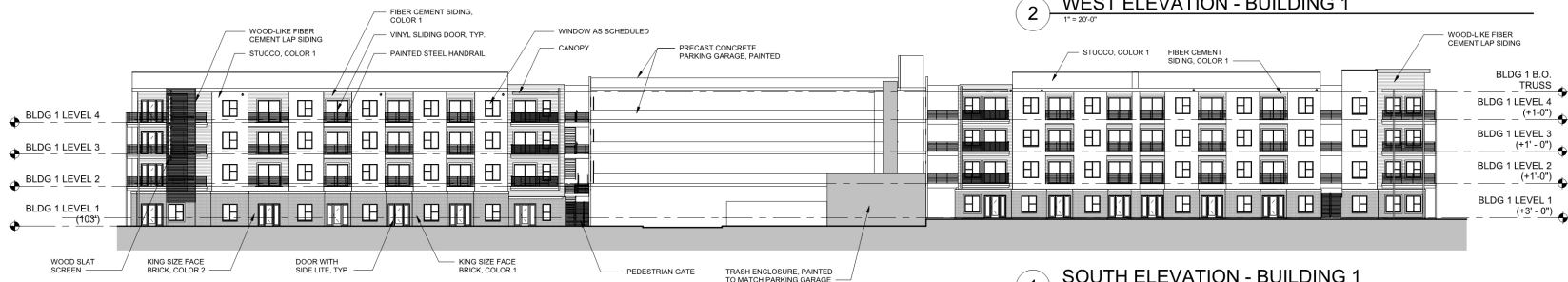
3 NORTH ELEVATION - BUILDING 1

Building 1 West Elevation	Percentage	Area (SF)
Brick Color 1	11.4%	1116
Brick Color 2	10.1%	992
Stucco Color 1	46.3%	4523
Fiber Cement Siding Color 1	3.5%	343
Fiber Cement Siding Wood-Look	18.3%	1785
Fiber Cement Siding Color 3	10.4%	1020
Total	100.0%	9779



2 WEST ELEVATION - BUILDING 1

Building 1 South Elevation	Percentage	Area (SF)
Brick Color 1	11.9%	1369
Brick Color 2	8.3%	952
Stucco Color 1	49.1%	5623
Fiber Cement Siding Color 1	16.3%	1873
Fiber Cement Siding Wood-Look	14.3%	1644
Total	100.0%	11461



1 SOUTH ELEVATION - BUILDING 1

ARCHITECTS
Dallas | Fort Worth | Austin



BARDIN VILLAGE MF

PHASE 1

Grand Prairie, TX 75052

SITE PLAN SUBMISSION

No.	Date	Revision

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CONSTRUCTION.

GFF
Drawn By
Approver

10/14/2020

BUILDING 1 -
EXTERIOR
ELEVATIONS

Project No.	20089.00
Date	10/23/2020

CASE NUMBER S201101

AZ-201

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Architectural elevation drawing of a building facade. The drawing shows a multi-story building with a central entrance and two wings. The facade is composed of various materials and colors, indicated by callouts:

- STUCCO, COLOR 1
- FIBER CEMENT LAP SIDING, COLOR 1
- FIBER CEMENT LAP SIDING, COLOR 3
- STONE
- KING SIZE FACE BRICK, COLOR 2
- WINDOW AS SCHEDULED
- FIBER CEMENT LAP SIDING, COLOR 2
- PAINTED STEEL RAILING
- BLDG 2 B.O. TRUSS
- BLDG 2 LEVEL 3
- BLDG 2 LEVEL 2
- BLDG 2 LEVEL 1 (106')
- KING SIZE FACE BRICK, COLOR 2
- PEDESTRIAN GATE
- KING SIZE FACE BRICK, COLOR 1

Architectural elevation drawing of a four-story building. The drawing includes the following callouts and labels:

- WINDOW AS SCHEDULED
- VINYL SLIDING DOOR, TYP.
- FIBER CEMENT LAP SIDING, COLOR 2
- PAINTED STEEL HANDRAIL
- FIBER CEMENT LAP SIDING, COLOR 2
- CANOPY, TYP.
- KING SIZE FACE BRICK, COLOR 1
- KING SIZE FACE BRICK, COLOR 2
- FIBER CEMENT LAP SIDING, COLOR 3
- STUCCO, COLOR 1
- BLDG 2 TOR
- BLDG 2 B.O. TRUSS
- BLDG 2 LEVEL 3
- BLDG 2 LEVEL 2
- BLDG 2 LEVEL 1 (1087)
- DOOR WITH SIDE LITE, TYP.
- KING SIZE FACE BRICK, COLOR 1

Architectural elevation drawing of a building facade. The drawing shows a multi-story building with a central entrance and several windows. Callouts on the left side include: "FIBER CEMENT LAP SIDING, COLOR 3" pointing to the upper left section; "STUCCO, COLOR 1" pointing to the upper middle section; "PAINTED STEEL HANDRAIL" pointing to a balcony railing; "KING BRICK, COLOR 1" pointing to the lower left section; and "DOOR WITH SIDE LITE, TYP." pointing to the central entrance. Callouts on the right side include: "STONE" pointing to a corner detail; "BLDG 2 B.O. TRUSS" pointing to the roofline; "BLDG 2 LEVEL 3" pointing to the third floor; "BLDG 2 LEVEL 2" pointing to the second floor; and "BLDG 2 LEVEL 1 (106)" pointing to the ground floor. The drawing is a black and white line drawing with some areas shaded to indicate material texture.

Architectural elevation drawing of a three-story building. The drawing includes the following callouts and features:

- COMPOSITE SHINGLE ROOF, TYP.** (Pointing to the roofline)
- BLDG 2 TOR** (Pointing to the top of the building)
- FIBER CEMENT LAP SIDING, COLOR 3** (Pointing to the upper left section)
- PAINTED STEEL HANDRAIL** (Pointing to a balcony railing)
- KING BRICK, COLOR 1** (Pointing to the lower left section)
- STUCCO, COLOR 1** (Pointing to the upper middle section)
- WINDOW AS SCHEDULED SIDING, COLOR 1** (Pointing to a window area)
- STONE** (Pointing to a textured wall section)
- FIBER CEMENT LAP SIDING, COLOR 1** (Pointing to the upper right section)
- STUCCO, COLOR 1** (Pointing to a wall section)
- CANOPY** (Pointing to a small roof overhang)
- FIBER CEMENT LAP SIDING, COLOR 1** (Pointing to another wall section)
- VINYL SLIDING DOOR, TYP.** (Pointing to a door on the right)
- STONE** (Pointing to a textured wall section on the right)
- BLDG 2 B.O. TRUSS** (Pointing to the roof structure on the right)
- BLDG 2 LEVEL 3** (Pointing to the third floor)
- BLDG 2 LEVEL 2** (Pointing to the second floor)
- BLDG 2 LEVEL 1 (106')** (Pointing to the first floor)
- KING SIZE FACE BRICK, COLOR 1** (Pointing to the lower right section)
- PEDESTRIAN GATE** (Pointing to a gate at the bottom left)
- GARAGE** (Pointing to a garage area at the bottom center)
- KING SIZE BRICK, COLOR 2** (Pointing to a brick area at the bottom right)

Building 2 South Elevation	Percentage	Area (SF)
Brick Color 1	9.3%	525
Brick Color 2	8.8%	499
Stone	26.4%	1498
Stucco Color 1	31.5%	1788
Fiber Cement Siding Color 1	16.1%	913
Fiber Cement Siding Color 3	7.9%	445
Total	100.0%	5668

No.	Date	Revision

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GFF
Drawn By
Approver

10/23/2020

BUILDING 2 -
EXTERIOR
ELEVATIONS

Project No.	20089.00
Date	10/23/2020

AZ-202
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Architectural elevation drawing of a building facade. The drawing shows a multi-story building with a central entrance and a garage. The facade is composed of several materials and colors, indicated by callouts:

- KING SIZE FACE BRICK, COLOR 2**: Located on the upper left section of the facade.
- WOOD-LIKE FIBER CEMENT LAP SIDING**: Located on the upper left section of the facade, below the brick.
- KING BRICK, COLOR 1**: Located on the upper right section of the facade.
- STONE**: Located on the upper right section of the facade, below the brick.
- STUCCO, COLOR 1**: Located on the central section of the facade.
- FIBER CEMENT LAP SIDING, COLOR 1**: Located on the upper right section of the facade, below the brick.
- BLDG. 3 TOR**: Located on the upper right section of the facade, below the siding.
- BLDG. 3 B.O. TRUSS**: Located on the upper right section of the facade, below the siding.
- BLDG. 3 LEVEL 3**: Located on the upper right section of the facade, below the siding.
- BLDG. 3 LEVEL 2**: Located on the upper right section of the facade, below the siding.
- BLDG. 3 LEVEL 1**: Located on the upper right section of the facade, below the siding.
- GARAGE**: Located on the ground level, below the central entrance.
- KING SIZE FACE BRICK, COLOR 1**: Located on the ground level, below the central entrance.
- PAINTED STEEL RAILING**: Located on the middle left section of the facade.
- WINDOW**: Located on the middle left section of the facade.

 $1^{\circ} = 20'-0''$

Architectural elevation drawing of a multi-story building facade. The drawing includes the following callouts:

- FIBER CEMENT LAP SIDING, COLOR 1
- WOOD-LIKE FIBER CEMENT LAP SIDING
- KING SIZE FACE BRICK, COLOR 1
- STONE
- STUCCO, COLOR 1
- CANOPY
- WOOD-LIKE FIBER CEMENT LAP SIDING
- VINYL SLIDING DOOR, TYP.
- PAINTED STEEL RAILING WINDOW
- BLDG 3 TOR
- FIBER CEMENT LAP SIDING, COLOR 3
- BLDG 3 B.O. TRUSS
- BLDG 3 LEVEL 3
- BLDG 3 LEVEL 2
- BLDG 3 LEVEL 1 (+1' - 0")
- GARAGE
- STONE
- PEDESTRIAN GATE

 $1^\circ = 20'-0''$

Architectural elevation drawing of the proposed building facade. The drawing shows a multi-story structure with various materials and levels. Labels on the left side include: FIBER CEMENT LAP SIDING, COLOR 1; STONE; PAINTED STEEL HANDRAIL; KING SIZE FACE BRICK, COLOR 1; and DOOR WITH SIDE LITE, TYP. Labels on the right side include: WOOD-LIKE FIBER CEMENT LAP SIDING; BLDG 3 TOR; BLDG 3 8.0 TRUSS; BLDG 3 LEVEL 3; BLDG 3 LEVEL 2; BLDG 3 LEVEL 1; and KING SIZE FACE BRICK, COLOR 1. Other labels include: STUCCO, COLOR 1; WINDOW AS SCHEDULED; and PEDESTRIAN GATE.

 $1^{\circ} = 20-0$ [illegible]
$$1^{\circ} = 20^{\circ} - 0$$

SITE PLAN SUBMISSION

No.	Date	Revision
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GFF
Drawn By _____
Approver _____
Reviewed _____

**REGULATORY
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PERMITTING OR
CONSTRUCTION.**

10/23/2020

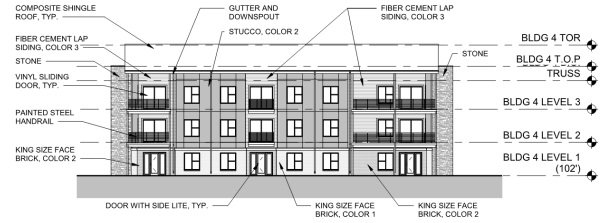
BUILDING 3 -
EXTERIOR
ELEVATIONS

Project No.	20089.00
Date	10/23/2020

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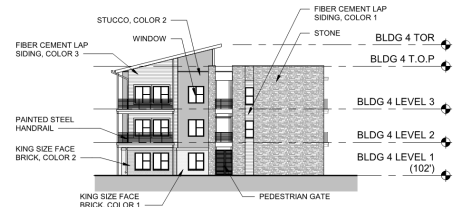
CASE NUMBER S201101

Building 4 East Elevation	Percentage	Area (SF)
Brick Color 1	13.2%	400.0
Brick Color 2	8.7%	263.0
Stone	17.3%	525.3
Stucco Color 2	37.7%	1142.7
Fiber Cement Siding Color 3	23.0%	696.0
Total	100.0%	3026.0



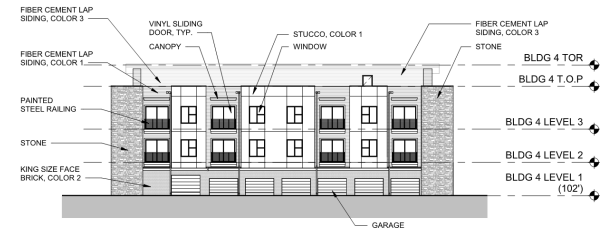
4 EAST ELEVATION - BUILDING 4
1" = 20'-0"

Building 4 North Elevation	Percentage	Area (SF)
Brick Color 1	4.5%	95
Brick Color 2	4.9%	104
Stone	57.7%	1226
Stucco Color 2	16.2%	343
Fiber Cement Siding Color 1	3.8%	81
Fiber Cement Siding Color 3	12.9%	274
Total	100.0%	2123



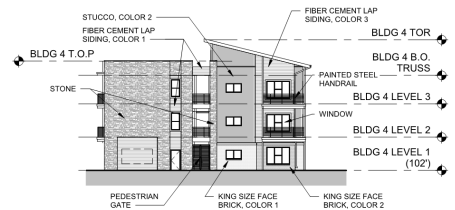
3 NORTH ELEVATION - BUILDING 4
1" = 20'-0"

Building 4 West Elevation	Percentage	Area (SF)
Brick Color 1	11.9%	441
Stone	22.2%	826
Stucco Color 1	32.7%	1214
Fiber Cement Siding Color 1	17.0%	633
Fiber Cement Siding Color 3	16.2%	603
Total	100.0%	3717



2 WEST ELEVATION - BUILDING 4
1" = 20'-0"

Building 4 South Elevation	Percentage	Area (SF)
Brick Color 1	6.8%	145
Brick Color 2	3.9%	84
Stone	54.8%	1166
Stucco Color 2	19.4%	413
Fiber Cement Siding Color 1	3.9%	82
Fiber Cement Siding Color 3	11.1%	237
Total	100.0%	2127



1 SOUTH ELEVATION - BUILDING 4
1" = 20'-0"

ARCHITECTS
Dallas | Fort Worth | Austin



**INDIN VILLAGE MF
PHASE 1**
Grand Prairie, TX 75052
SITE PLAN SUBMISSION

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No.	Date	Revision

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10/23/2020

**BUILDING 4 -
EXTERIOR
ELEVATIONS**

Project No.	20089.00
Date	10/23/2020

CASE NUMBER S201101

AZ-204

Building 5 East Elevation	Percentage	Area (SF)
Brick Color 1	21.9%	469
Brick Color 2	7.6%	164
Stone	49.7%	1065
Fiber Cement Siding Color 1	3.5%	74
Fiber Cement Siding Wood-Look	17.4%	372
Total	100.0%	2144



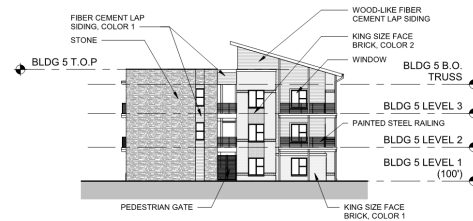
4 EAST ELEVATION - BUILDING 5
1" = 20'-0"

Building 5 North Elevation	Percentage	Area (SF)
Brick Color 1	14.5%	1101
Brick Color 2	9.8%	740
Stone	11.1%	843
Stucco Color 1	31.7%	2404
Fiber Cement Siding Color 1	31.0%	2352
Fiber Cement Siding Wood-Look	1.9%	141
Total	100.0%	7581



3 NORTH ELEVATION - BUILDING 5
1" = 20'-0"

Building 5 West Elevation	Percentage	Area (SF)
Brick Color 1	26.6%	617
Brick Color 2	2.7%	62
Stone	48.2%	1119
Fiber Cement Siding Color 1	3.1%	71
Fiber Cement Siding Wood-Look	19.5%	453
Total	100.0%	2322

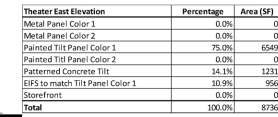


2 WEST ELEVATION - BUILDING 5
1" = 20'-0"

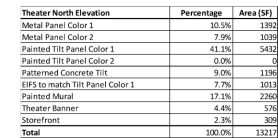
Building 5 South Elevation	Percentage	Area (SF)
Brick Color 1	48.5%	2490
Brick Color 2	17.7%	907
Fiber Cement Siding Color 1	12.8%	658
Fiber Cement Siding Wood-Look	21.0%	1078
Total	100.0%	5133



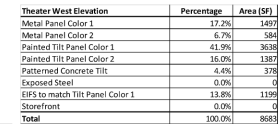
1 SOUTH ELEVATION - BUILDING 5
1" = 20'-0"



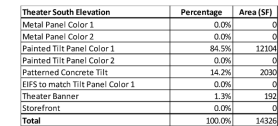
4 — $1^\circ = 20'$



3 — NOR
1" = 20'-0"



2 WE
1° = 20'-0"



1

Category 1: Environmentally-friendly building materials, construction techniques, or other features**Tier I (Pick Three)**

- ☐ i. "Smart" technology which automatically controls functions such as lights and thermostat to reduce energy loads during the day or at times of peak energy usage.
- ☐ ii. Use of solar or other form of alternative energy to satisfy approximately 25% or more of on-site energy demand.
- ☐ iii. Landscaping plan that makes use of native, drought resistant plantings not requiring the use of irrigation. In lieu of sod or turf, drought resistant plantings may be combined with coordinated hardscapes of high design quality and appearance for the purposes of meeting Tier I requirements.
- ☒ iv. Reservation of existing natural areas comprising 5% or more of the overall project size, with such areas incorporating quality non-invasive tree stands, habitat or riparian areas, and not including existing floodplain or other areas already protected or inherently unsuitable for development.
- ☐ v. Permeable pavement for 10% or more of total paving.
- ☒ vi. Electric car charging station (minimum 2).
- ☒ vii. High efficiency windows on residential and common buildings.
- ☐ viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 100% of irrigation in accordance with section 8.4.1.11.

Tier II (Pick Four)

- ☐ i. Integration of commercial/retail/office space or live-work units.
- ☐ ii. Permeable pavement for 5% or more of total paving.
- ☒ iii. Roofing material with a minimum total solar reflectance of 0.70 and a minimum thermal emittance of 0.75 when measured using ASTM testing methods endorsed by the North Central Texas Council of Governments.
- ☒ iv. Significant use of recycled or locally-sourced materials. Locally-sourced is defined as a material having its origin within 50 miles of the project.
- ☐ v. Preservation of existing non-invasive trees with a combined canopy square footage area totaling at least 5% of the overall project size (trees can come from any portion of the site other than areas which are already projected or inherently unsuitable for development, such as floodplain).
- ☒ vi. Qualified recycling program available to every resident.
- ☒ vii. Walking/jogging trails within the development. Where possible, trails should utilize existing natural areas and provide linkages to existing or future area trail networks.
- ☐ viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 50% of irrigation in accordance with section 8.4.1.11.

Tier III (Pick Five)

- ☒ i. Additional insulation.
- ☒ ii. LED or low-wattage lighting.
- ☒ iii. Bicycle parking.
- ☒ iv. Use of additional native plantings totaling 10% or more of minimum landscape requirements.
- ☐ v. Stormwater or grey water reclamation for on-site reuse in accordance with section 8.4.1.11.
- ☐ vi. Solar-ready building design.
- ☒ vii. Outdoor recreation spaces with communal features such as furniture, landscaping, gardens, televisions, movie screens, BBQ grills, pergolas, areas for fitness or sports activities, and interactive water features, not including standard unheated swimming pools, which are designed for water conservation or reuse.
- ☐ viii. Big and small dog parks. (single dog park included in Area C)

Category 2: High-quality features or designs**Tier I (Pick Four)**

- ☒ i. Granite countertops or similar in kitchens and bathrooms.
- ☒ ii. Upgraded flooring throughout, consisting of masonry tile, such as porcelain or travertine, wood-look tile, true hardwood, stained concrete, or deep pile carpeting.
- ☒ iii. Minimum 10 foot ceilings in living areas, kitchen, dining rooms, hallways, bathrooms and bedrooms.
- ☐ iv. Upgraded woodwork throughout each unit, such as crown molding, wainscot, chair rails, window and door moldings.
- ☒ v. Upgraded cabinetry.

Tier II (Pick Five)

- ☐ i. Arched forms separating rooms and living spaces.
- ☒ ii. Upgraded light fixtures including recessed lighting or indirect lighting.
- ☒ iii. Walk-in closets.
- ☐ iv. Jetted bathtubs.
- ☒ v. Upgraded bathroom and kitchen hardware, including faucets and sinks.
- ☒ vi. Full-size stainless steel major appliances (oven, range, refrigerator, dishwasher, microwave oven).
- ☒ vii. 8 foot doors leading to each room of a unit.

Category 3: Technology (Provide All)

- ☐ a. Integrated USB ports within all units.
- ☐ b. App-enabled functionality for door locks, lighting, thermostat, appliances, or other electronics.
- ☐ c. App-enabled communication between residents and management for the reporting of problems related to mechanical failures, safety concerns, or noise issues.
- ☒ d. Wi-fi internet access provided to users of common amenities such as clubhouse, pool, walking trails, and fitness area.

Appendix F Menu Items Checklist

The Appendix F Menu Items Checklist intended to help developers organize their Development Request submittal and communicate Menu Items choices to Staff. This checklist is not intended to be used without first reading Appendix F. Developers must select a total of 12 Menu Items. Unless otherwise indicated, each Menu Item counts as 1 Menu Item.

Instructions: Complete checklist by indicating which Menu Items you select. After completing the checklist fill out the Menu Item Summary Table.

Usable Open Space & Pedestrian Linkages		
✓ If Selected	Menu Item	Description
<input checked="" type="checkbox"/>	Enhanced Usable Open Space	Usable Open Space that exceeds the minimum requirements with at least four Tier 1 amenities and three or more Tier 2 amenities. <ul style="list-style-type: none"> Tier 1 Amenities: two types of seating, active water feature, furnished play area, dog park, sculpture, artwork, furnished outdoor game area, or comparable amenity proposed by the developer. Seasonal plantings in decorative planters, textured paving, living wall, mural, decorative lighting, USB charging station, electrical hook-up to allow programming, or a comparable amenity proposed by the developer. → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Above-and-Beyond Usable Open Space (2)	Developers who are able to demonstrate to the Planning and Zoning Commission and City Council that the proposed Usable Open Space goes above-and-beyond the Enhanced Usable Open Space may count the space as two Menu Items. <ul style="list-style-type: none"> * Include project narrative or exhibit that lists the proposed amenities and describes why the space should be considered above-and-beyond Usable Open Space.
<input type="checkbox"/>	Public Art Piece	Dedicate at least 1% of the total project cost to one major public art piece to be centrally located.
<input type="checkbox"/>	Public Art Series	Dedicate at least 1% of the total project cost to multiple public art pieces to be located throughout the development.
Site Design & Building Orientation (Select at Least Two Menu Items)		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	75% Parking Behind Buildings	Buildings shall be placed towards the street with 75% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	100% Parking Behind Buildings (1.5)	Buildings shall be placed towards the street with 100% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	Add Parking Lot Trees	Provide one parking lot tree per five spaces. Parking lot trees should be capable of achieving 30% canopy coverage over the parking area within 10 years of planting.
<input type="checkbox"/>	Rain Gardens	Provide bioretention areas, or rain gardens, between every other row of parking.
<input type="checkbox"/>	Permeable Surface	Use permeable concrete and pavers on 15% of the surface parking lot.
<input type="checkbox"/>	Strategic Parking	Submit on of the following Strategic Parking Plans: <ul style="list-style-type: none"> Parking Reclamation Plan – Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse. Parking Flex Plan – Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.

		<ul style="list-style-type: none"> Phased Parking Plan – Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green spaces until converted to parking spaces. If, after five years, future parking spaces have not been constructed, they shall become permanent green space. <p>→ Circle or highlight selected parking plan.</p>
<input checked="" type="checkbox"/>	Ceremonial Drive	Developments over 20 acres or developments that include multiple lots/buildings shall provide a grand promenade or ceremonial drive with trees planted every 30 feet.
<input type="checkbox"/>	Gateway	Developments over 20 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a gateway, frame usable open space, or create a view corridor with appropriate terminus.
<input checked="" type="checkbox"/>	Park Once Environment (1.5)	<p>Developments over 10 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a park once environment.</p> <ul style="list-style-type: none"> Shared parking agreements between different lots/occupants must be in place.
Building Design (Select at Least Six Menu Items)		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	Materials Mix	A single material, color, or texture shall not exceed 60% of a single facade.
<input type="checkbox"/>	Stone Accent	All four facades shall include a stone accent in a contrasting color and texture from the primary building material. The combined area of the stone accent shall be at least 25% of the vertical surface area of all facades.
<input checked="" type="checkbox"/>	Color Contrast	Each facade shall include at least two contrasting colors.
<input checked="" type="checkbox"/>	Specialty Accent	Color and/or material shall be used to highlight entrances of multi-tenant buildings. Specialty accents should reflect the personality or character of the occupant.
<input type="checkbox"/>	Corner Treatment	<p>Developers shall use at least three architectural elements to emphasize corners of the buildings: corner entrance, accent material, projecting cornice, tower element, enhanced windows, cupolas, gables, dormers, balconies, articulation, or a comparable element chosen by the developer. Corner treatments must be one of the Menu Items for buildings at key intersections.</p> <p>→ Circle or highlight the proposed architectural elements.</p>
<input checked="" type="checkbox"/>	Articulated Public Entrance	<p>The primary building entrance shall be visibly prominent from a public street. At least three of the following shall be used: recessed facade, projecting facade, raised canopy, taller door dimensions, double doors, lighting fixtures on either side of the entry, steps or stoops, changes in materials, arches, columns, eave treatment, transom windows, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed elements.</p>
<input type="checkbox"/>	Buildings at Key Intersections	<p>Developers should highlight key intersections by using additional design elements to create gateways or landmarks. Buildings at key intersections shall include at least three of the following features: corner plaza with plantings and seating, corner tower form, cupolas, large window openings, sloped or pitched roof form, richer colors, seasonal plantings, or a comparable element chosen by the developer.</p> <p>→ Circle or highlight the proposed features.</p>
<input checked="" type="checkbox"/>	Roof Profile Variation	Developers shall use parapets or another technique to create a distinctive roof profile.
<input checked="" type="checkbox"/>	Articulation Elements	Each facade shall include at least three of the following items every 60 feet: change in roofline, facade modulation, window

		fenestration patterns, vertical columns, and change in material or texture. → Circle or highlight the proposed items.
<input type="checkbox"/>	Enhanced Windows	All facades with windows shall include at least two types of windows that differ in the style, size, shape, or placement.
<input type="checkbox"/>	Canopy Variation	<p>Facades shall include multiple types of canopies. Changes in shape, color, or material should be used to highlight an architectural feature or particular user while complementing the established design theme.</p> <p>* It is likely that individual tenants will determine the final design of the canopy. If tenants are unknown at this time, submit an exhibit that illustrates variations in shape, color, and material within the intended design theme.</p>
<input type="checkbox"/>	Design Elements	<p>Facades shall include at least three other design elements: trellises, towers, overhang eaves, banding, pilasters, projecting cornices, columns, string courses, rustication, lintels, or a comparable element proposed by the developer.</p> <p>→ Circle or highlight the proposed design elements.</p>
Healthy, Smart, and Sustainable Community (Select at Least Two Menu Items)		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	Mature Trees	Provide mature trees for 30% of required trees. The locations of the mature trees should be focused in usable open spaces and along pedestrian paths.
<input type="checkbox"/>	Connect to Parks and/or Trails	<p>Provide a connection to existing or proposed parks and/or trails. The connection should function as a continuation, not just a point of access. The connection shall include appropriate amenities such as bike racks, pet waste disposal stations, water fountains, misting stations, or a comparable amenity proposed by the developer.</p> <p>→ Circle or highlight the proposed amenities.</p>
<input type="checkbox"/>	Community Garden	Provide a community garden and participate in the City's community gardens partnership program.
<input type="checkbox"/>	Parking Reclamation Plan	Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.
<input type="checkbox"/>	Parking Flex Plan	Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.
<input type="checkbox"/>	Phased Parking Plan	Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green space until converted to parking spaces. If, after five years, future parking phases have not been constructed, they shall become permanent green space.
<input type="checkbox"/>	Green Infrastructure	Provide and maintain green infrastructure such as bioretention areas (rain gardens), planter boxes, or vegetated buffer strips consistent with NCTCOG's integrated Stormwater Management (ISWM) Program.
<input type="checkbox"/>	Solar Energy	Use solar energy to satisfy 25% or more of on-site energy demand.
<input type="checkbox"/>	Preserve Open Space	Reserve existing natural areas comprising at least 5% of the overall project size. Such areas should incorporate quality non-invasive tree stands, habitat or riparian areas. Such areas should not include existing floodplain or other areas already protected or inherently unsuitable for development.

<input checked="" type="checkbox"/>	70% Native Plants	Use native and drought tolerant species for at least 70% of planting materials.
<input type="checkbox"/>	Wi-Fi (.5)	Provide Free Wi-Fi in common areas.
<input type="checkbox"/>	USB Charging Stations (.5)	Provide USB charging stations in usable open spaces.
<input type="checkbox"/>	Smart Parking (.5)	Provide web-connected sensors in pavement that help people find and/or reserve a parking space.
<input checked="" type="checkbox"/>	Ride-Sharing Drop-Off (.5)	Provide designated spaces for ride-sharing pick-ups and drop-offs.
<input type="checkbox"/>	Permeable Paving (.5)	Use permeable pavement on 15% of the parking lot.
<input type="checkbox"/>	Green Roofs (.5)	Provide a green roof that is at least 50% of total roof area.
<input type="checkbox"/>	Living Wall (.5)	Provide a living wall that is at least 60% of the area of the facade on which it is constructed.
<input type="checkbox"/>	Recycling Program (.5)	Institute a mandatory recycling program for occupants. Provide recycling bins in addition to trash bins in common areas.
<input type="checkbox"/>	30% Native Plants (.5)	Use native and drought tolerant species for at least 30% of planting materials.
<input checked="" type="checkbox"/>	Pollinator Friendly Flowers (.5)	Use native plants that attract bees, butterflies, moths, and hummingbirds for at least 20% of required landscape materials.

Alternative Compliance

The Menu Items listed do not represent an exhaustive list. Developers may propose a comparable item not listed. If developers are able to prove that the proposed item meets the intent of Appendix F, Staff may recommend that the proposed item be counted as a Menu Item. Indicate the proposed item, identify which of the four elements the proposed item will count towards, and provide a brief description.

<input checked="" type="checkbox"/> If Selected	Proposed Item/Element	Description
<input checked="" type="checkbox"/>	Curbless pedestrian focused streets	Curbless pedestrian focused central street design with a close-able section to create a plaza space
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		

Menu Item Summary Table

Element	# of Menu Items
Usable Open Space & Pedestrian Walkways	
Site Design & Building Orientation	
Building Design	
Healthy, Smart, Sustainable Community	
Alternative Compliance	
Total Menu Items:	



Legislation Details (With Text)

File #: 20-10564 **Version:** 1 **Name:** S200901 - Kalterra Phase 1
Type: Agenda Item **Status:** Items for Individual Consideration
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: S200901 - Site Plan - Kalterra Phase 1 (City Council District 2). Site Plan for a multi-family development of 412 units in four buildings on 11.74 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Site Plan.pdf](#)
[Exhibit C - Landscape Plan.pdf](#)
[Exhibit D - Building Elevations.pdf](#)
[Exhibit E - Appendix W Amenities.pdf](#)
[Exhibit F - Enhanced Screening.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

S200901 - Site Plan - Kalterra Phase 1 (City Council District 2). Site Plan for a multi-family development of 412 units in four buildings on 11.74 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Site Plan for a multi-family development of 412 units in four buildings on 11.74 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

PURPOSE OF REQUEST:

The applicant intends to construct a multi-family development on 11.74 acres. Site Plan approval by City Council is required for any project involving multi-family use or within a Planned Development District. Development at this location requires City Council approval of a Site Plan because the property is intended for multi-family use and zoned PD-397.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-397	Undeveloped
South	PD-382	Multi-Family Under Construction
	PD-294	Undeveloped
West	PD-397	Undeveloped
East	PD-294D	Undeveloped

PROPOSED USE CHARACTERISTICS AND FUNCTION:

This Site Plan is Phase 1 of a larger horizontal mixed-use development on 55.5 acres. This phase includes 412 multi-family units in four buildings and the associated parking and amenities. The primary entrance for the whole development is off the SH-161 frontage road.

ZONING REQUIREMENTS:*Density and Dimensional Requirements*

The subject property is zoned PD-397 with a base zoning of Multi-Family Three District; development is subject to the standards for PD-397 and for Multi-Family Three District in the Unified Development Code (UDC). The following table evaluates the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

Table 2: Site Data Summary

Standard	Required	Provided	Meets
Min. Lot Area Sq. Ft.	12,000	511,394	Yes
Min. Lot Width (Ft.)	100	100	Yes
Min. Lot Depth (Ft.)	120	120	Yes
Front Setback (Ft.)	30	30	Yes
Rear Setback (Ft.)	0	45	Yes
Max. Height (Ft.)	60	52	Yes
Max. Density (DUA)	40	35.09	Yes
Max. One Bedroom (%)	70	60	Yes

Parking

The table below evaluates the parking requirements. The proposal meets the required parking, garages, and carports.

Table 3: Parking Requirements

Standard	Required	Provided	Meets
Total Parking Spaces	536	536	Yes
Garage	10%	20%	Yes
Carport	20%	20%	Yes

Landscape and Screening

The property is subject to landscape and screening requirements in Appendix W of the UDC. The table below summarizes these requirements. The proposal meets the landscape and screening requirements.

Table 4: Landscape & Screening Requirements

Standard	Required	Provided	Meets
Landscape Area (Sq. Ft.)	76,724	148,966	Yes
Trees	154	154	Yes
Shrubs	1,534	1,550	Yes
Dumpster Enclosure	Masonry Enclosure	Masonry Enclosure	Yes

Exterior Building Materials

The exterior finish materials include brick, stucco, and fiber cement siding. The proposed building elevations also meet the recommended design and building materials in Appendix W.

Appendix W Amenities

Appendix W requires a certain number of amenities from categories such as environmentally friendly building materials, construction techniques, or other features, high quality features or design, and technology. The proposal meets the requirements for amenities.

VARIANCES:

- Perimeter Fence and Gated Entry - Appendix W requires that multi-family developments contain security gates at all entrances to the complex. The proposal does not include a perimeter fence with gated entry. As an alternative, the applicant is proposing to secure individual buildings and fence of internal courtyards.

ANALYSIS:

The Site Plan includes changes from the approved Concept Plan that revises the internal street layout and may affect development walkability.

- The reconfigured buildings will not fully enclose and screen surface parking from the internal street as shown on the concept plan.
- There are two parallel drives between each building that breaks off the consistent street edge and may increase potential conflicts between traffic and people on foot.

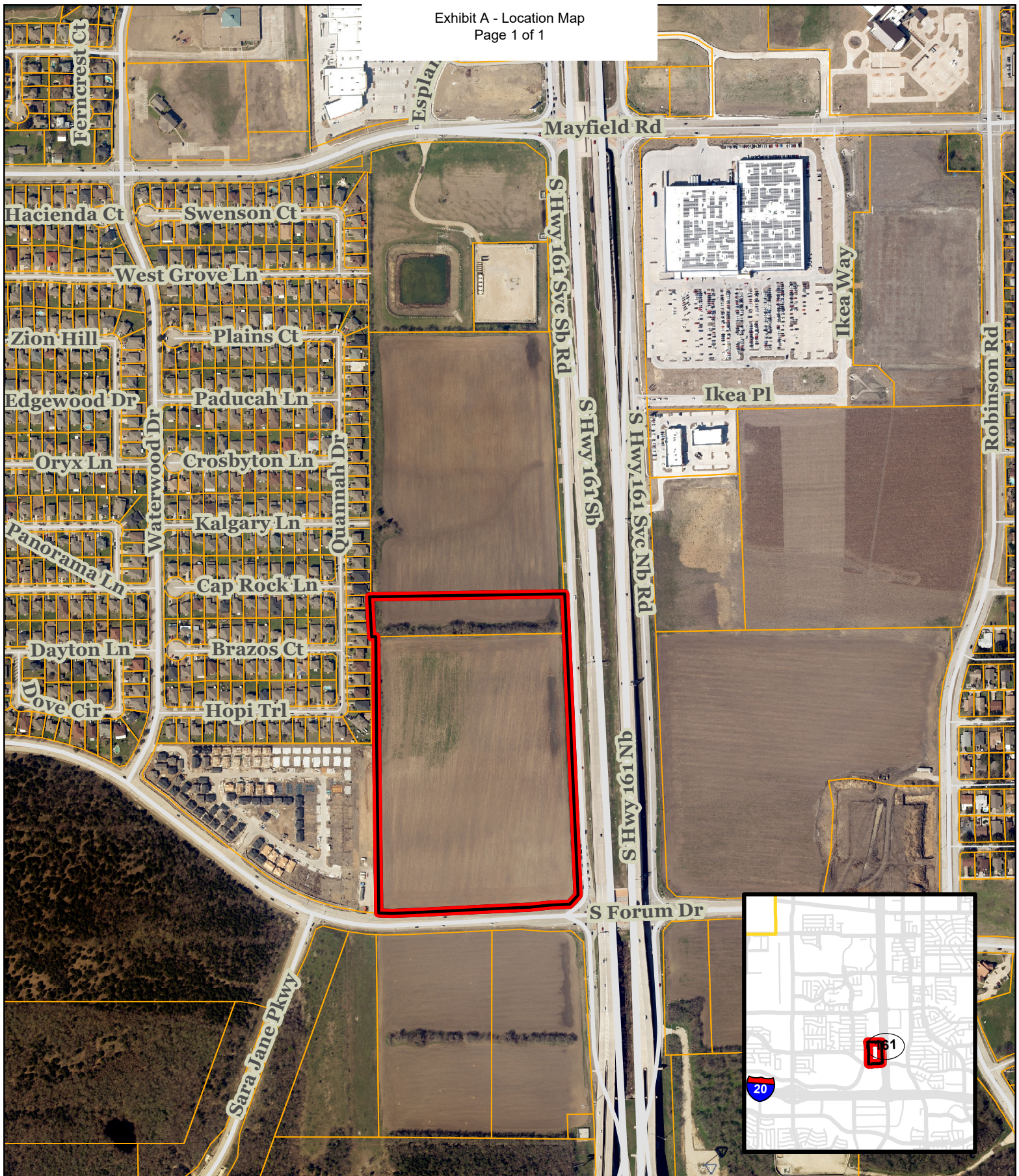
The applicant has remedied the changes by proposing enhanced plantings and decorative metal walls to screen parking and extend the building edge. Staff believes the plantings and screening should assist to resolve some

of the noted design issues.

RECOMMENDATION:

Staff is generally in support of the proposal. Although the layout is revised, the applicant has made changes to make the site plan more in line with the Concept Plan intent. Staff recommends approval with the following conditions:

1. The applicant shall coordinate with the designated representative of the City of Grand Prairie Police Department to finalize the plan to secure individual buildings and courtyard areas; and
2. The location, design, and character of the enhanced screening (landscape and metal screening walls) along the internal street shall be consistent with what is depicted on the site plan and Exhibit F - Enhanced Screening, as determined by the Director of Planning and Development or designee.



CASE LOCATION MAP

Site Plan - S200901

Kalterra Phase 1

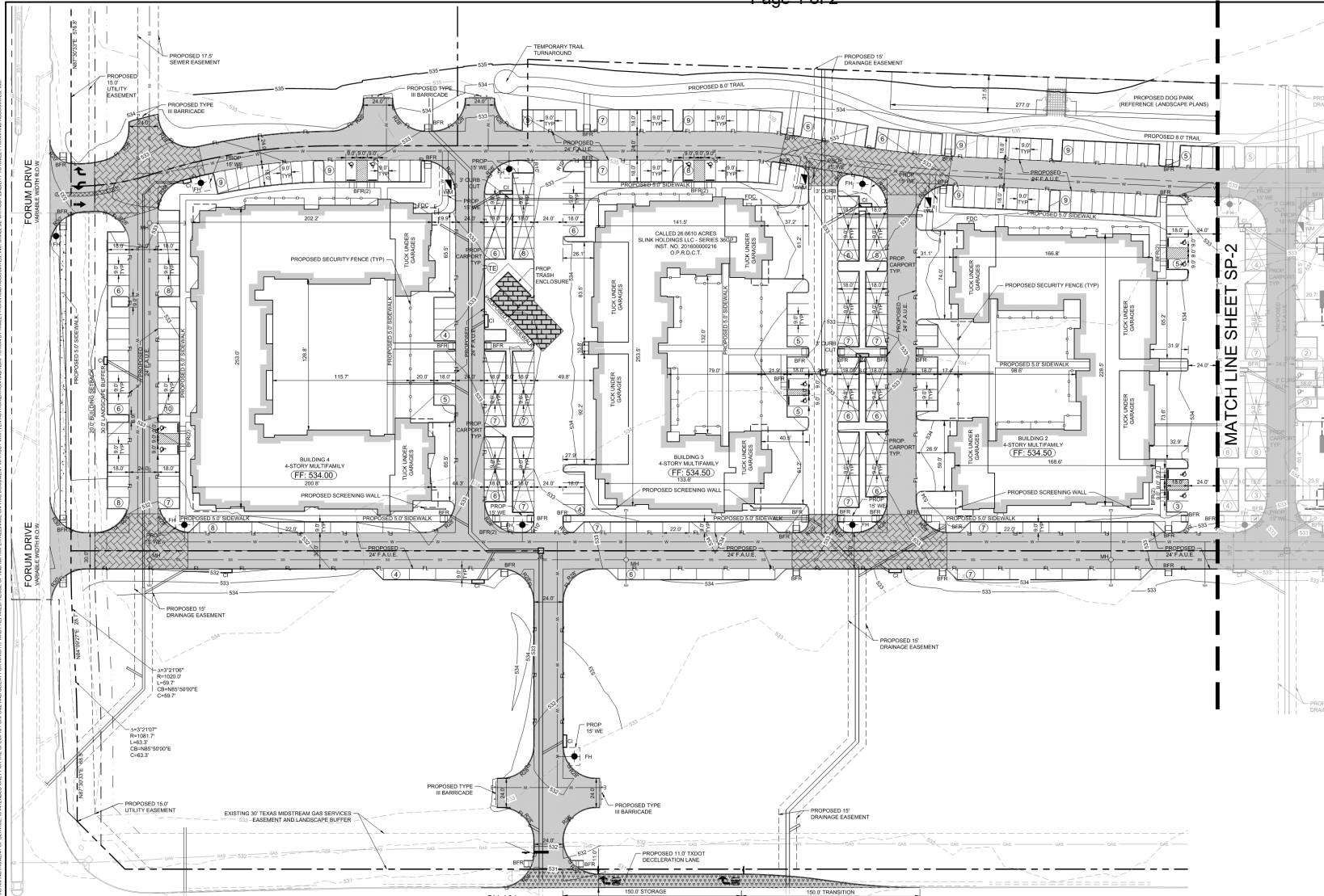


City of Grand Prairie
Development Services

(972) 237-8255

www.gptx.org

Exhibit B - Site Plan
Page 1 of 2



LEGEND

- PROPOSED FIRE LANE
- PROPOSED DECIL LANE
- PROPOSED PAVES REF LA PLANS FOR DETAIL
- PROPOSED BUILDING
- EXISTING CONTOUR LINE - MAJOR
- EXISTING CONTOUR LINE - MINOR
- BARRIER FREE RAMP (BFR)
- ACCESSIBLE PARKING SYMBOL
- NUMBER OF PARKING SPACES
- TRASH ENCLOSURE
- WATER METER (AND VAULT)
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- STANDARD SEWER MANHOLE
- STORM DRAIN MANHOLE
- TRANSFORMER PAD
- CURB INLET
- GRATE INLET
- JUNCTION BOX OR WYE INLET
- HEADWALL
- WM
- TYPICAL
- SSE
- SE
- DE
- BFR
- SW
- SE
- CI
- GI
- WI
- WI
- WI
- AD
- EX
- PROP
- FF

BENCH MARK LIST

BM #50 CITY OF GRAND PRAIRIE GPS MONUMENT 39 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 39" SET IN A WELL WITH AN ALUMINUM ACCESS COVER FLUSH WITH GROUND LOCATED BETWEEN A SIDEWALK AND CURB APPROX. 188 FEET SOUTH OF THE SOUTHEAST CORNER OF THE INTERSECTION OF WARRIOR TRAIL AND CARRIER PARKWAY, 59 FEET WEST OF BUILDING CORNER AND 28 FEET NORTHWEST FROM A 10 INCH ELM TREE. ELEV. = 526.54

BM #51 CITY OF GRAND PRAIRIE GPS MONUMENT 38 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 38" SET IN A WELL WITH AN ALUMINUM ACCESS COVER (MISSING) FLUSH WITH GROUND LOCATED APPROX. 85 FEET EAST OF THE CENTERLINE OF WATERWOOD DRIVE AND APPROX. 42 FEET NORTH OF THE CENTERLINE OF MAYFIELD ROAD. ELEV. = 564.65

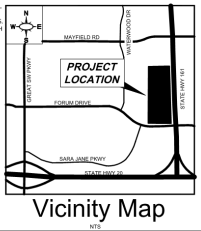
BM #52 CITY OF GRAND PRAIRIE GPS MONUMENT 37 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 37" SET IN A WELL WITH AN ALUMINUM ACCESS COVER FLUSH WITH GROUND LOCATED APPROX. 275 FEET SOUTH OF THE CENTERLINE INTERSECTION OF WARRIOR TRAIL AND GREAT SOUTHWEST PARKWAY ON THE WEST SIDE OF GREAT SOUTHWEST PARKWAY, 3.8 FEET INSIDE THE FENCE OF THE GRAND PRAIRIE AIRPORT AND 29.5 FEET NORTHWEST FROM A POWER POLE. ELEV. = 577.94

V. = 538.67

NOTE: REFERENCE THE TOPOGRAPHIC SURVEY PREPARED BY KIMLEY-HORN AND ASSOCIATES ON APRIL 2020 FOR ADDITIONAL BENCHMARKS.

GENERAL SITE DATA	
LOT AREA (SQUARE FEET AND ACRES)	511,394.55 / 11.74 AC
ZONING	PD ORD. NO. 10753-2019
EX LAND USE	VACANT
PROP LAND USE	MULTIFAMILY
BUILDING HEIGHT (STORIES)	4
RESIDENTIAL UNITS	412
RESIDENTIAL DENSITY	35.09 UNITS/ AC
ACRES WITHIN 100 YEAR FLOODPLAIN	N/A
PERCENTAGE OF SITE LANDSCAPING	
PARKING	
TOTAL SPACES REQUIRED	536
TOTAL SPACES PROVIDED	537
GARAGES PROVIDED	54
CARPORPTS REQUIRED (20% OF TOTAL)	108
CARPORPTS PROVIDED	137
UNIT MIX	
1 BED	237
2 BED	127

- SITE PLAN NOTES**
- ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF GRAND PRAIRIE.
 - OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS ESTABLISHED BY THE GRAND PRAIRIE DEVELOPMENT CODE.
 - BUILDINGS OF 1,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE MARSHAL.
 - FIRE LANE SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS OR AS DIRECTED BY THE FIRE MARSHAL.
 - FIRE LANE SHALL NOT BE PERMITTED WITHIN A FIRE LANE.
 - HANDICAPPED PARKING SPACES AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICAN WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENTLY ADOPTED BUILDING CODE.
 - ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
 - ALL EXTERIOR BUILDING MATERIALS SHALL BE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED SCHEDULE.
 - APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE CITY ENGINEER.
 - ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED AS NECESSARY.
 - ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE GRAND PRAIRIE DEVELOPMENT CODE.



OVERALL SITE PLAN
OF
THE **FOUNDRY**
11.74 ACRES

FREDERICK DOHME SURVEY, ABSTRACT NO. 395 & WILLIAM REED SURVEY, ABSTRACT NO. 1993
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS
CITY CASE NUMBER: S200901
SUBMITTAL: AUGUST 4, 2020
RESUBMITTAL: OCTOBER 23, 2020

DEVELOPER:
KIMLEY-HORN AND ASSOCIATES, LLC
1701 N. Market Street
Dallas, TX 75202
Contact: Chase Wood
Phone: 953-355-1706

ARCHITECT:
Cross, Nickrick, PLLC
878 Junction Drive
Allen, TX 75015
Contact: Gabriel Northington
Phone: 469-352-1156

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 New Road
Dallas, Texas 75240
Two Galleria Office Tower, Suite 700
Dallas, Texas 75240
Contact: Jonathan C. Kirby, P.E.

Kimley»Horn

© 2020 KIMLEY-HORN AND ASSOCIATES, INC. 13455 NEW ROAD, DALLAS, TEXAS 75240
TEAS REGISTERED ENGINEERING FIRM #208

SITE PLAN

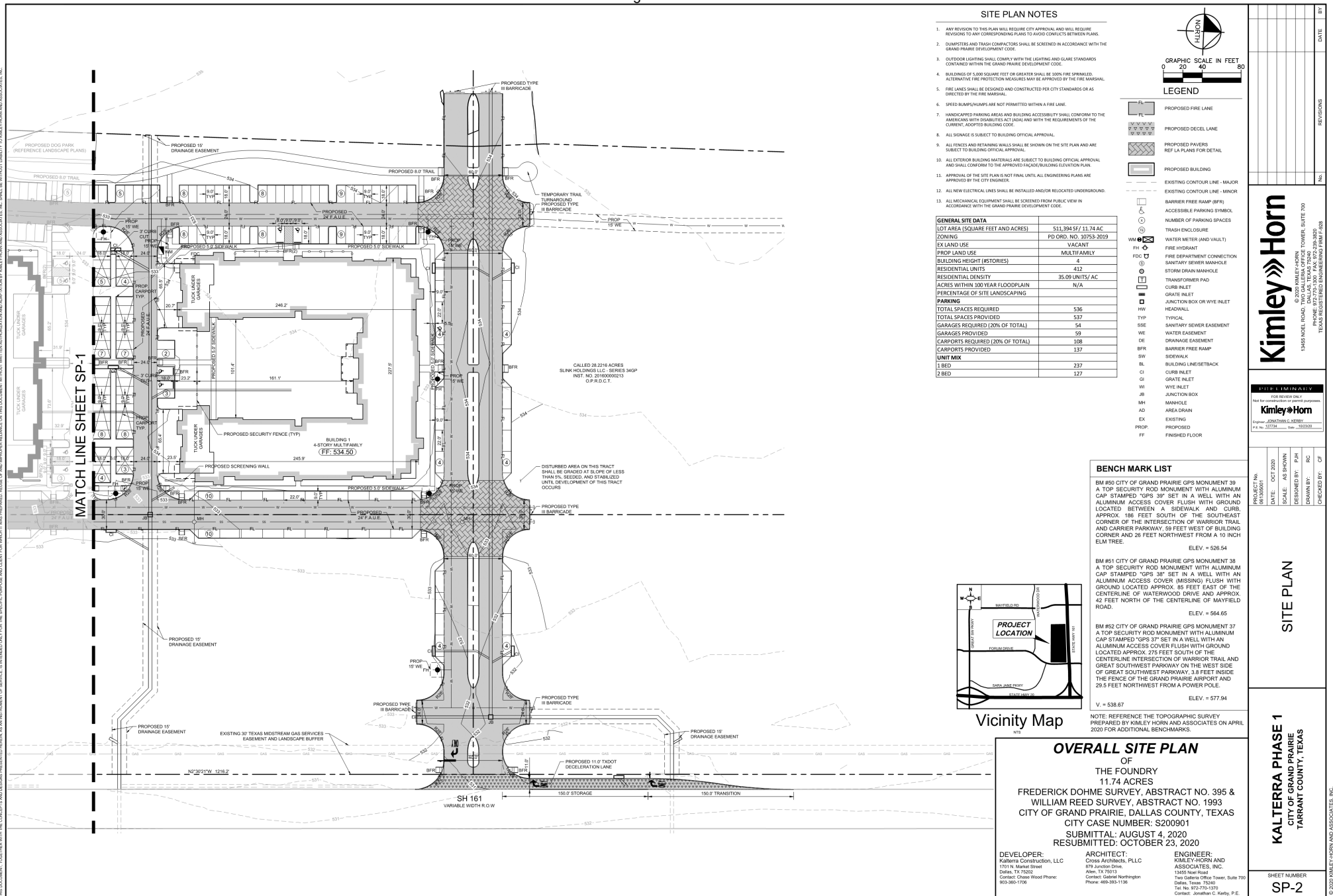
KALTERRA PHASE 1
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

SP-1

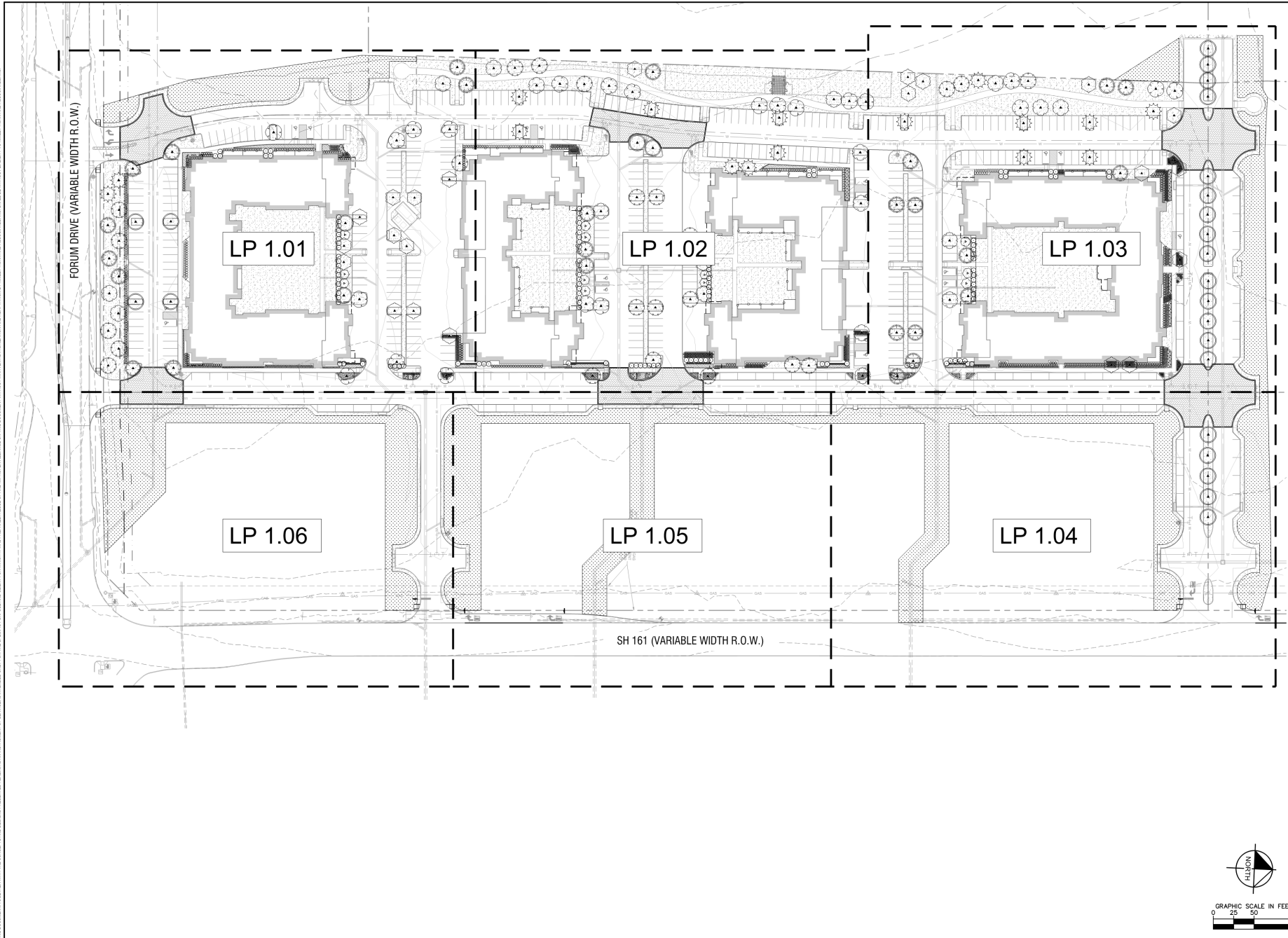
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DATE: OCT 2020
SCALE: AS SHOWN
DESIGNED BY: PJH
DRAWN BY: RC
CHECKED BY: CF

REVISIONS

NO.	DATE	BY



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KALTERA
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

OVERALL SITE PLAN

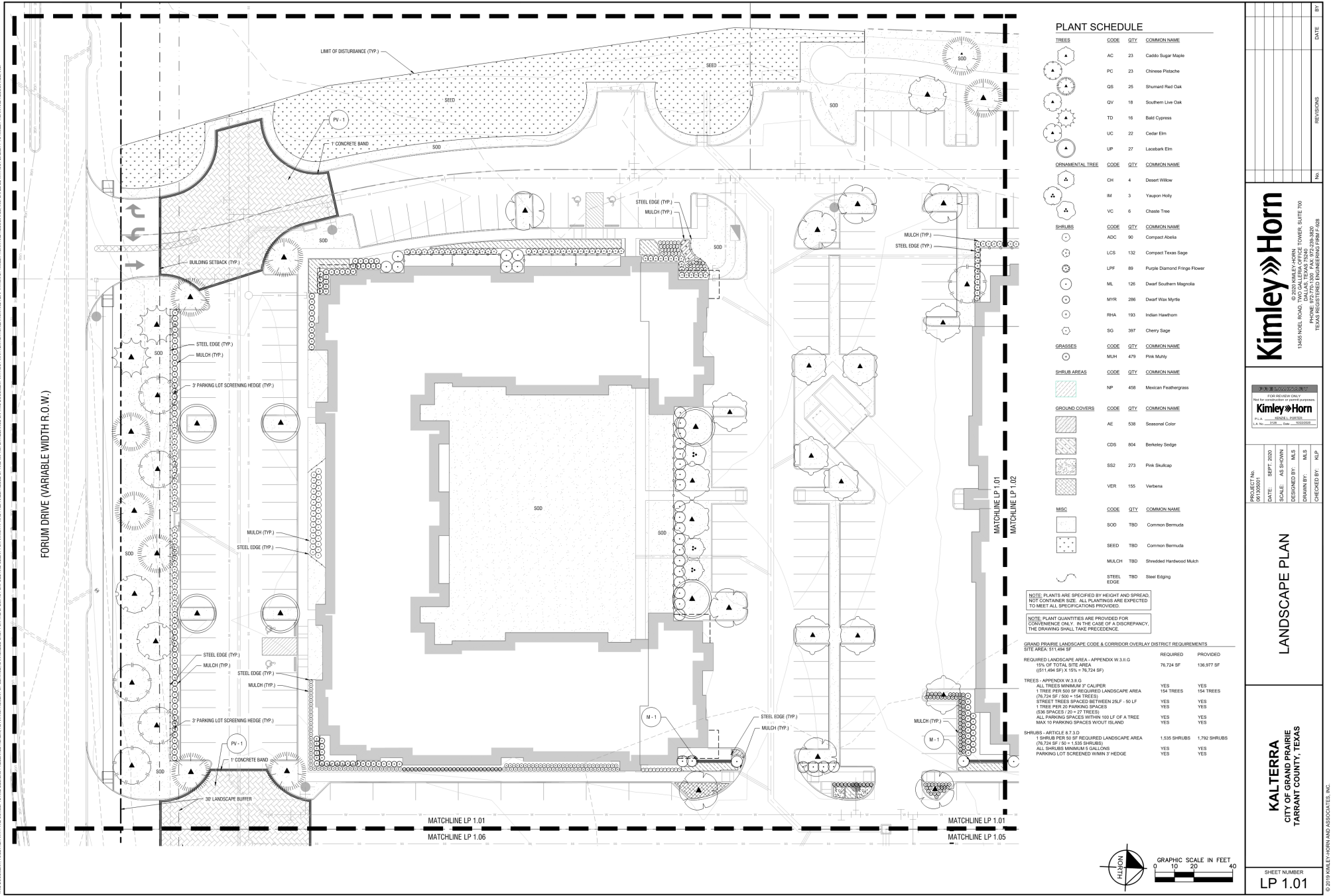
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Not for construction or permit purposes.

Kimley»Horn


































P.L.A. KENNEL PORTER
J.A. No. 3126 Date 10/22/2020

Kimley»»Horn
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13456 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: 972-770-1300 FAX: 972-238-3920
TEXAS REGISTERED ENGINEERING FIRM F-526

[illegible]



PLANT SCHEDULE

	TREES	CODE	QTY	COMMON NAME
		AC	23	Caddo Sugar Maple
		PC	23	Chinese Pistache
		OS	25	Shumard Red Oak
		QV	18	Southern Live Oak
		TD	16	Bald Cypress
		UC	22	Cedar Elm
		LP	27	Lacinate Elm
	ORNAMENTAL TREE	CODE	QTY	COMMON NAME
		CH	4	Desert Willow
		IM	3	Yaupon Holly
		VC	6	Chaste Tree
	SHRUBS	CODE	QTY	COMMON NAME
		ADC	90	Compact Abelia
		LCS	132	Compact Texas Sage
		LFP	89	Purple Diamond Fringe Flower
		ML	126	Dwarf Southern Magnolia
		MYR	286	Dwarf Wax Myrtle
		RHA	193	Indian Hawthorn
		SG	397	Cherry Sage
	GRASSES	CODE	QTY	COMMON NAME
		MUH	479	Pink Muhly
	SHRUB AREAS	CODE	QTY	COMMON NAME
		NP	458	Mexican Feathergrass
	GROUND COVERS	CODE	QTY	COMMON NAME
		AE	538	Seasonal Color
		CDS	804	Berkley Sedge
		SS2	273	Pink Shilopop
		VER	155	Verbena
	MISC	CODE	QTY	COMMON NAME
		SOD	180	Common Bermuda
		SEED	180	Common Bermuda
		MULCH	180	Shredded Hardwood Mulch
		STEEL	180	Steel Edging

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD.
NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

GRAND PRAIRIE LANDSCAPE CODE & CORRIDOR OVERLAY DISTRICT REQUIREMENTS			
SITE AREA: 511,494 SF		REQUIRED	PROVIDED
REQUIRED LANDSCAPE AREA - APPENDIX W 3.1.0			
15% OF TOTAL SITE AREA		76,724 SF	136,977 SF
76,724 SF / 15% = 511,494 SF			
TREES - APPENDIX W 3.1.0			
ALL TREES MINIMUM 1" CALIPER		YES	YES
1 TREE PER 50 SF REQUIRED LANDSCAPE AREA		YES	154 TREES
(76,724 SF / 500 = 154 TREES)			
STREET TREES SPACES BETWEEN 25LF - 50 LF		YES	YES
1 TREE PER 20 PARKING SPACES		YES	YES
50M SPACES: 30+ TREES		YES	YES
ALL PARKING SPACES WITHIN 100 LF OF A TREE		YES	YES
MAX 10 PARKING SPACES W/OUT ISLAND		YES	YES
SHRUBS - ARTICLE 8.7.1.0			
1 SHRUB PER 50 SF REQUIRED LANDSCAPE AREA		1,535 SHRUBS	1,792 SHRUBS
(76,724 SF / 50 = 1,535 SHRUBS)			
ALL SHRUBS MINIMUM 5 GALLONS		YES	YES
PARKING LOT SCREENED WITHIN 5' HEDGE		YES	YES

PROJECT No.
09135001

DATE: SEPT. 2020

SCALE: AS SHOWN

DESIGNED BY: NLS

DRAWN BY: NLS

CHECKED BY: NLP

Kimley»Horn

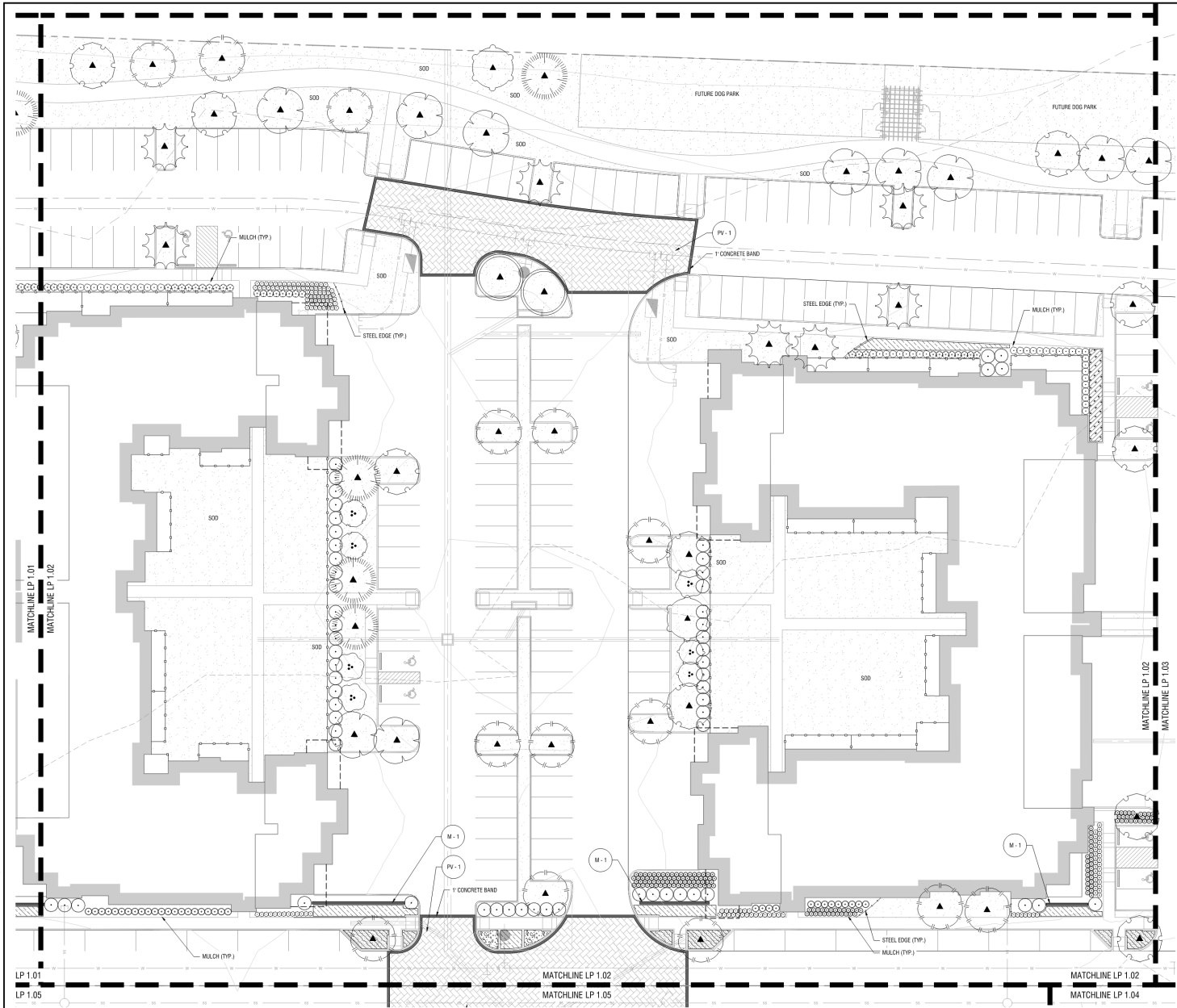
1405 N. GULF ROAD, SUITE 700
DALLAS, TEXAS 75201
P.O. Box 2228, Fort Worth, Texas 76101

KALTERRA
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.01

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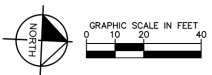


PLANT SCHEDULE

TREES			
	CODE	QTY	COMMON NAME
	AC	23	Caddo Sugar Maple
	PC	23	Chinese Pistache
	GB	25	Shumard Red Oak
	QV	18	Southern Live Oak
	TD	16	Bald Cypress
	UC	22	Cedar Elm
	UP	27	Locust Elm
ORNAMENTAL TREE			
	CODE	QTY	COMMON NAME
	CH	4	Desert Willow
	IM	3	Yucca Holly
	VC	6	Chaetrea Tree
SHRUBS			
	CODE	QTY	COMMON NAME
	ADC	90	Compact Abelia
	LCS	132	Compact Texas Sage
	LPF	89	Purple Diamond Fringe Flower
	ML	126	Dwarf Southern Magnolia
	MYR	286	Dwarf Wax Myrtle
	RHA	193	Indian Hawthorn
SG	397	Cherry Sage	
GRASSES			
	CODE	QTY	COMMON NAME
	MLH	479	Pink Muhly
SHRUB AREAS			
	CODE	QTY	COMMON NAME
	NP	458	Mexican Feathergrass
GROUND COVERS			
	CODE	QTY	COMMON NAME
	AE	538	Seasonal Color
	CDS	804	Berkeley Sedge
	SS2	273	Pink Skullcap
	VER	155	Verbena
MISC			
	CODE	QTY	COMMON NAME
	S00	TBD	Common Bermuda
	SEED	TBD	Common Bermuda
	MULCH	TBD	Shredded Hardwood Mulch
	STEEL EDGES	TBD	Steel Edging

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CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY,
THE DRAWING SHALL TAKE PRECEDENCE.



BY

DATE

REVISIONS

No.

Kimley»Horn

Kimley-Horn and Associates, Inc.
13455 NOEL ROAD, TWO WALKER OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75244
PHONE: 972.771.1000 FAX: 972.771.3000
TEXAS REGISTERED ENGINEERING FIRM # 608

PROJECT No.
13455-0001

DATE: SEPT 2020

SCALE: AS SHOWN

DESIGNED BY: AJS

DRAWN BY: AJS

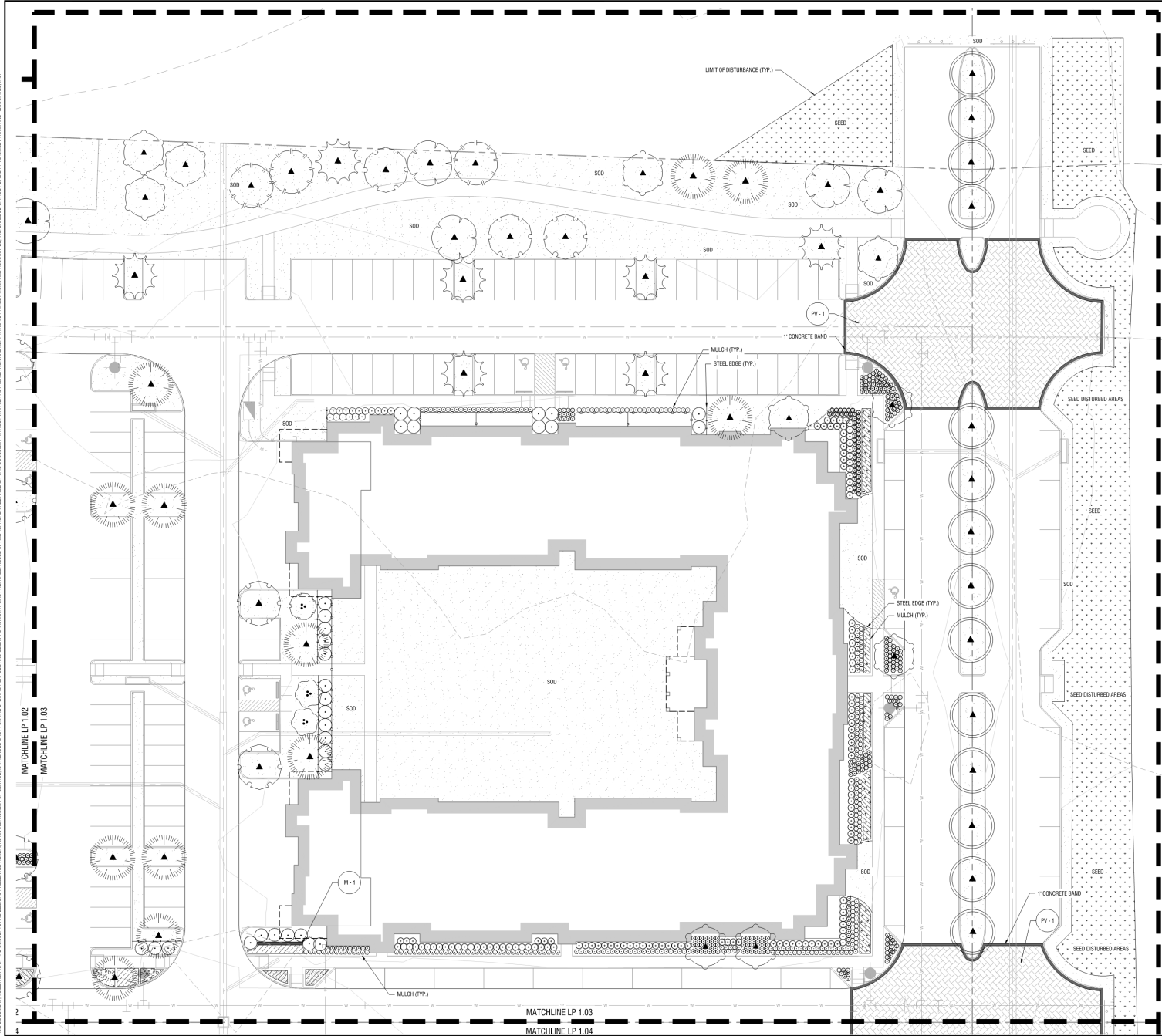
CHECKED BY: AJP

LANDSCAPE PLAN

KALTERRA
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

SHEET NUMBER
LP 1.02

NOTES:
1. SEE SHEET LP 1.01 FOR MATCHLINE LP 1.01.
2. SEE SHEET LP 1.02 FOR MATCHLINE LP 1.02.
3. SEE SHEET LP 1.03 FOR MATCHLINE LP 1.03.
4. SEE SHEET LP 1.04 FOR MATCHLINE LP 1.04.
5. SEE SHEET LP 1.05 FOR MATCHLINE LP 1.05.
6. SEE SHEET LP 1.06 FOR MATCHLINE LP 1.06.
7. SEE SHEET LP 1.07 FOR MATCHLINE LP 1.07.
8. SEE SHEET LP 1.08 FOR MATCHLINE LP 1.08.
9. SEE SHEET LP 1.09 FOR MATCHLINE LP 1.09.
10. SEE SHEET LP 1.10 FOR MATCHLINE LP 1.10.
11. SEE SHEET LP 1.11 FOR MATCHLINE LP 1.11.
12. SEE SHEET LP 1.12 FOR MATCHLINE LP 1.12.
13. SEE SHEET LP 1.13 FOR MATCHLINE LP 1.13.
14. SEE SHEET LP 1.14 FOR MATCHLINE LP 1.14.
15. SEE SHEET LP 1.15 FOR MATCHLINE LP 1.15.
16. SEE SHEET LP 1.16 FOR MATCHLINE LP 1.16.
17. SEE SHEET LP 1.17 FOR MATCHLINE LP 1.17.
18. SEE SHEET LP 1.18 FOR MATCHLINE LP 1.18.
19. SEE SHEET LP 1.19 FOR MATCHLINE LP 1.19.
20. SEE SHEET LP 1.20 FOR MATCHLINE LP 1.20.



PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME
	AC	23	Caddo Sugar Maple
	PC	23	Chinese Pistache
	QS	25	Shumard Red Oak
	QV	18	Southern Live Oak
	TD	16	Bald Cypress
	UC	22	Cedar Elm
	UP	27	Lacinate Elm
ORNAMENTAL TREE	CODE	QTY	COMMON NAME
	CH	4	Desert Willow
	IM	3	Yaupon Holly
	VC	6	Chaste Tree
SHRUBS	CODE	QTY	COMMON NAME
	AOC	90	Compact Abelia
	LCB	132	Compact Texas Sage
	LPF	86	Purple Diamond Fringe Flower
	ML	126	Dwarf Southern Magnolia
	MYR	286	Dwarf Wax Myrtle
	RHA	193	Indian Hawthorn
	SG	397	Cherry Sage
GRASSES	CODE	QTY	COMMON NAME
	MUH	479	Pink Muhly
SHRUB AREAS	CODE	QTY	COMMON NAME
	NP	458	Mexican Feathergrass
GROUND COVERS	CODE	QTY	COMMON NAME
	AE	538	Seasonal Color
	CDS	804	Berkeley Sedge
	SSZ	273	Pink Skullcap
	VER	155	Verbena
MISC	CODE	QTY	COMMON NAME
	SOD	TBD	Common Bermuda
	SEED	TBD	Common Bermuda
	MULCH	TBD	Shredded Hardwood Mulch
	STEEL EDGE	TBD	Steel Edging

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PROJECT No.
1901000001

DATE
SEPT 2020

SCALE
AS SHOWN

DESIGNED BY
KLS

DRAWN BY
KLP

CHECKED BY
KLP

Kimley»Horn

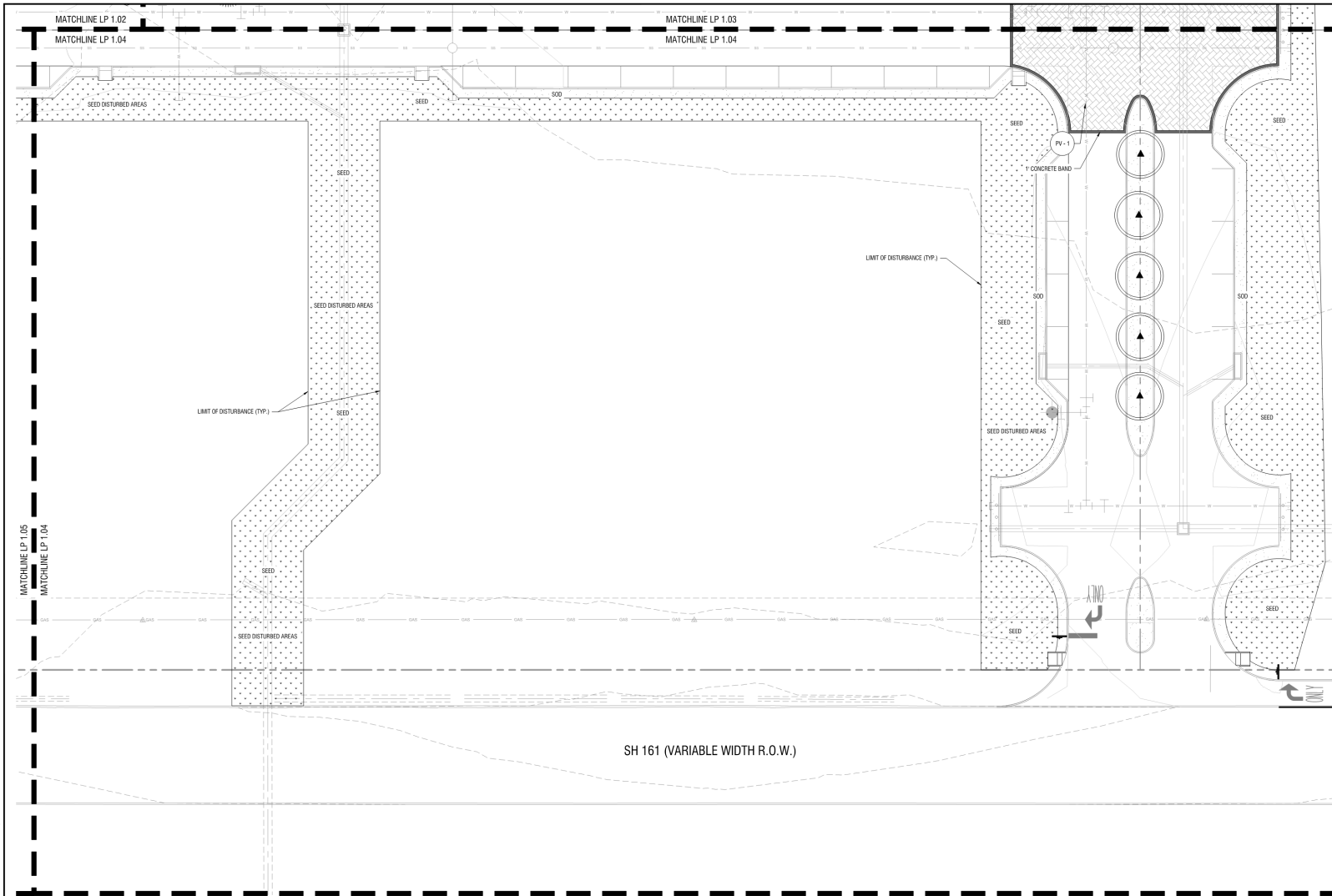
14850 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75248
PHONE 972.368.3820
TEKAS REGISTERED ENGINEERING FIRM #208

LANDSCAPE PLAN

KALTERRA
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS








SHEET NUMBER
LP 1.03







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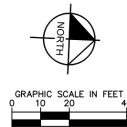
PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME
	AC	23	Caddo Sugar Maple
	PC	23	Chinese Platane
	QS	25	Shumard Red Oak
	QV	18	Southern Live Oak
	TD	16	Bald Cypress
	UC	22	Cedar Elm
	UP	27	Lacebark Elm

ORNAMENTAL TREE	CODE	QTY	COMMON NAME
	CH	4	Desert Willow
	YC	3	Yapoon Holly
	IM	6	Chaste Tree
SHRUBS	CODE	QTY	COMMON NAME
	ADC	90	Compact Abelia
	LCS	132	Compact Texas Sage
	LPF	89	Purple Diamond Fringe Flower
	ML	126	Dwarf Southern Magnolia
	MYR	286	Dwarf Wax Myrtle

	RHA	193	Indian Hawthorn
	SG	387	Cherry Sage
GRASSES	CODE	QTY	COMMON NAME
	MUH	479	Pink Muhly
RHIZOM AREA	CODE	QTY	COMMON NAME
	NP	456	Mexican Feathergrass
GROUND COVERS	CODE	QTY	COMMON NAME
	AE	538	Seasonal Color
	CDS	604	Berkeley Sedge

	SS2	273	Pink Skutumpah
	VER	155	Verberna
MIRG	CODE	QTY	COMMON NAME
	S00	TBD	Common Bermuda
	SEED	TBD	Common Bermuda
	MULCH	TBD	Shredded Hardwood Mulch
	STEEL EDGE	TBD	Steel Edging



Kimley»»Horn
INCORPORATED

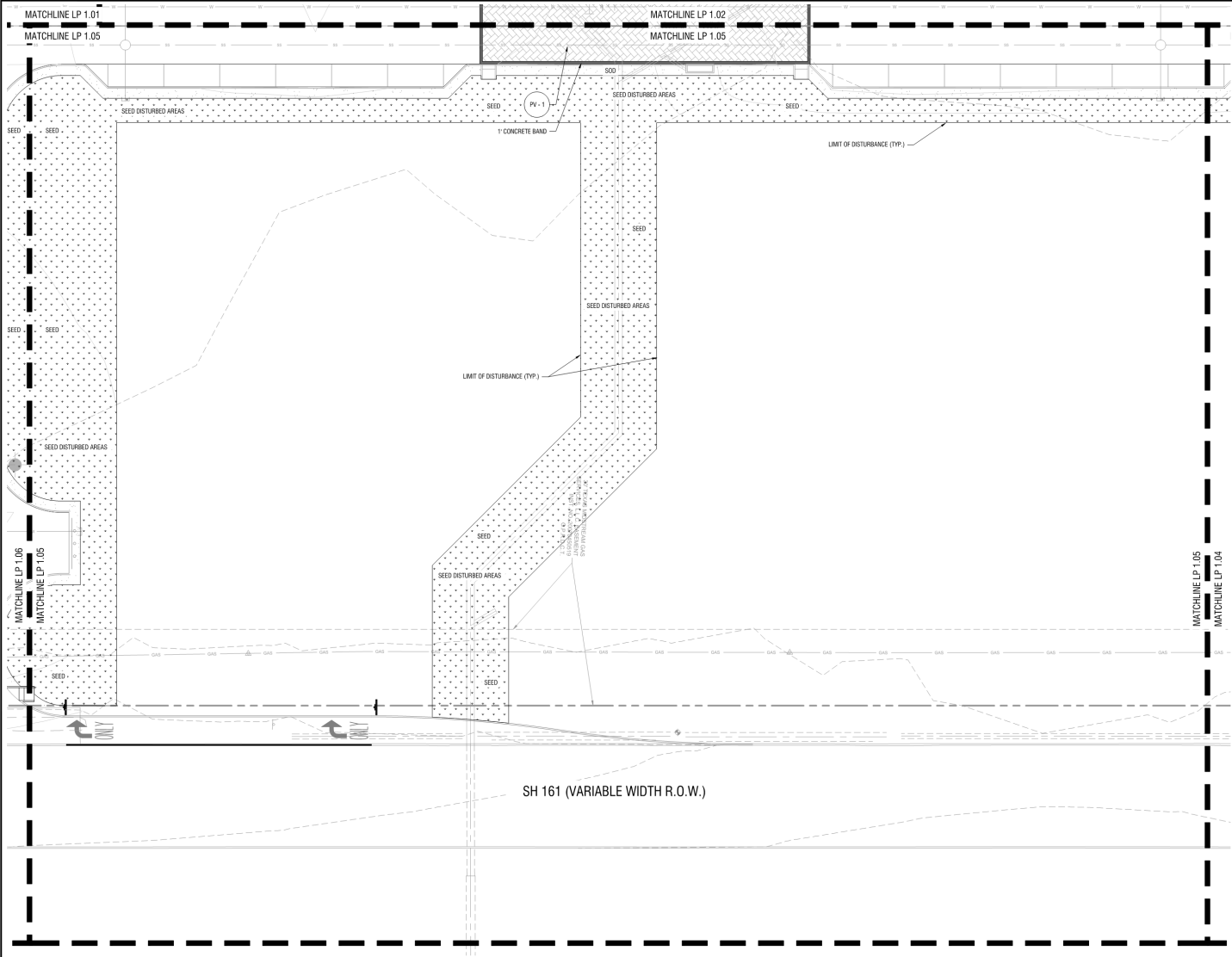


PROJECT No.	DATE	SEPT. 2020
061305001	SCALE:	AS SHOWN
	DESIGNED BY:	MLS
	DRAWN BY:	MLS
	CHECKED BY:	KLP

LANDSCAPE PLAN

KALTERRA
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

SHEET NUMBER
LP 1.04

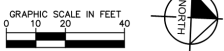


PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME
	AC	23	Caddo Sugar Maple
	PC	23	Chinese Pistache
	QS	25	Shumard Red Oak
	QV	18	Southern Live Oak
	TD	16	Bald Cypress
	UC	22	Cedar Elm
	UP	27	Lacinate Elm
ORNAMENTAL TREE	CODE	QTY	COMMON NAME
	CH	4	Desert Willow
	IM	3	Yaupon Holly
	VC	6	Chaste Tree
SHRUBS	CODE	QTY	COMMON NAME
	ADC	90	Compact Abelia
	LCS	132	Compact Texas Sage
	LPF	89	Purple Diamond Fringe Flower
	ML	126	Dwarf Southern Magnolia
	MYR	286	Dwarf Wax Myrtle
	RHA	193	Indian Hawthorn
	SG	397	Cherry Sage
GRASSES	CODE	QTY	COMMON NAME
	MUH	479	Pink Muhly
SHRUB AREAS	CODE	QTY	COMMON NAME
	NP	458	Mexican Feathergrass
GROUND COVERS	CODE	QTY	COMMON NAME
	AE	538	Seasonal Color
	CDS	804	Bentley Sedge
	SS2	273	Pink Skutumpah
	VER	155	Verbena
MISC	CODE	QTY	COMMON NAME
	SOD	TBD	Common Bermuda
	SEED	TBD	Common Bermuda
	MULCH	TBD	Shredded Hardwood Mulch
	STEEL EDGE	TBD	Steel Edging

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD. NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



PROJECT No: 06190001
DATE: SEPT 2020
SCALE: AS SHOWN
DESIGNED BY: MLS
DRAWN BY: MLS
CHECKED BY: MFL

Kimley»Horn
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15465 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
PHOENIX, AZ 85024-3820
PHONE: 602.770.7300 FAX: 602.728.3820
TEAS REGIST. ENG. NO. 10487

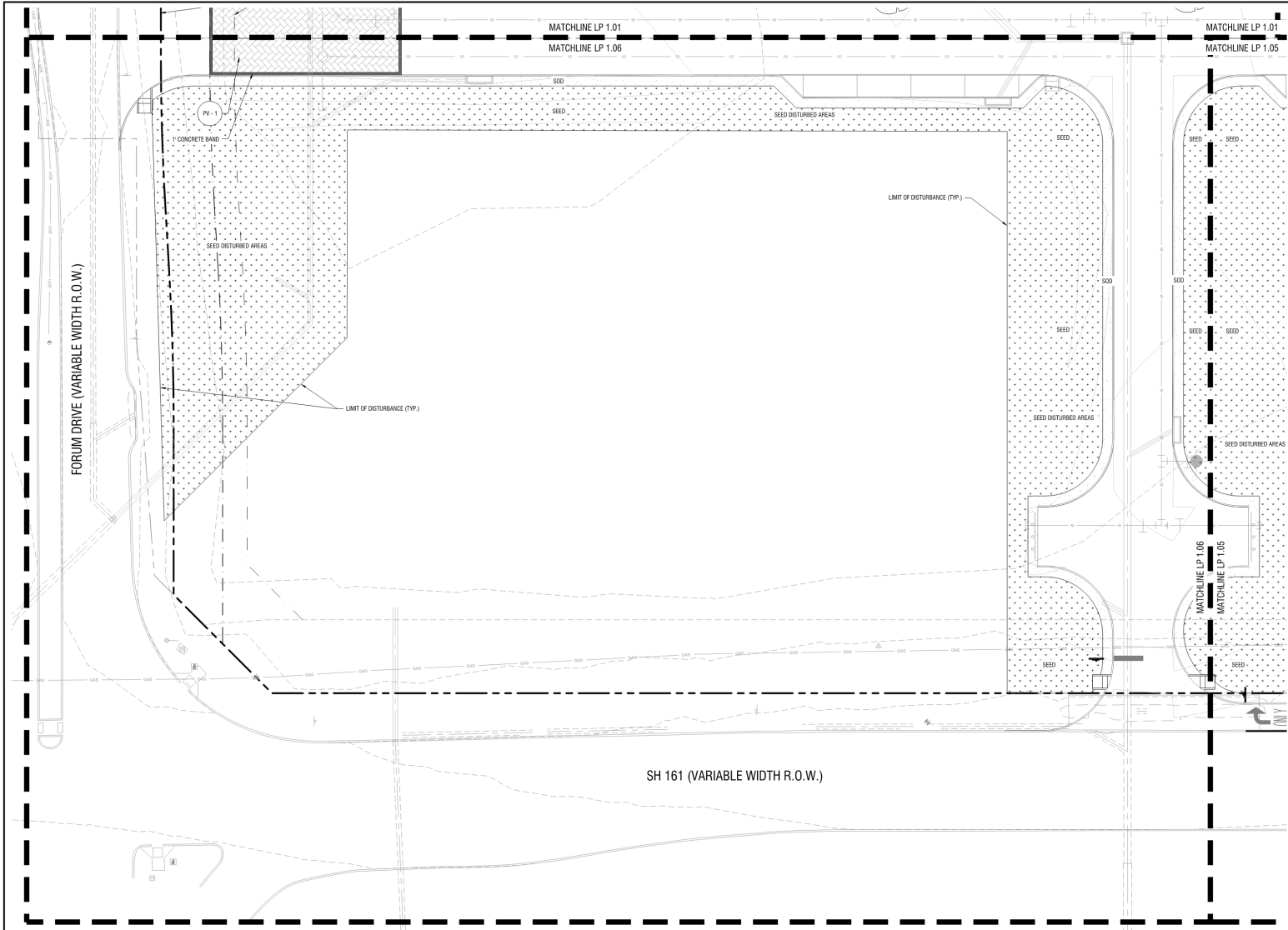
KALTERRA
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

LANDSCAPE PLAN
LP 1.05




























DATE: 09/20/20
REVISIONS

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NOTES:
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2. SEE SHEET 06190002 FOR PROJECT INFORMATION.
3. SEE SHEET 06190003 FOR PROJECT INFORMATION.
4. SEE SHEET 06190004 FOR PROJECT INFORMATION.
5. SEE SHEET 06190005 FOR PROJECT INFORMATION.
6. SEE SHEET 06190006 FOR PROJECT INFORMATION.
7. SEE SHEET 06190007 FOR PROJECT INFORMATION.
8. SEE SHEET 06190008 FOR PROJECT INFORMATION.
9. SEE SHEET 06190009 FOR PROJECT INFORMATION.
10. SEE SHEET 06190010 FOR PROJECT INFORMATION.
11. SEE SHEET 06190011 FOR PROJECT INFORMATION.
12. SEE SHEET 06190012 FOR PROJECT INFORMATION.
13. SEE SHEET 06190013 FOR PROJECT INFORMATION.
14. SEE SHEET 06190014 FOR PROJECT INFORMATION.
15. SEE SHEET 06190015 FOR PROJECT INFORMATION.
16. SEE SHEET 06190016 FOR PROJECT INFORMATION.
17. SEE SHEET 06190017 FOR PROJECT INFORMATION.
18. SEE SHEET 06190018 FOR PROJECT INFORMATION.
19. SEE SHEET 06190019 FOR PROJECT INFORMATION.
20. SEE SHEET 06190020 FOR PROJECT INFORMATION.



PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME
	AC	23	Caddo Sugar Maple
	PC	23	Chinese Pistache
	QS	25	Shumard Red Oak
	QV	18	Southern Live Oak
	TD	16	Bald Cypress
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	UP	27	Lanceleaf Elm
ORNAMENTAL TREE	CODE	QTY	COMMON NAME
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	VC	6	Chaste Tree
SHRUBS	CODE	QTY	COMMON NAME
	ADC	90	Compact Abelia
	LCS	132	Compact Texas Sage
	LPF	89	Purple Diamond Fringe Flower
	ML	126	Dwarf Southern Magnolia
	MYR	286	Dwarf Wax Myrtle
	RHA	193	Indian Hawthorn
	SG	397	Cherry Sage
GRASSES	CODE	QTY	COMMON NAME
	MUH	479	Pink Muhly
SHRUB AREAS	CODE	QTY	COMMON NAME
	HP	458	Mexican Feathergrass
GROUND COVERS	CODE	QTY	COMMON NAME
	AE	538	Seasonal Color
	CDS	804	Berkeley Sedge
	SS2	273	Pink Skullcap
	VER	155	Verbena
MISC	CODE	QTY	COMMON NAME
	SOD	TBD	Common Bermuda
	SEED	TBD	Common Bermuda
	MULCH	TBD	Shredded Hardwood Mulch
	STEEL EDGE	TBD	Steel Edging

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD.
NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED
TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR
CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY,
THE DRAWING SHALL TAKE PRECEDENCE.

Kimley»Horn

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13455 INCEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 200
DALLAS, TEXAS 75244
PHONE: (214) 731-1300 FAX: (214) 731-3320
TEXAS REGISTERED ENGINEERING FIRM #28

Kimley»Horn

7.7.2019
13455 INCEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 200
DALLAS, TEXAS 75244
PHONE: (214) 731-1300 FAX: (214) 731-3320
TEXAS REGISTERED ENGINEERING FIRM #28

PROJECT No.
911555001

DATE: SEPT 2020

SCALE: AS SHOWN

DESIGNED BY: MJS

DRAWN BY: MJS

CHECKED BY: RLP

LANDSCAPE PLAN

KALTERRA
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

SHEET NUMBER
LP 1.06

DATE

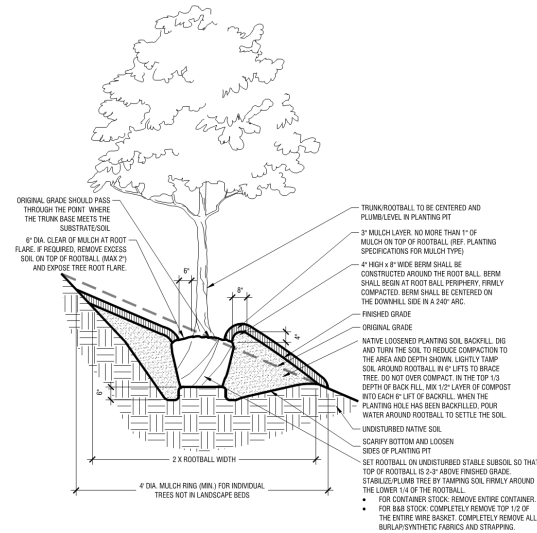
REVISIONS

No.

BY

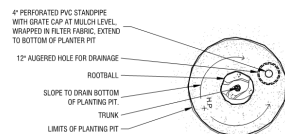
NOTES:

1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. REF. TREE STAKING DETAIL THIS SHEET.

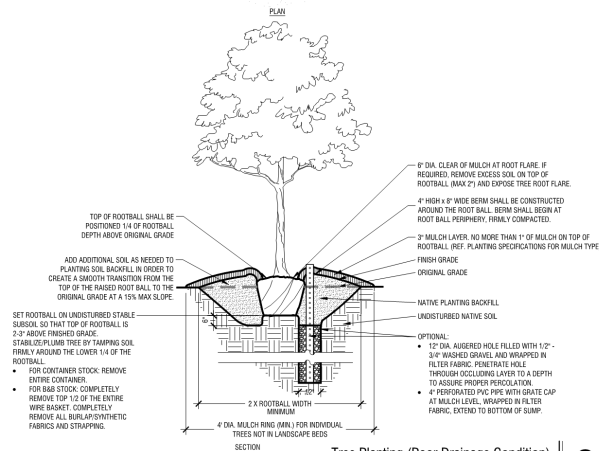


Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)

Scale: NTS

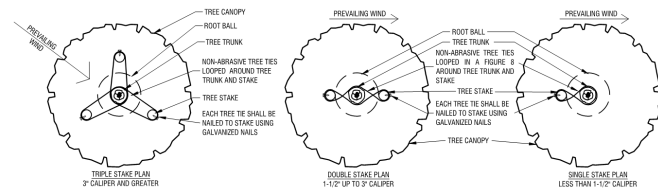


NOTES:
1. THIS DETAIL IS FOR TREE PLANTING IN PO
DRAINAGE CONDITIONS ONLY. REF. DETAIL
THIS SHEET FOR TYPICAL TREE PLANTING

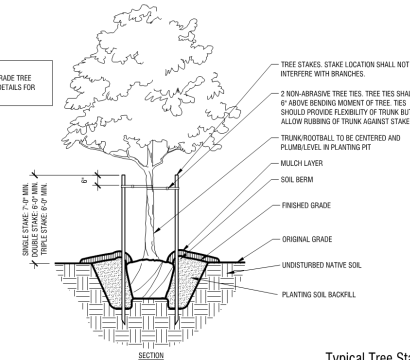


Tree Planting (Poor Drainage Condition)

Scale: NTS

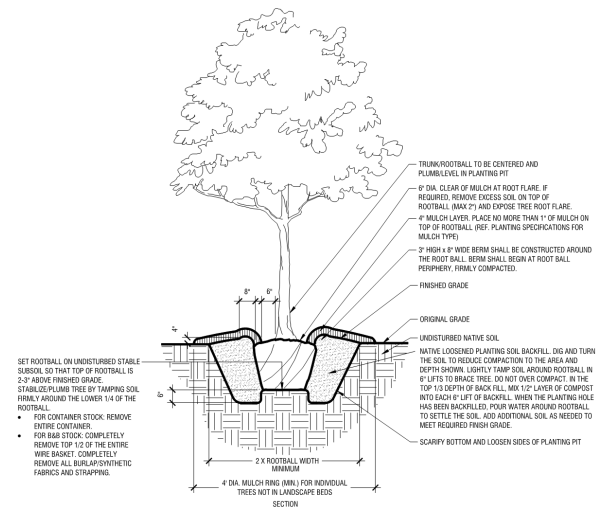


NOTES:
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



Typical Tree Staking

Scale: NTS



Typical Tree Planting (Up to 3" Caliper)

Scale: NTS

[illegible]

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13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
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PHONE: 972.336.3820
FAX: 972.336.3820
TEXAS REGISTERED ENGINEERING FIRM # 928

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Kimley»Horn

P.L.A. KENZIE L. PORTER
I.A. No. 3128 Date: 10/22/2025

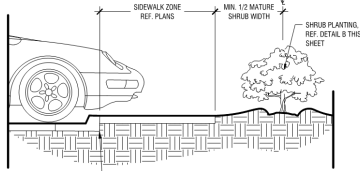
PROJECT No. 061305001	DATE: SEPT, 2020
SCALE: AS SHOWN	DESIGNED BY: MLS
DRAWN BY: MLS	CHECKED BY: KLP

LANDSCAPE DETAILS

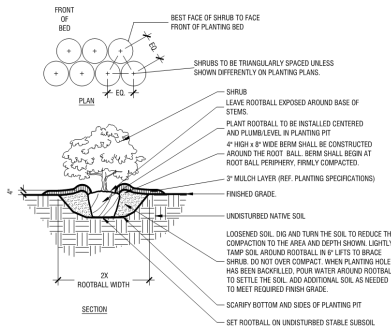
KALTERRA
CITY OF GRAND PRAIRIE
GRAND COUNTY, TEXAS

SHEET NUMBER
LP 3.01

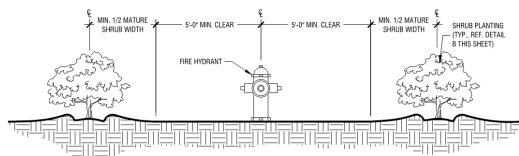
- NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING LAYOUT.
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



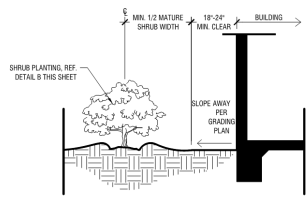
Shrub Planting at Sidewalk
Scale: NTS



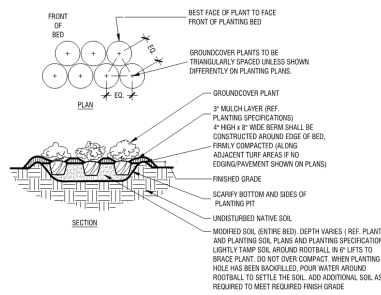
Typical Shrub Planting
Scale: NTS



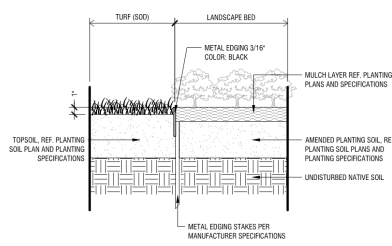
Shrub Planting at Fire Hydrant
Scale: NTS



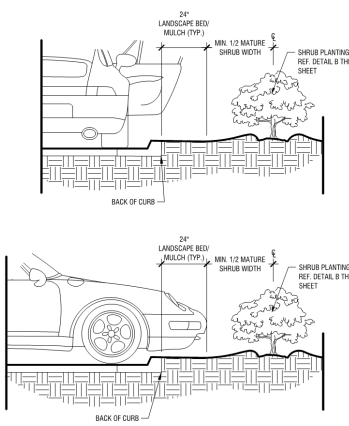
Shrub Planting at Building Edge
Scale: NTS



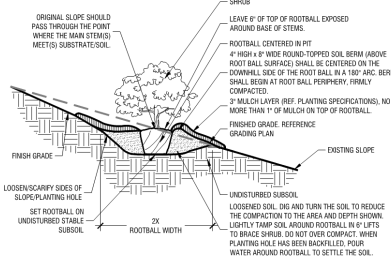
Typical Groundcover Planting
Scale: NTS



METAL EDGING (AT TURF & LANDSCAPE BED)
Scale: 1 1/2\"/>



Shrub Planting at Curb
Scale: NTS



Shrub Planting On 5-50% (20:1 TO 2:1) Slope
Scale: NTS

PROJECT NO. 00130501		DATE: SEPT 2020	SCALE: AS SHOWN	DESIGNED BY: MLS	DRAWN BY: MLS	CHECKED BY: RLP
Kimley»Horn P.E. & S.E. ENGINEERS 13455 NOEL ROAD, SUITE 100 DALLAS, TEXAS 75244 TEL: 214.343.7200 FAX: 214.343.7201 WWW.KIMLEY-HORN.COM						
LANDSCAPE DETAILS						
KALTERRA CITY OF GRAND PRAIRIE TARRANT COUNTY, TEXAS						
SHEET NUMBER LP 3.02						BY: _____ DATE: _____ REVISIONS: _____ No. _____

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3. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR AT THE PROJECT SITE.
4. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION AND DEPTH INFORMATION.
5. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA AND CORRECTIONS.
6. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION SPECIFICATIONS AND STANDARDS.
7. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PLANTING SCHEDULE AND PLANTING PLANS.
8. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PLANTING SOIL SPECIFICATIONS AND AMENDMENTS.
9. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PLANTING MATERIALS AND LABOR.
10. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PLANTING SITES AND SITES INFORMATION.
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20. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PLANTING SITES AND SITES INFORMATION.

Exhibit D - Building Elevations
Page 1 of 12

BUILDING 1									
LUMI APPLICABILITY: BUILDING 1									
TOTAL FACADE AREA: 16,318 S.F.									
TOTAL FACADE AREA EXCLUDING OPENINGS, WINDOWS AND DOORS: 15,328.0 S.F.									
PROPOSED BUILDING HEIGHT: 51' & 11"									
BLDG MATERIALS	NORTH		EAST		WEST		SOUTHWEST		INSIDE EAST
BRICK	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.
STUCCO	433.00	2.6%	387.00	2.4%	41.8%	0.3%	345.00	2.1%	23.4%
FIBER CEMENT SIDING	1,594.00	9.8%	4,038.00	24.8%	418.00	2.6%	2,038.00	12.5%	134.0%
TOTAL	6,841.00	42.2%	8,463.00	51.9%	469.8%	2.9%	5,423.00	33.1%	350.4%
BRICK SELECTION	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.
OFF-WHITE	2,000.00	12.3%	5,000.00	30.1%	500.00	3.1%	2,500.00	15.1%	1,500.00
DARK GRAY	800.00	4.9%	400.00	2.4%	100.00	0.6%	400.00	2.4%	200.00
GRAY	1,794.00	10.3%	3,638.00	21.9%	318.00	1.9%	1,638.00	9.7%	1,000.00
RED	300.00	1.8%	425.00	2.6%	10.00	0.0%	10.00	0.0%	10.00
TOTAL	4,894.00	29.5%	8,463.00	51.9%	628.00	3.8%	4,548.00	27.2%	2,710.00



02 BUILDING '1' EAST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '1' NORTH ELEVATION
SCALE: 1/8" = 1'-0"

09/09/2020



Cross
architects

ARCHITECT:
CROSS ARCHITECTS, PLLC
879 JUNCTION DRIVE
SUITE 100
P.O. BOX 6644
WWW.CROSSARCHITECTS.COM

THE FOUNDRY
GRAND PRAIRIE, TEXAS

DATE: 09/09/2020

PROJECT NUMBER: 20053

REVISIONS

NO. DATE

DRAWINGS ISSUED FOR:

PRICING

SHEET NUMBER

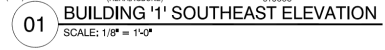
A01

BLDG. '1'
EXTERIOR
ELEVATIONS

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CASE NUMBER
S200901

CASE NUMBER
S200901



Page 3 of 12



ARCHITECT:
CROSS ARCHITECTS, PLLC
879 JUNCTION DRIVE
ALLEN, TX 75013
P: 972.398.6644
WWW.CROSSARCHITECTS.COM

THE FOUNDRY
GRAND PRAIRIE, TEXAS

DATE: 09/09/2020

PROJECT NUMBER:
20053

REVISIONS	
NO	DATE

RAWINGS ISSUED FOR: PRICING

SHEET NUMBER

A00

A03
BLDG. '1'
EXTERIOR
ELEVATIONS

CASE NUMBER
S200901

BUILDING 1																	
ACH AFFORDABILITY				BUILDING 7				TOTAL FACILITIES AREA									
TOTAL FACILITIES AREA EXCLUDING OPENINGS, WINDOWS AND DOORS:				TOTAL FACILITIES AREA EXCLUDING OPENINGS, WINDOWS AND DOORS:				TOTAL FACILITIES AREA EXCLUDING OPENINGS, WINDOWS AND DOORS:									
PROPOSED FACH AREA: 51.4 S'2"				PROPOSED FACH AREA: 51.4 S'2"				PROPOSED FACH AREA: 51.4 S'2"									
B/C		NORTH		S.E.		WEST		SOUTHWEST		SOUTHWEST		INDSIDE EAST		INDSIDE WEST		TOTALS	
ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH
450.00	60.00	267.00	38.00	283.00	41.00	396.00	23.4%	545.00	21.8%	134.00	10.0%	63.00	26.00	79.00	22.7%	79.00	32.0%
450.00	26.7%	435.00	12.6%	433.00	5.2%	433.00	62.4%	434.00	13.4%	29.00	21.0%	29.00	29.00	29.00	10.0%	434.00	40.0%
CHANGING SENSORS	540.00	8.00	488.00	5.00	488.00	5.00	57.00%	14.1%	570.00	14.1%	510.00	51.00%	51.00%	10.0%	70.00	1.0%	6.00%
TOTAL		460.00	32.0%	460.00	32.0%	460.00	32.0%	460.00	32.0%	530.00	32.0%	530.00	32.0%	530.00	32.0%	530.00	32.0%
BUILDING 1																	
B/C		NORTH		S.E.		WEST		SOUTHWEST		SOUTHWEST		INDSIDE EAST		INDSIDE WEST		TOTALS	
ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH	ACH
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%
140.00	14.0%	140.00	14.0%	140.00	14.0%	140.00	14.0%										

Exhibit D - Building Elevations
Page 4 of 12

BUILDING 2												
BUILDING 2						S.D.C. APPLICATION						
TOTAL FACADE AREA:						52,037 S.F.						
TOTAL FACADE AREA EXCLUDING OPENINGS, WINDOWS AND DOORS:						12,000.00 S.F.						
PROPOSED BUILDING HEIGHT:						39' 2 1/2"						
FACADE MATERIALS												
	NORTH			EAST			WEST			TOTALS		
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
BRICK	3,984.00	7.6%	14,976.00	28.8%	15,432.00	29.6%	2,960.00	5.7%	2,960.00	5.7%	13,832.00	26.6%
STUCCO	2,772.00	5.3%	2,772.00	5.3%	2,772.00	5.3%	885.00	1.7%	885.00	1.7%	14,400.00	27.7%
FIBER CEMENT STONE	444.00	0.8%	444.00	0.8%	444.00	0.8%	0.00	0.0%	0.00	0.0%	1,332.00	2.6%
TOTAL	6,000.00	100%	49,092.00	100%	49,092.00	100%	2,445.00	100%	2,445.00	100%	13,832.00	100%

BUILDING 2												
BUILDING 2						S.D.C. APPLICATION						
TOTAL FACADE AREA:						52,037 S.F.						
TOTAL FACADE AREA EXCLUDING OPENINGS, WINDOWS AND DOORS:						12,000.00 S.F.						
PROPOSED BUILDING HEIGHT:						39' 2 1/2"						
FACADE MATERIALS												
	NORTH			EAST			WEST			TOTALS		
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
BRICK SELECTION	1,000.00	16.7%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	2,000.00	14.3%
OFF WHITE	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	29,600.00	56.9%
DARK GRAY	896.00	14.9%	525.00	10.7%	156.00	3.2%	23.76	0.5%	26.76	0.2%	1,581.76	11.4%
GRAY	764.00	12.6%	400.00	8.2%	764.00	15.8%	3,120.00	6.5%	3,120.00	22.5%	5,608.00	40.3%
RED	2,144.00	35.8%	2,144.00	43.8%	3,932.00	84.0%	44.00	1.0%	44.00	0.3%	12,760.00	92.0%
TOTAL	3,804.00	100%	3,969.00	100%	5,842.00	100%	3,187.76	100%	3,187.76	100%	18,903.76	100%



02 BUILDING '2' EAST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '2' NORTH ELEVATION
SCALE: 1/8" = 1'-0"



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A04

BLDG. '2'

EXTERIOR ELEVATIONS

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Exhibit D - Building Elevations
Page 5 of 12

BUILDING 2														
LOC. APPLICABILITY: BUILDING 2			SLOTT 3.0											
TOTAL FACADE AREAS			13,000.0 S.F.											
PROPOSED BUILDING HEIGHT: 50' 2 1/2"														
BRICK MATERIALS			NORTH		EAST		WEST		SOUTHWEST		SOUTHWEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
BRICK	3,904.00	54.0%	3,904.00	54.0%	3,904.00	54.0%	3,904.00	54.0%	3,904.00	54.0%	3,904.00	54.0%	3,904.00	54.0%
STUCCO	2,272.00	37.7%	2,272.00	37.7%	2,272.00	37.7%	2,272.00	37.7%	2,272.00	37.7%	2,272.00	37.7%	2,272.00	37.7%
BRICK CEMENT STUCCO	444.00	7.7%	444.00	7.7%	444.00	7.7%	444.00	7.7%	444.00	7.7%	444.00	7.7%	444.00	7.7%
TOTAL	6,620.00	100%	6,620.00	100%	6,620.00	100%	6,620.00	100%	6,620.00	100%	6,620.00	100%	6,620.00	100%

BUILDING 2														
BRICK SELECTION			NORTH		EAST		WEST		SOUTHWEST		SOUTHWEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
OFF-WHITE	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%
DARK GRAY	896.00	15.0%	896.00	15.0%	896.00	15.0%	896.00	15.0%	896.00	15.0%	896.00	15.0%	896.00	15.0%
GRAY	764.00	12.6%	764.00	12.6%	764.00	12.6%	764.00	12.6%	764.00	12.6%	764.00	12.6%	764.00	12.6%
RED	2,144.00	35.6%	2,144.00	35.6%	2,144.00	35.6%	2,144.00	35.6%	2,144.00	35.6%	2,144.00	35.6%	2,144.00	35.6%
TOTAL	3,904.00	100%	3,904.00	100%	3,904.00	100%	3,904.00	100%	3,904.00	100%	3,904.00	100%	3,904.00	100%



03 BUILDING '2' WEST ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING '2' SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '2' SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

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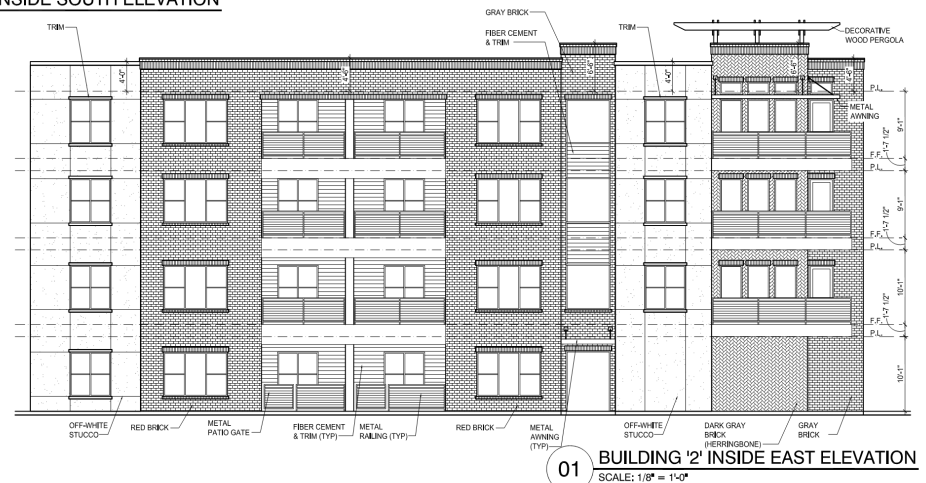
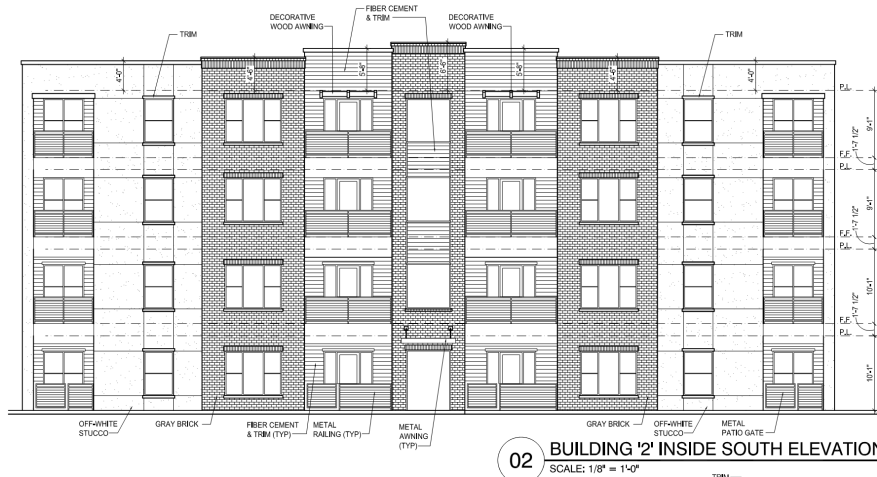
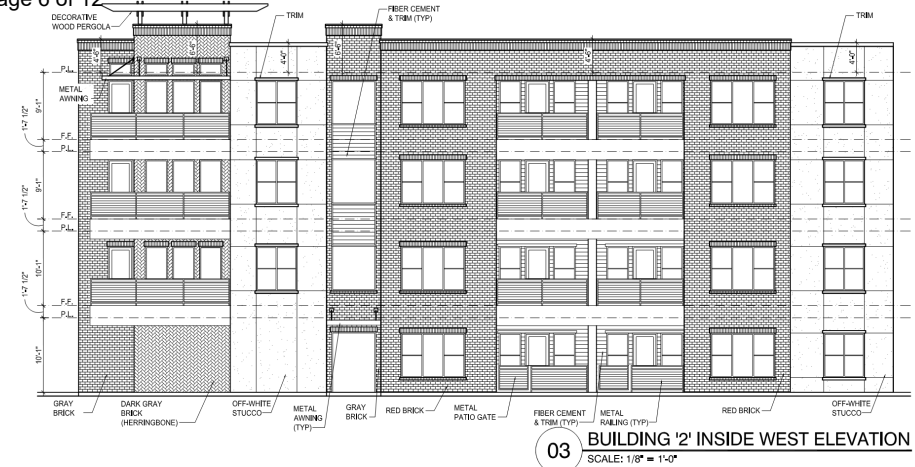
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Exhibit D - Building Elevations
Page 6 of 12

BUILDING 2												
DOC APPLICABILITY: BUILDING 2												
TOTAL FACADE AREA: 52,037 S.F.												
TOTAL FACADE AREA EXCLUDING OPENINGS, WINDOWS AND DOORS: 13,000.00 S.F.												
PROPOSED BUILDING HEIGHT: 50'-2 1/2"												
BUILDING MATERIALS	NORTH		EAST		WEST		SOUTHWEST		SOUTHEAST		TOTALS	
BRICK	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
STUCCO	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
FIBER CEMENT SIGNS	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
TOTAL	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%

BRICK SELECTION	NORTH		EAST		WEST		SOUTHWEST		SOUTHEAST		TOTALS	
OFF-WHITE	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
GRAY	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
RED	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
TOTAL	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%



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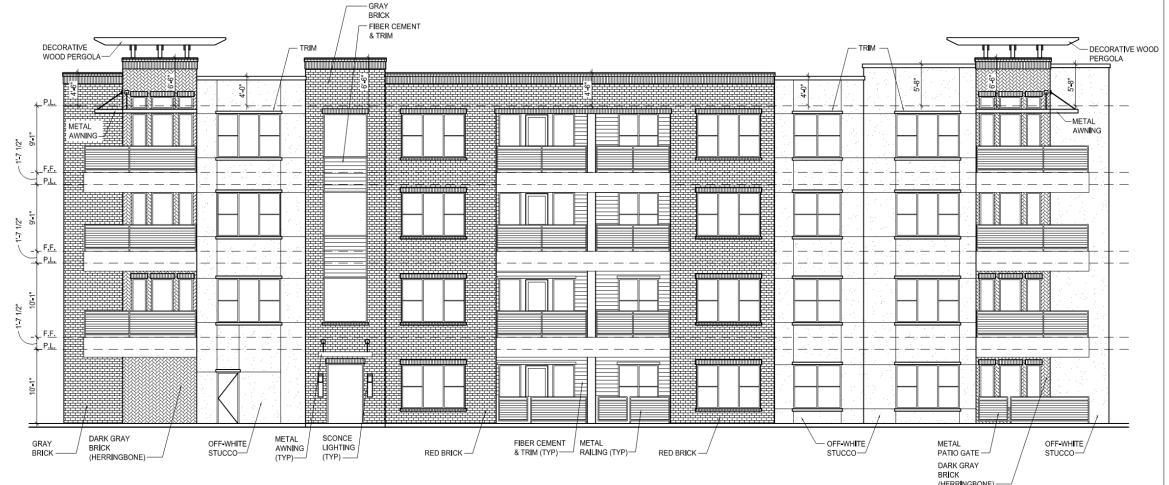
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BLDG. '2' EXTERIOR ELEVATIONS

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BRACK SELECTION	SOUTH		EAST		WEST		NORTHEAST		NORTHWEST		INVEST EAST		INVEST WEST		INVEST NORTH	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
OFF-WHITE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
GRAY-BLACK	306.00	12.36	336.00	16.76	136.00	6.76	495.00	32.46	495.00	32.46	437.00	29.36	436.00	30.36	0.00	0.00
TEAL	264.00	10.36	282.00	14.06	460.00	23.06	447.00	29.06	988.00	64.06	988.00	71.36	988.00	71.36	988.00	71.36
RED	2244.00	64.96	1138.00	56.96	1138.00	55.76	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1238.00	50.76	50.76
TOTAL	3304.00	100.00	2077.00	100.00	1676.00	100.00	945.00	100.00	945.00	100.00	1436.00	100.00	1384.00	100.00	988.00	100.00

Exhibit D - Building Elevations
Page 8 of 12

[illegible]

02 BUILDING '3' WEST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '3' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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20033

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BLDG. '3'

EXTERIOR

ELEVATIONS

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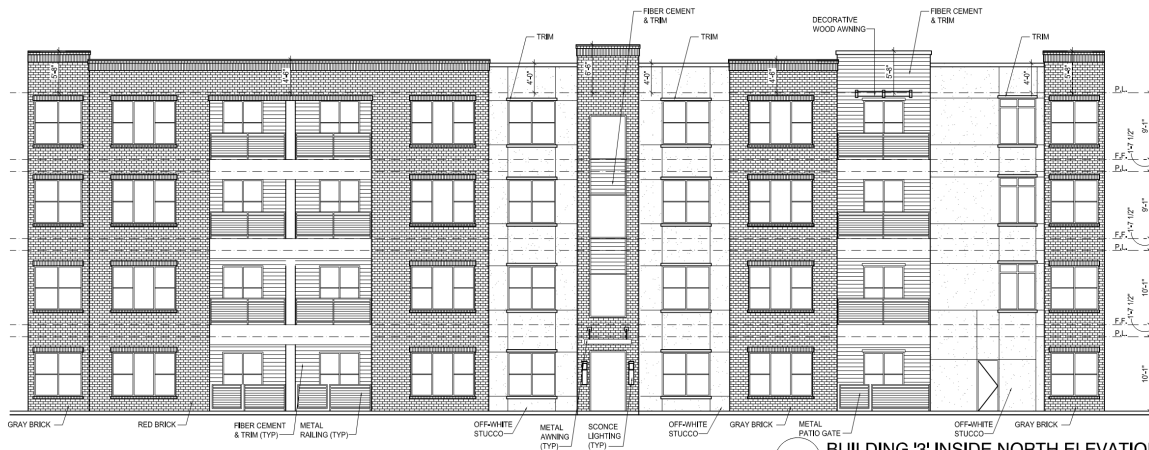
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Exhibit D - Building Elevations
Page 9 of 12

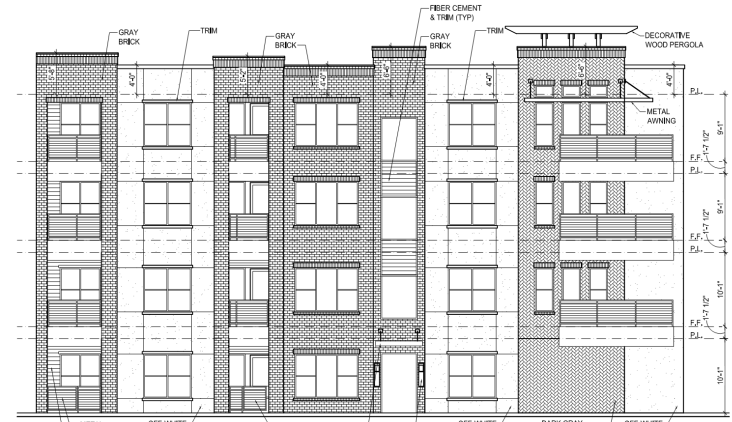
BUILDING 3		BUILDING 3	
TOTAL FACADE AREA:		4795 S.F.	
TOTAL FACADE AREA EXCLUDING OPENINGS, WINDOWS AND DOORS:		3223.00 S.F.	
PROPOSED BUILDING HEIGHT: 30'-2 1/2"			

BRICK MATERIALS	SOUTH		EAST		WEST		NORTHEAST		NORTHWEST		INSIDE EAST		INSIDE WEST		INSIDE NORTH		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%		
BRICK	4135.00	54.5%	3075.00	41.5%	3090.00	41.6%	195.00	2.6%	885.00	11.7%	1565.00	20.8%	1395.00	18.6%	2405.00	32.0%	1945.00	25.8%
STUCCO	285.00	3.7%	2214.00	29.4%	2185.00	29.3%	1175.00	15.6%	1175.00	15.6%	1175.00	15.6%	1175.00	15.6%	1175.00	15.6%	2475.00	32.7%
FIBER CEMENT SIDING	60.00	0.8%	21.00	0.3%	22.00	0.3%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	63.00	0.8%
TOTALS	7590.00	100%	4710.00	100%	4440.00	100%	2120.00	100%	2120.00	100%	2865.00	100%	2865.00	100%	4610.00	100%	3223.00	100%

BRICK SELECTION	SOUTH		EAST		WEST		NORTHEAST		NORTHWEST		INSIDE EAST		INSIDE WEST		INSIDE NORTH	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
OFF-WHITE	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%
DARK GRAY	180.00	3.7%	180.00	3.7%	180.00	3.7%	180.00	3.7%	180.00	3.7%	180.00	3.7%	180.00	3.7%	180.00	3.7%
GRAY	765.00	16.1%	765.00	16.1%	765.00	16.1%	765.00	16.1%	765.00	16.1%	765.00	16.1%	765.00	16.1%	765.00	16.1%
RED	1145.00	24.3%	1145.00	24.3%	1145.00	24.3%	1145.00	24.3%	1145.00	24.3%	1145.00	24.3%	1145.00	24.3%	1145.00	24.3%
TOTAL	1000.00	100%	1000.00	100%	1000.00	100%	1000.00	100%	1000.00	100%	1000.00	100%	1000.00	100%	1000.00	100%



02 BUILDING '3' INSIDE NORTH ELEVATION
SCALE: 1/8" = 1'-0"



03 BUILDING '3' INSIDE WEST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '3' INSIDE EAST ELEVATION
SCALE: 1/8" = 1'-0"



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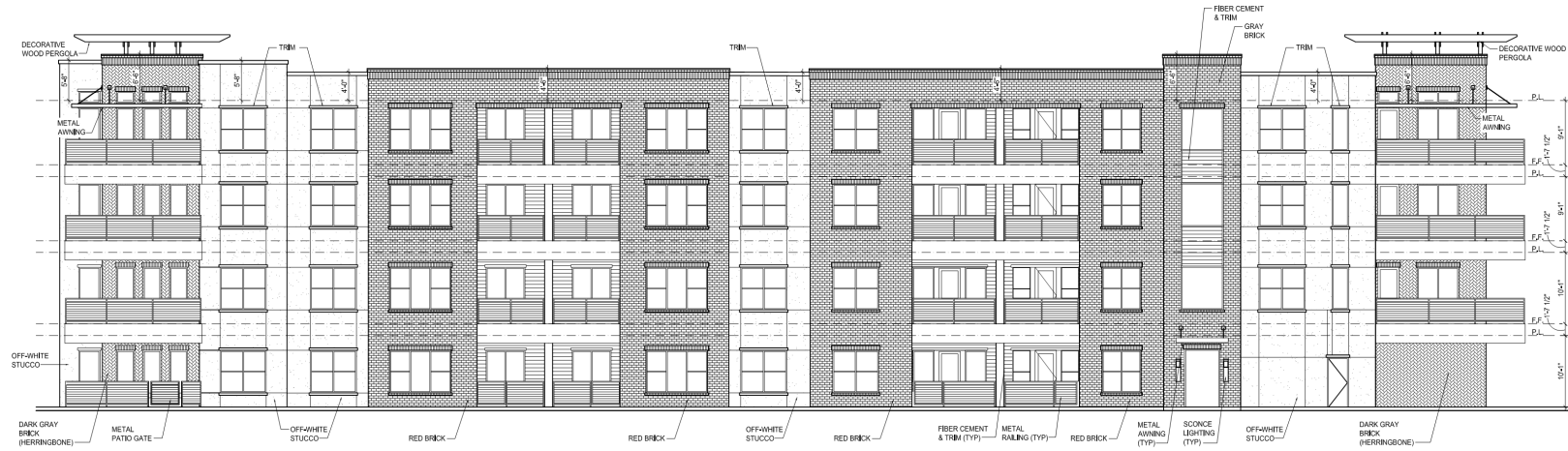
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BLDG. '3' EXTERIOR ELEVATIONS

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Exhibit D - Building Elevations
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BUILDING 4											
LOC. APPLICABILITY: BUILDING 4											
TOTAL FACADE AREAS: 9068 S.F.											
TOTAL FACADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS: 9740.00 S.F.											
PROPOSED BUILDING HEIGHT: 30'-2 1/2"											
SOUTH											
EAST											
WEST											
NORTHWEST											
NORTHEAST											
INSIDE EAST											
INSIDE WEST											
INSIDE NORTH											
TOTALS											
BRICK											
STUCCO											
FIBER CEMENT SIDING											
TOTALS											
BUILDING 4											
SOUTH											
EAST											
WEST											
NORTHWEST											
NORTHEAST											
INSIDE EAST											
INSIDE WEST											
INSIDE NORTH											
TOTALS											
BRICK REDUCTION											
OFF WHITE											
DARK GRAY											
GRAY											
RED											
TOTALS											



03 BUILDING '4' EAST ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING '4' NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '4' NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



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DATE: 09/09/2020

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Exhibit D - Building Elevations
Page 11 of 12

BUILDING 4												
BDC APPLICABILITY: BUILDING 4												
TOTAL FACADE AREA: 5088 S.F.												
TOTAL FACADE AREA EXCLUDING OPENINGS, WINDOWS AND DOORS: 3740.00 S.F.												
PROPOSED BUILDING HEIGHT: 50'-2 1/2"												
BLDG MATERIALS												
	SOUTH		EAST		WEST		NORTHEAST		NORTHWEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
BRICK	2644.00	52.0%	2032.00	53.0%	2032.00	53.0%	1374.00	53.0%	1374.00	48.8%	2748.00	52.0%
STUCCO	2957.00	58.3%	2038.00	52.4%	2038.00	52.4%	1374.00	51.3%	1374.00	48.8%	5376.00	52.4%
FIBER CEMENT SIDING	732.00	14.3%	388.00	9.7%	388.00	9.7%	0.00	0.0%	0.00	0.0%	770.00	14.3%
TOTAL	6333.00	100%	3858.00	100%	3858.00	100%	2547.00	100%	2547.00	100%	6333.00	100%
BUILDING 4												
BRICK SELECTION												
	SOUTH		EAST		WEST		NORTHEAST		NORTHWEST		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
OFF-WHITE	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%
GRAY BRICK	772.00	12.2%	303.00	7.9%	303.00	7.9%	287.00	24.7%	287.00	24.7%	1665.00	26.1%
GRAY	2644.00	41.7%	375.00	9.7%	375.00	9.7%	860.00	64.8%	860.00	64.8%	4914.00	77.1%
RED	2000.00	31.1%	2248.00	58.1%	2248.00	58.1%	1311.00	34.7%	1311.00	34.7%	5858.00	92.1%
TOTAL	5416.00	100%	3858.00	100%	3858.00	100%	3458.00	100%	3458.00	100%	5858.00	100%



02 BUILDING '4' WEST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '4' SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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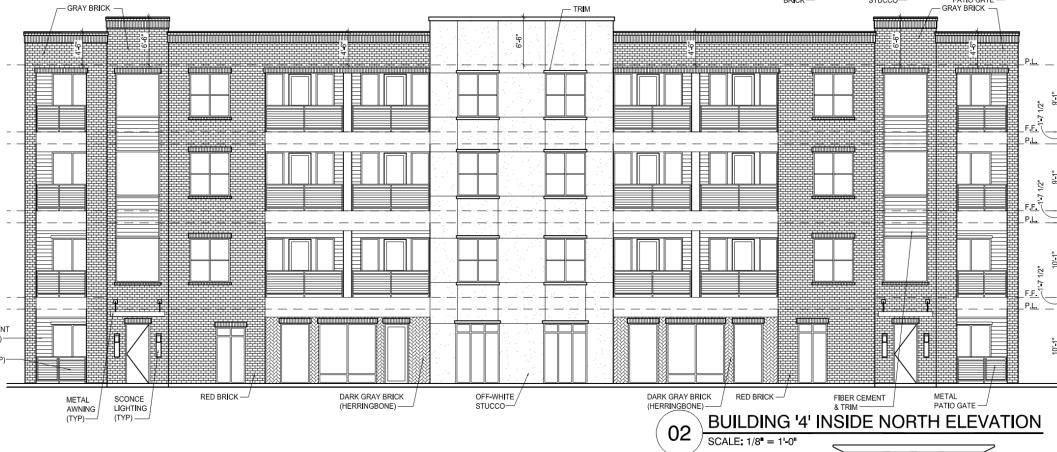
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[illegible]

02 BUILDING '4' INSIDE NORTH ELEVATION
SCALE: 1/8" = 1'-0"



03 BUILDING '4' INSIDE WEST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '4' INSIDE EAST ELEVATION
SCALE: 1/8" = 1'-0"



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A12

BLDG. '4'

BLDG. 4
EXTERIOR

ELEVATIONS

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CASE NUMBER
000001

Category 1: Environmentally-friendly building materials, construction techniques, or other features**Tier I (Pick Three)**

- ☐ i. "Smart" technology which automatically controls functions such as lights and thermostat to reduce energy loads during the day or at times of peak energy usage.
- ☐ ii. Use of solar or other form of alternative energy to satisfy approximately 25% or more of on-site energy demand.
- ☐ iii. Landscaping plan that makes use of native, drought resistant plantings not requiring the use of irrigation. In lieu of sod or turf, drought resistant plantings may be combined with coordinated hardscapes of high design quality and appearance for the purposes of meeting Tier I requirements.
- ☐ iv. Reservation of existing natural areas comprising 5% or more of the overall project size, with such areas incorporating quality non-invasive tree stands, habitat or riparian areas, and not including existing floodplain or other areas already protected or inherently unsuitable for development.
- ☐ v. Permeable pavement for 10% or more of total paving.
- ☒ vi. Electric car charging station (minimum 2).
- ☒ vii. High efficiency windows on residential and common buildings.
- ☐ viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 100% of irrigation in accordance with section 8.4.1.11.

Tier II (Pick Four)

- ☐ i. Integration of commercial/retail/office space or live-work units.
- ☐ ii. Permeable pavement for 5% or more of total paving.
- ☒ iii. Roofing material with a minimum total solar reflectance of 0.70 and a minimum thermal emittance of 0.75 when measured using ASTM testing methods endorsed by the North Central Texas Council of Governments.
- ☐ iv. Significant use of recycled or locally-sourced materials. Locally-sourced is defined as a material having its origin within 50 miles of the project.
- ☐ v. Preservation of existing non-invasive trees with a combined canopy square footage area totaling at least 5% of the overall project size (trees can come from any portion of the site other than areas which are already projected or inherently unsuitable for development, such as floodplain).
- ☒ vi. Qualified recycling program available to every resident.
- ☒ vii. Walking/jogging trails within the development. Where possible, trails should utilize existing natural areas and provide linkages to existing or future area trail networks.
- ☐ viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 50% of irrigation in accordance with section 8.4.1.11.

Tier III (Pick Five)

- ☐ i. Additional insulation.
- ☒ ii. LED or low-wattage lighting.
- ☒ iii. Bicycle parking.
- ☒ iv. Use of additional native plantings totaling 10% or more of minimum landscape requirements.
- ☐ v. Stormwater or grey water reclamation for on-site reuse in accordance with section 8.4.1.11.
- ☐ vi. Solar-ready building design.
- ☒ vii. Outdoor recreation spaces with communal features such as furniture, landscaping, gardens, televisions, movie screens, BBQ grills, pergolas, areas for fitness or sports activities, and interactive water features, not including standard unheated swimming pools, which are designed for water conservation or reuse.
- ☒ viii. Big and small dog parks.

Category 2: High-quality features or designs**Tier I (Pick Four)**

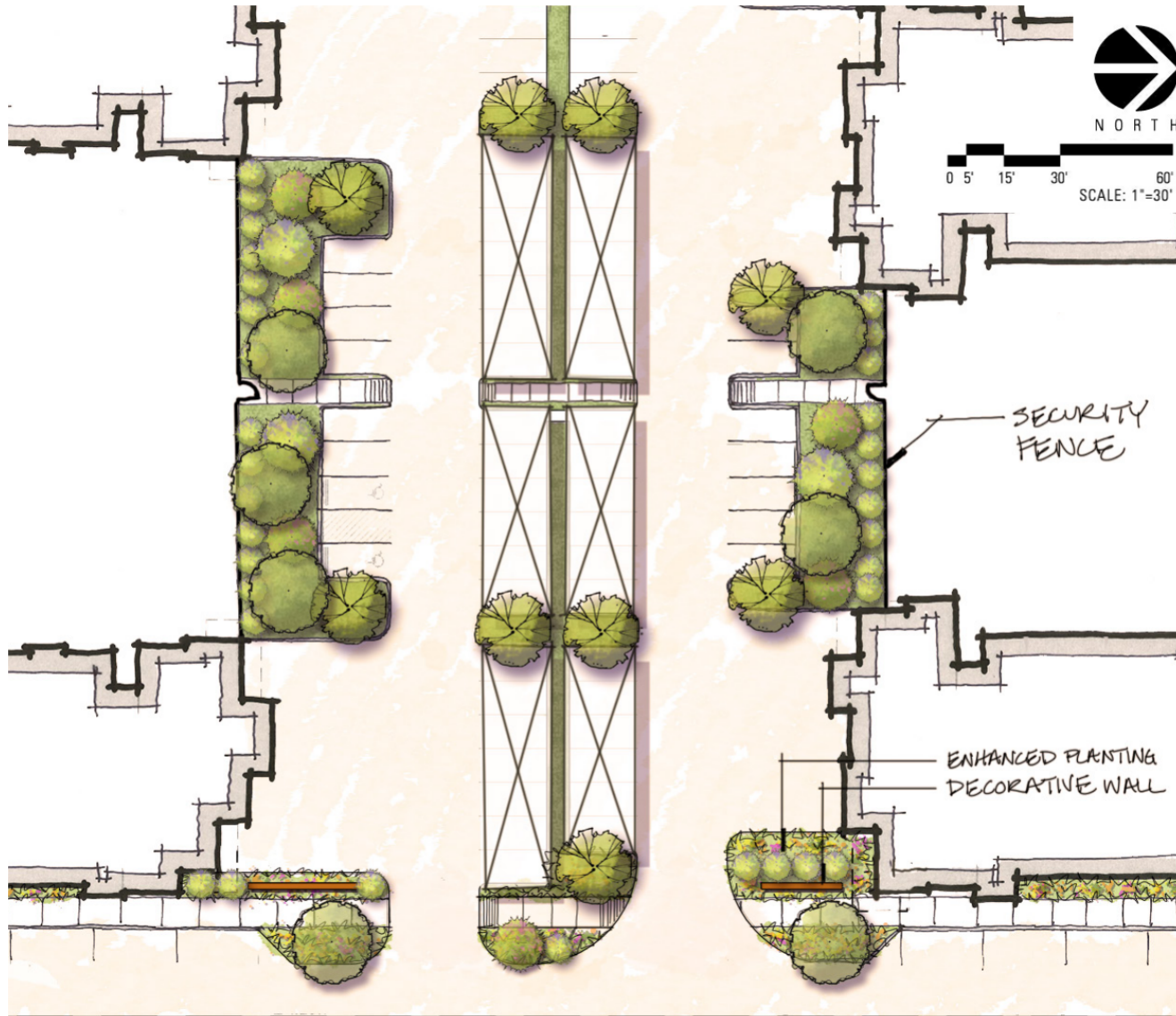
- ☒ i. Granite countertops or similar in kitchens and bathrooms.
- ☒ ii. Upgraded flooring throughout, consisting of masonry tile, such as porcelain or travertine, wood-look tile, true hardwood, stained concrete, or deep pile carpeting.
- ☐ iii. Minimum 10 foot ceilings in living areas, kitchen, dining rooms, hallways, bathrooms and bedrooms.
- ☐ iv. Upgraded woodwork throughout each unit, such as crown molding, wainscot, chair rails, window and door moldings.
- ☒ v. Upgraded cabinetry.

Tier II (Pick Five)

- ☐ i. Arched forms separating rooms and living spaces.
- ☐ ii. Upgraded light fixtures including recessed lighting or indirect lighting.
- ☒ iii. Walk-in closets.
- ☐ iv. Jetted bathtubs.
- ☒ v. Upgraded bathroom and kitchen hardware, including faucets and sinks.
- ☒ vi. Full-size stainless steel major appliances (oven, range, refrigerator, dishwasher, microwave oven).
- ☐ vii. 8 foot doors leading to each room of a unit.

Category 3: Technology (Provide All)

- ☒ a. Integrated USB ports within all units.
- ☒ b. App-enabled functionality for door locks, lighting, thermostat, appliances, or other electronics.
- ☒ c. App-enabled communication between residents and management for the reporting of problems related to mechanical failures, safety concerns, or noise issues.
- ☒ d. Wi-fi internet access provided to users of common amenities such as clubhouse, pool, walking trails, and fitness area.



THE FOUNDRY

GRAND PRAIRIE SITE CONCEPT: ENHANCEMENT

THIS GRAPHIC IS CONCEPTUAL. THE INFORMATION SHOWN IS BASED ON THE BEST INFORMATION AVAILABLE AND IS SUBJECT TO CHANGE.

Kimley»Horn
OCTOBER 2020



Legislation Details (With Text)

File #:	20-10565	Version:	1	Name:	S200603 - Hunter Ferrell Logistics Park
Type:	Agenda Item	Status:		Status:	Items for Individual Consideration
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	S200603 - Site Plan - Hunter Ferrell Logistics Park (City Council District 1). Site Plan for Hunter Ferrell Logistics Park, a development with a 210,856 sq. ft. warehouse building on 13.62 acres. Tracts 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 2400 W Hunter Ferrell Rd.				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Exhibit A - Location Map.pdf Exhibit B - Site Plan.pdf Exhibit C - Landscape Plan.pdf Exhibit D - Building Elevations.pdf Exhibit E - Site Lines.pdf				

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

S200603 - Site Plan - Hunter Ferrell Logistics Park (City Council District 1). Site Plan for Hunter Ferrell Logistics Park, a development with a 210,856 sq. ft. warehouse building on 13.62 acres. Tracts 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 2400 W Hunter Ferrell Rd.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Site Plan for Hunter Ferrell Logistics Park, a development with a 210,856 sq. ft. warehouse building on 13.62 acres. Tracts 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 2400 W Hunter Ferrell Rd.

PURPOSE OF REQUEST:

The applicant intends to construct a 210,856 sq. ft. warehouse on 13.62 acres. Site Plan approval by City Council is required for any project involving industrial use. Development at this location requires City Council approval of a Site Plan because the property is intended for industrial use.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

Project Update

The Planning and Zoning Commission tabled this item on June 22, 2020 to allow the applicant and staff additional time to coordinate with the City of Irving. Since then, the applicant has reduced the project area from 33 acres to 13.62 acres, eliminated the second warehouse, and reconfigured the site so that the driveways align with the existing median cuts as required by the City of Irving.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	City of Irving	Mobile Home Park
South	Light Industrial	Undeveloped, Floodway
West	Light Industrial	Park Trailhead, Undeveloped
East	Light Industrial	Auto Related Use, Undeveloped

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The 13.2-acre site is accessible by two points on W Hunter Ferrell Rd. The proposed warehouse building is 210,856 sq. ft. and has a loading dock on the north side of the building with 40 dock doors. The site plan includes 184 parking spaces and 45 trailer parking spaces. The parking area west of the building is designated as future auto or trailer parking and includes 194 auto parking spaces. The proposed development is speculative, which means that the future tenant is unknown. The future tenant's need will determine the timing of construction and configuration of the future parking area.

The proposal includes an open space amenity with trails, benches, and an active water feature on the west side of the property. The trail will connect to the existing trail at the Lone Star Trailhead to the west and the regional trail along Hunter Ferrell Rd.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

Development is subject to the Light Industrial standards in the UDC. The tables below evaluate the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

Table A: Site Data Summary

Standard	Required	Provided	Meets
----------	----------	----------	-------

Min. Lot Area (Sq. Ft.)	15,000	593,127	Yes
Min. Lot Width (Ft.)	100	1,253	Yes
Min. Lot Depth (Ft.)	150	508.97	Yes
Front Setback (Ft.)	25	30	Yes
Side Setback (Ft.)	30	30	Yes
Max. Height (Ft.)	50	46.5	Yes
Max. Floor Area Ratio	1:1	0.35:1	Yes

Landscape and Screening

The property is subject to landscape and screening requirements in Article 8 and Appendix X of the UDC. The proposal substantially complies with landscape and screening requirements.

Table 3: Landscape & Screening Requirements

Standard	Required	Provided	Meets
Area (Sq. Ft.)	59,312	98,969	Yes
Trees	131	182	No
Shrubs	1,186	1,705	Yes
Foundation Plantings	Along Primary Facades	Along Primary Facades	No
Entrance Plantings	At Building Entrance	At Building Entrance	Yes

Building Materials and Design

Industrial buildings greater than 50,000 sq. ft. are subject to the requirements in Appendix X of the UDC. Appendix X requires that primary facades include at least three design elements and secondary facades include at least two design elements. The proposed building elevations meet the design requirements.

Table 4: Building Design Elements

Facade Type	a.	b.	c.	d.	e.	f.	g.	h.	i.	Total El	Meets
North Primary	x				x	x				3	Yes
South Secondary	x			x						2	Yes
West Primary	x				x	x				3	Yes
East Primary	x				x	x				3	Yes

Table 4: Summary of Building Design Elements

Letter	Primary Facades Element	Secondary Facades Element
a.	Masonry Accents	Masonry Accent
b.	Glass - 15%	Cornice Projection
c.	Awning	Windows - 30%
d.	Cornice Projection	Articulation
e.	Articulation	
f.	Accent Lighting	
g.	Colonnade	
h.	Wing Wall	
i.	Windows - 30%	

VARIANCES:

City Council may approve variances to Appendix X if the applicant demonstrates that the proposal meets the intent of the ordinance and that the alternative design or measure provides an equal or greater level of quality and standard of development as mandated by the regulations. As a part of this Site Plan, the applicant is requesting the variances listed below.

1. Truck Docks Location - Truck docks are prohibited along any primary facade.
2. Row of Parking Between the Street and Building - No more than two rows of vehicle parking shall be allowed between a street and building facade.
3. Parking/Storage of Heavy Trucks or Trailers Along Hunter Ferrell - Parking of heavy trucks or areas intended for parking/storage of trailers shall not be located adjacent to a primary building facade or street.
4. Parking/Storage of Trailers in Future Parking Area - Areas intended for parking/storage of trailers shall not be located adjacent to a primary building facade.
5. Tree Preservation Requirements - Appendix X requires that developers submit a tree survey and preserves a minimum of 30% of the total existing caliper inches. The applicant has not submitted a tree survey.

In the applicant's original proposal, the truck dock doors and trailer parking were located south of the building and would not have been visible from Hunter Ferrell Rd. The City of Irving requires the driveways to align with existing median cuts. In order to comply with this requirement, the applicant reconfigured the site and relocated the truck docks and trailer parking area to the north of the building.

The applicant is providing a double row of street trees along the street, an enhanced planting area, and a masonry screening wall. The additional row of trees and additional plantings are intended to serve as a compensatory measure for the variances requested.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with the following conditions:

1. The applicant shall coordinate with the Parks Department to connect the proposed walking trails to the existing trail west of the property. The design of the connection, including the materials, shall meet the Parks, Arts, and Recreation Department's requirements. The applicant shall construct this connection in conjunction with the proposed trail and activation feature.
2. The future parking area shall not be used for parking/storing trailers.
3. All construction shall comply with the latest adopted building codes, specifically the required distance between the building and property line. This can be accomplished by establishing a no-build easement to the south on City property or by reducing the building and/or reconfiguring the site. Before applying for a building permit, the applicant shall resolve this issue.

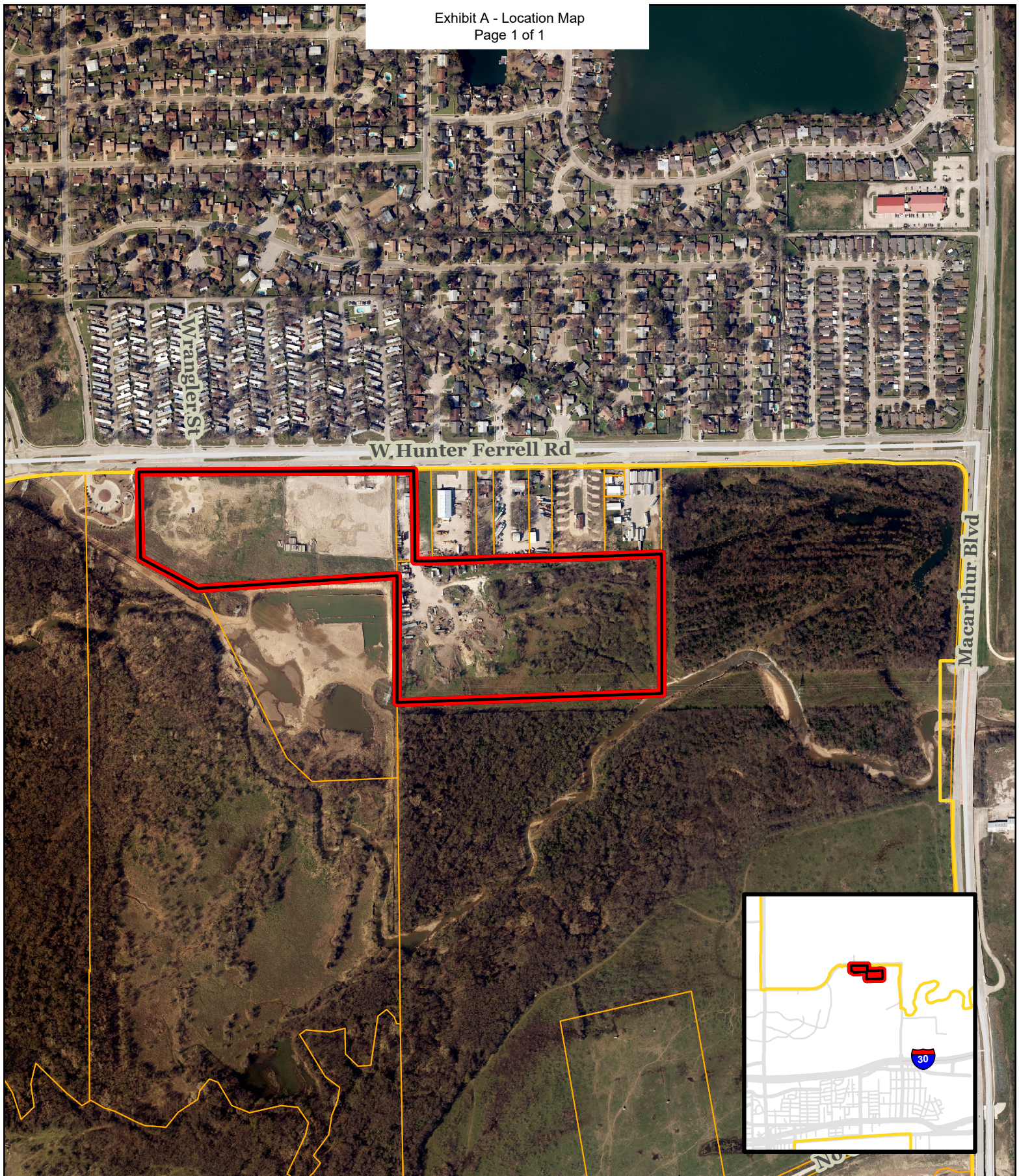
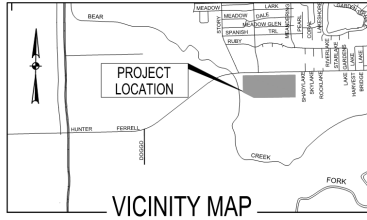


Exhibit B - Site Plan
Page 1 of 1



PARKING ANALYSIS
DIMENSIONS = 9' x 16'
7,716 SF OFFICE (71) x 1,000' = 8 SPACES
20,148 SF 300' x 41' SPACES = 28 SPACES + 61 SPACES
TOTAL PARKING PROVIDED = 89 SPACES
INCL. 100' x 100' LOT (100' x 100' LOT ACCESSIBLE)
TOTAL # OF DOCK DOORS = 40

FUTURE PARKING ANALYSIS
DIMENSIONS = 9' x 16'
TOTAL PARKING PROVIDED = 104 SPACES

**HUNTER FERRELL DEVELOPMENT
SITE ANALYSIS**
PROPOSED USE: OFFICE & WAREHOUSE
EXISTING ZONING: U/LIGHT INDUSTRIAL
SITE AREA: 13.62
BUILDING AREA: 210,856 SF
PROPOSED LOT COVERAGE: 63.7%
FLOOR AREA RATIO: 6.437 to 1

SPECIAL WARRANTY DEED
GRANTEE CHARRON MEADOWS, LLC
CALLED 22.45 ACRES
DOC. NO. 2019014361
O.P.R.D.C.T.

ARCHITECT
AZIMUTH ARCHITECTURE, INC.
JOHN TAYLOR
10228 E. NORTHWEST HWY. BOX 66
DALLAS, TEXAS 75226
(214) 261-4000 BUSINESS
j@azimutharch.com

DEVELOPER
CHI ACQUISITIONS, L.P.
CROWN HOLDINGS INDUSTRIAL
MILL BUILDING
3819 MAPLE AVE
DALLAS, TEXAS 75219
(214) 861-8000 BUSINESS
(214) 441-8000 BUSINESS FAX
www.chiholdings.com

OWNER
LINCOLN PROPERTY COMPANY
MICHAEL A. FERNANDEZ, SDR
2000 WICKINNEY AVE, SUITE 1000
DALLAS, TEXAS 75201
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(214) 746-3253 BUSINESS FAX
info@lincolnpc.com
LCH #1049

UDC Appendix X Summary

Note: Site complies with and/or exceeds UDC Appendix X.

Building Design Standards

Note: The Building is 100% Masonry including Glass and Canopy Structures. Standard not utilizing Painted Concrete Tilwall.

Primary Facade (North, East and West) requires 3 elements.

Standard not using:

a. Two Masonry Materials comprising 50% of facade. Achieved by use of Cultured Stone and Tilwall Concrete with Minimum 2" reveals.

c. Articulation of at least 2 distinct areas of Vertical and Horizontal Offset.

1. Accent lighting totaling a minimum of at least 50% of the facade length.

Secondary Facade (South) requires 2 elements

Standard not using:

a. Masonry accent material or color comprising 10% to 25% of the facade area. Achieved by use of Form Liner and Tilwall Concrete with Minimum 2" reveals.

d. Articulation of at least 2 areas of vertical offset.

Refer to Sheet A1.02 for detailed Materials Table, Articulation Table and Articulation Diagrams.

Base Landscape Requirements:

10% of the site to be landscape area - 58,694 s.f. (16.6%) landscape area provided

133 trees are required, 127 trees are proposed.

1.18 shrubs are required, 1,200 shrubs are proposed.

2,355 s.f. of annual, perennial or native grasses are required, 1,200 s.f. are proposed.

26 parking lot trees are required, 53 trees are proposed.

Coordinated Open Space Requirements:

68 acres of open space is required, 70 acres is proposed

68 s.f. of walking trail is required, 75 s.f. are proposed

11 seats are required, 48 seats are proposed

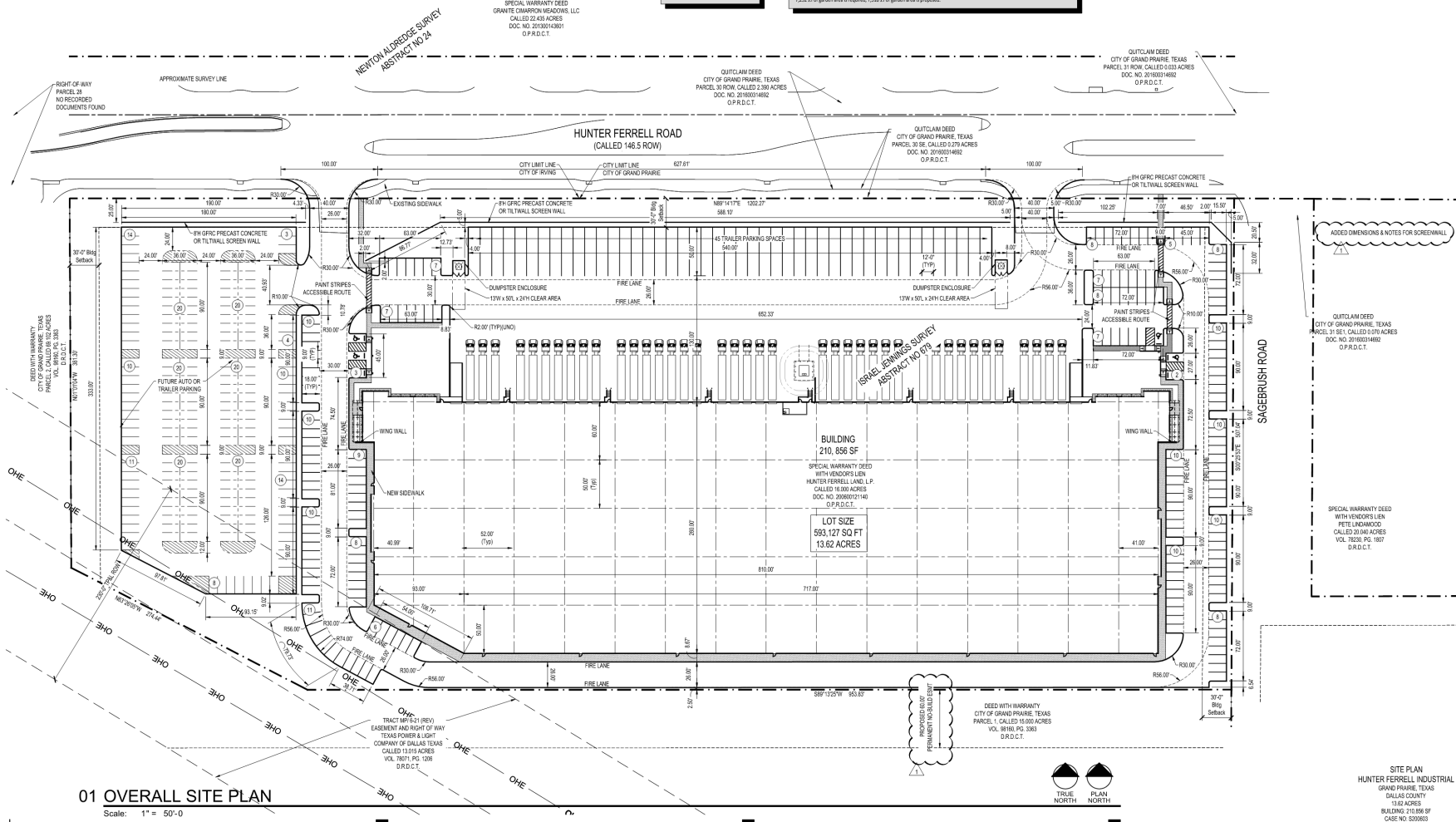
4 water features are proposed

7,232 s.f. of garden area is required, 7,538 s.f. of garden area is proposed.

Variance Request

The City of Irving requires that the existing median and driveway openings be maintained. Due to this requirement the building had to be flipped and we therefore request variances on the following:

- Allow truck docks along a primary facade.
- Allow more than one row of vehicle parking between the street and building facade.
- Allow parking of heavy trucks or areas intended for parking storage of trailers to be located adjacent to a primary building facade or street.



01 OVERALL SITE PLAN

Scale: 1" = 50'-0"



SITE PLAN
HUNTER FERRELL INDUSTRIAL
GRAND PRairie, TEXAS
13.62 ACRES
BUILDING: 210,856 SF
CASE NO. 2020063

AZIMUTH:

architecture

10228 E Northwest Hwy
Box 66
Dallas, Texas 75226
214.261.9060

www.azimutharch.com

HUNTER FERRELL

2609

JOB # 1 CLIENT: REVISIONS:

1	05.12.20	DRG Submittal
2	06.05.20	DRG Response
3	10.02.20	DRG Submittal
4	10.21.20	DRG Comments

5		
6		
7		
8		
9		



THE SEAL AND ARCHITECTURAL DOCUMENT WAS
AUTHORIZED BY MICHAEL L. WILLIAMS, ARCHITECT AT 06/10
ON 06/10/2020. I, JESSIE COOPER, CLERK OF THE DISTRICT CLERK'S OFFICE, AM NOT PROVIDING ANY
NOTIFICATION TO THE RESPONSIBLE ARCHITECT IS AN
OFFENSE UNDER THE TEXAS BOARD OF ARCHITECTURAL
PROFESSION.

SHEET CONTENTS:

OVERALL SITE PLAN

DATE: October 21, 2020

SHEET:

A1.00

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Exhibit C - Landscape Plan
Page 1 of 1

AZIMUTH:

architecture

10228 E Northwest Hwy
Box 66
Dallas, Texas 75226
214.261.9090

www.azimutharc.com

HUNTER FERRELL
BUILDING A

2609

CLIENT:

JOB #:

1 10.19.2020 DRC Submittal

REVISIONS:

2
3
4
5
6
7
8
9

SEAL:

PROGRESS PRINT
ONLY - NOT FOR
CONSTRUCTION

SHEET CONTENTS:

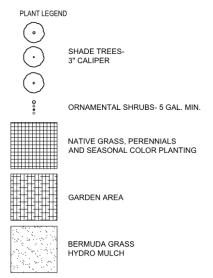
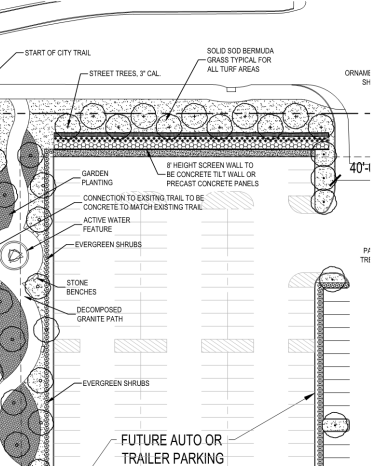
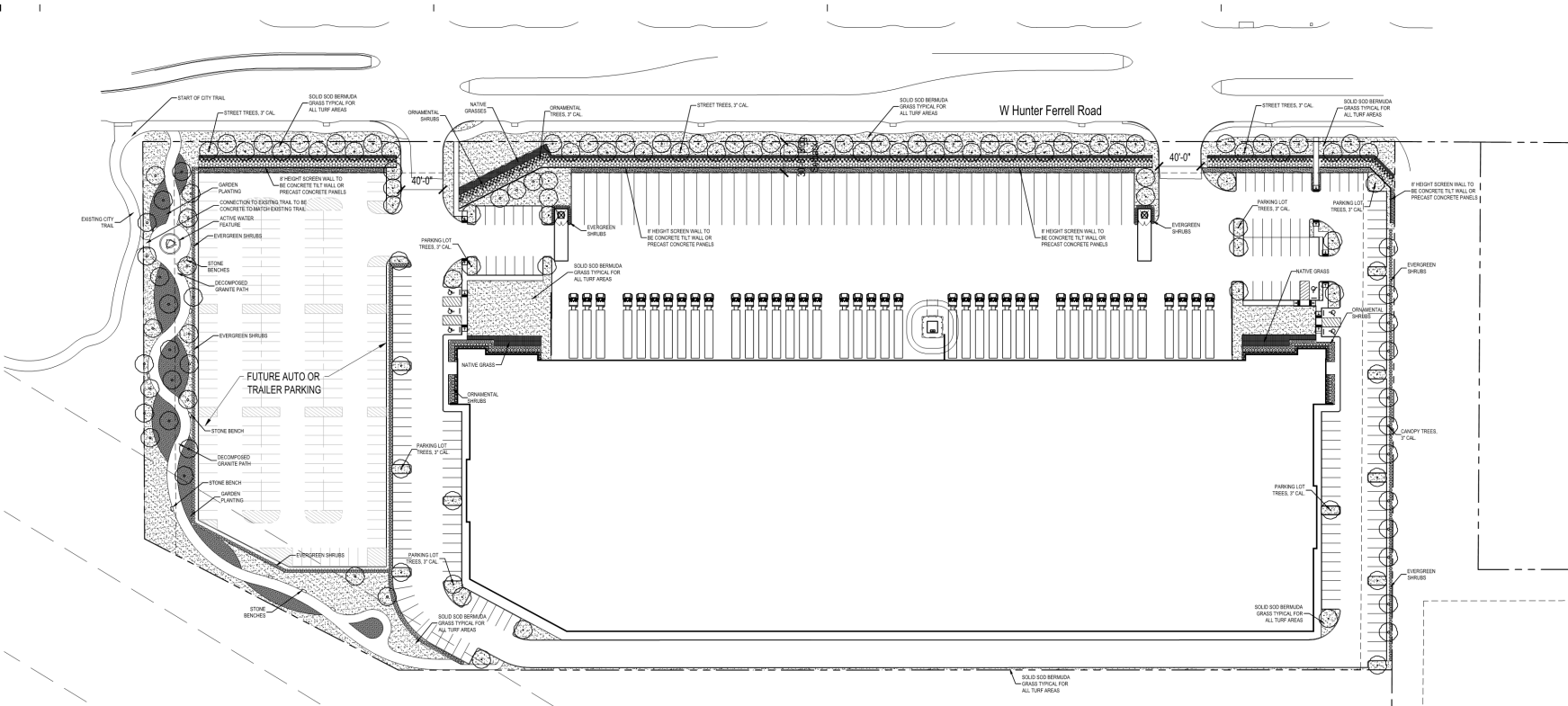
LANDSCAPE PLAN

DATE: OCTOBER 20, 2020

SHEET:

L1.01

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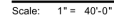
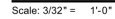
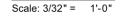


LANDSCAPE TABULATIONS	
BASE LANDSCAPE REQUIREMENTS: SITE AREA - 593,069 S.F. BUILDING AREA - 210,476 S.F.	
1% OF THE SITE TO BE LANDSCAPE AREA.	
PROVIDED AT LEAST THREE ELEMENTS LISTED IN SECTION 4.2 ON EACH PRIMARY FACADE AND AT LEAST TWO ELEMENTS LISTED IN SECTION 4.4 ON EACH SECONDARY FACADE.	
(1) SHRUB - 5 GAL. MIN. FOR EACH 50 S.F. OF REQUIRED LANDSCAPE AREA.	
1% OF OVERALL BUILDING DIMENSION SHALL BE PROVIDED AS ANNUALS, PERENNIALS OR NATIVE GRASSES.	
REQUIRED	PROVIDED
59,307 S.F. OF LANDSCAPE AREA	98,969 S.F. OF LANDSCAPE AREA
(119) 3\"/>	(128) PROPOSED 3\"/>
(1,186) SHRUBS - 5 GAL. MIN.	(7,705) SHRUBS - 5 GAL. MIN.
2,105 S.F. OF ANNUALS, PERENNIALS OR NATIVE GRASSES	4,154 S.F. OF ANNUALS, PERENNIALS OR NATIVE GRASSES
PARKING LOT LANDSCAPING REQUIREMENTS: 379 PARKING SPACES	
TREES PLANTED AT THE END OF EACH PARKING ROW	
(1) TREE PER 10 PARKING SPACES	
ALL PARKING SPACES TO BE WITHIN 100' L.F. OF A TREE	
REQUIRED	PROVIDED
(26) 3\"/>	(84) 3\"/>

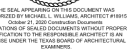
LANDSCAPE TABULATIONS	
COORDINATED OPEN SPACE REQUIREMENTS:	
SITE AREA - 593,069 S.F.	
BUILDING AREA - 210,476 S.F.	
1 ACRE OF COMMON OPEN SPACE FOR EACH 20 ACRES TO BE DEVELOPED AT BUILDOUT.	
1,000 FEET OF PAVED WALKING TRAIL FOR EACH ACRE OF REQUIRED OPEN SPACE.	
SEATING WITHIN A SHADED AREA (1) SEAT PER 20,000 OF PROPOSED BUILDING AREA.	
AN ACTIVE WATER FEATURE	
1 S.F. OF GARDEN FOR EVERY 50 S.F. OF BUILDING AREA	
REQUIRED	PROVIDED
0.68 ACRES OF OPEN SPACE	0.70 ACRES OF OPEN SPACE
681' L.F. OF WALKING TRAIL	721' L.F. OF WALKING TRAIL
11 SEATS	24 SEATS - 12 LIMESTONE BLOCKS (24"x24"x4" LENGTH)
WATER FEATURE PROVIDED	
4,210 S.F. OF GARDEN AREA	7,518 S.F. OF GARDEN AREA



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2609

REVISIONS:

SHEET: **A7.10**



Legislation Details (With Text)

File #:	20-10566	Version:	1	Name:	CP200801 - Cottages at Dechman
Type:	Ordinance	Status:		Status:	Public Hearing
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	CP200801 - Concept Plan - Cottages at Dechman (City Council District 2). Concept Plan for the Cottages at Dechman, a multi-family development with a mixture of attached and detached units on 15.91 acres. Tract 2 of Leonidas O'Gwinn Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, and generally located at the northwest corner of Dechman Dr and the IH-20 frontage road.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Concept Plan.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

CP200801 - Concept Plan - Cottages at Dechman (City Council District 2). Concept Plan for the Cottages at Dechman, a multi-family development with a mixture of attached and detached units on 15.91 acres. Tract 2 of Leonidas O'Gwinn Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, and generally located at the northwest corner of Dechman Dr and the IH-20 frontage road.

Presenter

Savannah Ware , AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Concept Plan for the Cottages at Dechman, a multi-family development with a mixture of attached and detached units on 15.91 acres. Tract 2 of Leonidas O'Gwinn Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, and generally located at the northwest corner of Dechman Dr and the IH-20 frontage road.

PURPOSE OF REQUEST:

The applicant intends to construct a multi-family development on 15.91 acres. The Unified Development Code

(UDC) requires City Council approval of a Concept Plan for Planned Development Districts. The subject property is zoned PD-20 which was approved without a Concept Plan. Concept Plans are designed to expedite the development process by working out site design issues prior to design of a project and assuring compliance with the Comprehensive Plan,

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-20	Fish Creek Forrest Preserve
South	PD-26	Commercial, Undeveloped
	PD-210	Single Family Residential
West	PD-20	Fish Creek Forrest Preserve
East	PD-19	Multi-Family Residential

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The proposal is an example of Hybrid Housing, also known as build-to-rent homes, which combines elements of traditional single family and multi-family development. Hybrid Housing includes a mixture of detached and attached units on a single lot. Maintenance of individual units, common areas, and landscaping is the responsibility of a single entity.

The Concept Plan depicts 142 units at a density of 8.9 dwelling units per acre. The 15.91-acre site is accessible by a single point off Dechman Drive. The office, fitness center, and pool are located at the entrance.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The subject property is zoned PD-20 and will be developed under the Multi-Family One (MF-1) District standards. City Council approval of a Site Plan is required.

As configured, the site layout may require a variance from the UDC minimum emergency access and gated entry requirements at the site plan stage. The Development Review Committee (DRC) is generally amenable to this variance if individual units are sprinklered. DRC will include this as a recommended condition of site plan approval.

ANALYSIS:

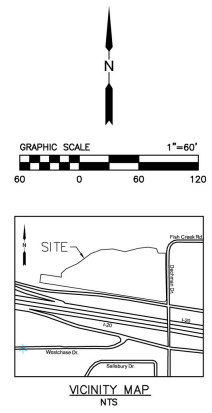
The City of Grand Prairie does not have standards in place for this type of housing product. Staff and the City Council Development Committee (CCDC) discussed possible opportunities to regulate Hybrid Housing and address concerns with design, building orientation of units along the right-of-way, screening, and parking. These discussions took place during the July 21, 2020 and September 21, 2020 CCDC meetings. On October 26, 2020, the Planning and Zoning Commission recommended approval of a text amendment to Appendix W to address Hybrid Housing. Since the applicant submitted the Concept Plan request before the text amendment has been approved by City Council, the new standards will not apply to this development.

RECOMMENDATION:

Staff suggested that the applicant try to adhere to the upcoming hybrid housing requirements if at all possible. The applicant has submitted the attached concept plan. Noting the applicants vested rights, the Development Review Committee (DRC) generally supports the request.



Exhibit B - B Concept Plan
Page 1 of 1



PROJECT DESCRIPTION
CASITA 2-BEDROOM AND DUPLEX 1-BEDROOM
SINGLE STORY RENTAL PROPERTY

PROJECT DATA
TOTAL AREA: 15.91 ACRES
IMPERVIOUS AREA: 7.66 ACRES (48%)

CURRENT ZONING: PD-20
PROPOSED ZONING: PD-20
PROPOSED USE: RESIDENTIAL RENTAL

MIN. UNIT SEPARATION:		10'
UNIT TYPE	YIELD	MIX %
1-BEDROOM	44	31
2-BEDROOM	98	69
TOTAL UNITS	142	100

PARKING REQUIRED:
1.25 SPACES PER 1-BEDROOM UNIT
2 SPACES PER 2-BEDROOM UNIT

1 BEDROOM UNITS - PARKING REQ.	44	55 SPACES
2 BEDROOM UNITS - PARKING REQ.	98	196 SPACES
TOTAL REQUIRED	251 SPACES	
TOTAL PARKING SHOWN	273 SPACES	

GARAGE PARKING 40 SPACES
CARPORT PARKING 154 SPACES
UNCOVERED PARKING 79 SPACES

ADA PARKING ONSITE 6 SPACES
ADA SPACES ARE EXCESS OF 251 REQ.

LEASING OFFICE 6 REG.
2 ADA
LEASING SPACES ARE EXCESS OF 251 REQ.

PARKING STALL DIMENSIONS 9'x20'

NOTES
1. All units will be sprinklered in accordance with NFPA 130.
2. Fire hydrants to be spaced at a maximum of 600 feet.
3. Standard Private Rear Yard is 8 feet and will be fenced and turfed.

SETBACKS FOR MF-1 ZONING
FRONT 30 FT
REAR 45 FT + 1 FT FOR EVERY FOOT OVER 35 FT IN BUILDING HEIGHT
SIDE ON STREET 45 FT + 1 FT FOR EVERY FOOT OVER 35 FT IN BUILDING HEIGHT
BETWEEN BUILDINGS 30 FT
15 FT

LEGEND
GARAGE PARKING (40 TOTAL) - 28% OF UNITS CAN RENT GARAGES
4 BAYS
CARPORT PARKING (154 TOTAL)- 100% OF UNITS GET 1 COVERED SPACE
4 STALL
6 STALL
DUMPSTERS

2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

09.28.2020 CITY OF GRAND PRAIRIE CASE NUMBER CP200801		PROJECT NO. TMR003
CONCEPT PLAN		SHEET NO. CP-1
COTTAGES AT DECHMAN City of Grand Prairie, Texas		



Legislation Details (With Text)

File #:	20-10567	Version:	1	Name:	MTP200801 - Cottages at Dechman
Type:	Ordinance	Status:		Status:	Public Hearing
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	MTP200801 - Amendment to Thoroughfare Plan - Cottages at Dechman (City Council District 2). Amendment to the Master Thoroughfare Plan to remove an unnamed collector from the Master Thoroughfare Plan. The unnamed collector creates an additional connection from Fish Creek Rd/Dechman Dr to the Interstate 20 WB Frontage Rd.				

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

MTP200801 - Amendment to Thoroughfare Plan - Cottages at Dechman (City Council District 2). Amendment to the Master Thoroughfare Plan to remove an unnamed collector from the Master Thoroughfare Plan. The unnamed collector creates an additional connection from Fish Creek Rd/Dechman Dr to the Interstate 20 WB Frontage Rd.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Amendment to the Master Thoroughfare Plan to remove an unnamed collector from the Master Thoroughfare Plan. The unnamed collector creates an additional connection from Fish Creek Rd/Dechman Dr to the Interstate 20 WB Frontage Rd.

PURPOSE OF REQUEST:

The purpose of the request is to remove an unnamed collector from the Master Thoroughfare Plan.

ANALYSIS:

The Master Thoroughfare Plan (MTP) identifies an unnamed Collector which creates an additional connection from Fish Creek Rd./ Dechman Dr. to the Interstate 20 WB Frontage Road. This segment is located along the

border of the Dallas County floodway and a vacant lot within PD-20.

The Collector is being addressed due to developer interest in the vacant lot. The roadway is not necessary for the site's operation and, therefore, is not being considered for construction by the developer. Moreover, the developer is not wishing to dedicate the required 70' right-of-way necessary to build the roadway.

As required by the Unified Development Code, the developer of the vacant lot has provided a traffic impact analysis (TIA) identifying operations of the site and nearby intersections at buildout of the property. The TIA found that there would be no significant impact to the existing roadways and intersections following construction of the new development without the unnamed Collector.

Data was collected for the TIA included detoured traffic from the ongoing I-20 frontage road construction. Once the intersections of the I-20 Frontage and Carrier Parkway are completed, traffic volumes are anticipated to be reduced.

The recommendation of the TIA is that the roadway be removed from the MTP and that the project moves forward. City staff agrees with the recommendation.

Staff does not believe that the unnamed Collector would create additional development potential in the area. The parcel on the opposite side of the proposed development is Dallas County-owned floodway. There would be a considerable cost to acquire and develop this land with potentially significant impact to the existing floodway.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



Legislation Details (With Text)

File #:	20-10568	Version:	1	Name:	Z200401A - Heritage Towne Amendment
Type:	Ordinance	Status:		Status:	Public Hearing
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	Z200401A - Zoning Change - Heritage Towne Amendment (City Council District 6). A Planned Development Amendment for Heritage Towne, a development on 76.96 acres which includes single-family, multi-family, commercial, and open space uses. The purpose of the request is to add additional commercial zoning along Davis Road. Tracts 186713 and 186714, J Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas. Zoned PD-399 and addressed as 2925 Davis Drive. Generally located north of Hwy 287, and east of HWY 360.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Boundary Description.pdf](#)
[Exhibit B - Zoning Exhibit.pdf](#)
[Exhibit C - Conceptual Renderings.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

Z200401A - Zoning Change - Heritage Towne Amendment (City Council District 6). A Planned Development Amendment for Heritage Towne, a development on 76.96 acres which includes single-family, multi-family, commercial, and open space uses. The purpose of the request is to add additional commercial zoning along Davis Road. Tracts 186713 and 186714, J Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas. Zoned PD-399 and addressed as 2925 Davis Drive. Generally located north of Hwy 287, and east of HWY 360.

Presenter

Jonathan Tooley, Planner

Recommended Action

Approve

Analysis

SUMMARY:

A Planned Development Amendment for Heritage Towne, a development on 76.96 acres which includes single-family, multi-family, commercial, and open space uses. The purpose of the request is to add additional commercial zoning along Davis Road. Tracts 186713 and 186714, J Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas. Zoned PD-399 and addressed as 2925 Davis Drive. Generally located

north of Hwy 287, and east of HWY 360.

PURPOSE OF REQUEST:

The purpose of the request is to amend Planned Development 399 to reduce the amount of land zoned for multi-family and increase the amount of land zoned for commercial along Davis Drive.

Table 1: Zoning Comparison of PD-399 and PD-399

Base Zoning District	Existing Acreage	Proposed Acreage	Change
General Retail	3.81	6.6	+ 2.79
Multi-Family	32.93	30.14	- 2.79
Single Family	37.21	37.21	-
Agriculture	0	0	-
Open Space	3.01	3.01	-

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 2: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-322A	Gas Wells, Single-Family
South	Agriculture; ETJ	Residential, Commercial, Cemetery
West	Agriculture	Undeveloped
East	Agriculture	Undeveloped

HISTORY:

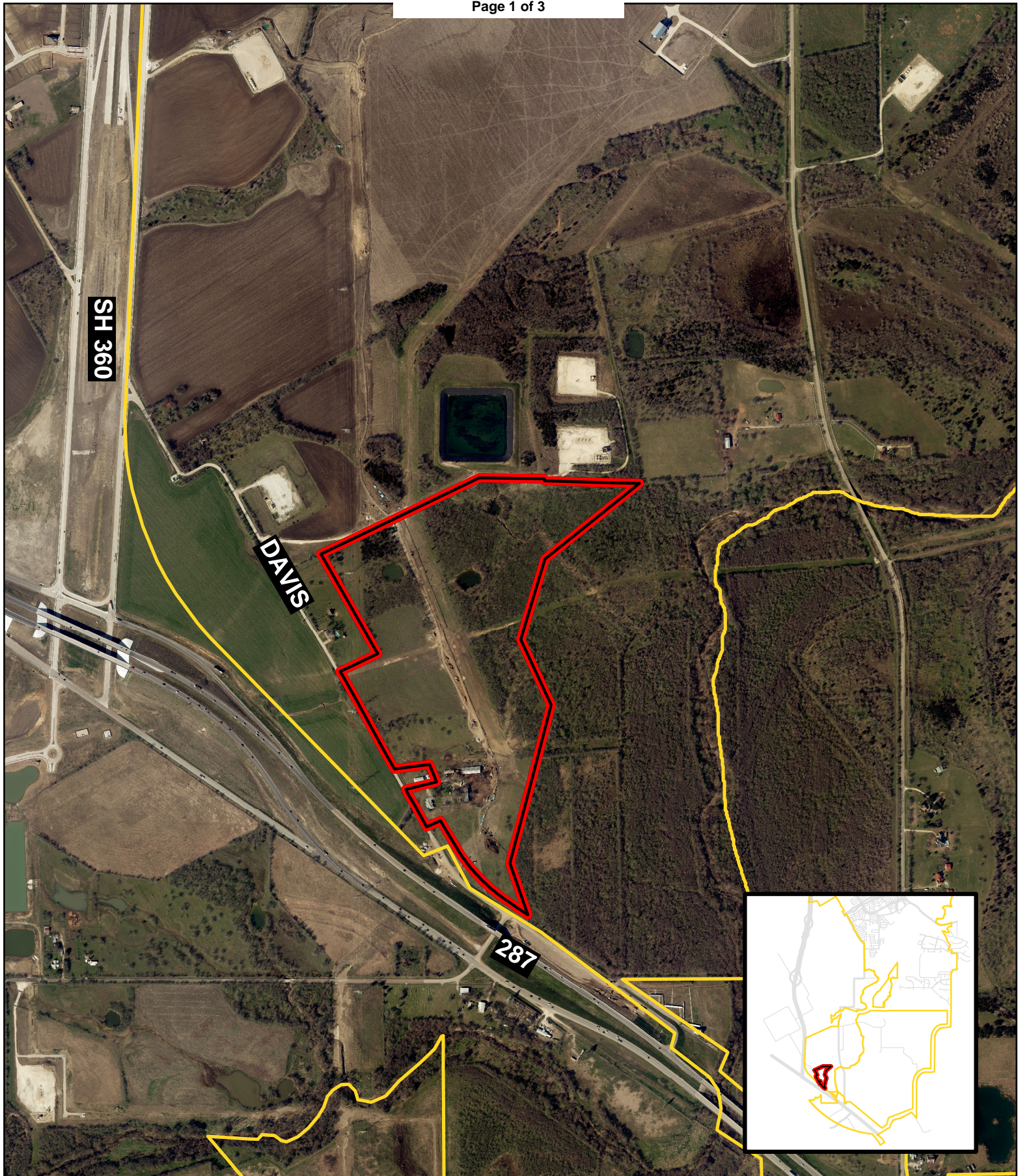
- April 21, 2020: City Council approved a zoning change for Planned Development 399 - Heritage Towne, a single-family, multi-family, and commercial development located on 76.96 acres (Case Number Z200401).
- September 16, 2008: City Council approved a zoning change (Case Number Z080701) which created Planned Development-328 District Single Family Detached Residential, Multi-Family, General Retail, and Mixed Use for Architecturally Integrated Residential above Retail uses.

ANALYSIS:

The addition of General Retail along the Davis Drive frontage will help create more opportunities for commercial development along the SH-360 Corridor. Additionally, the applicant wishes to donate one lot to the City for the future expansion of a fire station that will service the southern sector of the City. Staff supports the Planned Development amendment believing that the addition of commercial will bring extra tax base and commercial opportunities to the area.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



LEGAL LAND DESCRIPTION:

BEING 76.960 acres (3,352,391 square feet) of land in the Joseph Lawrence Survey, Abstract Number 616, City of Grand Prairie, Ellis County, Texas; said 76.960 acres (3,352,391 square feet) of land described in a Warranty Deed to Ellis Joint Venture (hereinafter referred to as Ellis Joint Venture tract), as recorded in Instrument Number 21141507, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.), and being all of that certain tract of land described in a General Warranty Deed to Ellis Joint Venture (hereinafter referred to as Ellis Joint Venture 2 tract), as recorded in Volume 2805, Page 577, Deed Records, Ellis County, Texas (D.R.E.C.T.) and being all of that certain tract of land described in a Special Warranty Deed to Ellis Joint Venture (hereinafter referred to as Ellis Joint Venture 3 tract), Volume 2564, Page 281, D.R.E.C.T.; said 76.960 acres (3,352,391 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a concrete monument found for the Northwesterly corner of the said Ellis Joint Venture tract, same being the Northerly corner of the William Telford, and wife, Kay Telford (hereinafter referred to as Telford tract), as recorded in Volume 738, Page 371, Deed Records, Ellis County, Texas (D.R.E.C.T.), same also being in the Southerly line of TEXDEVCO GP, LLC, (hereinafter referred to as TEXDEVCO tract), as recorded in Instrument Number 1900187, O.P.R.E.C.T.;

THENCE North 64 degrees 23 minutes 15 seconds East with the common line between said Ellis Joint Venture tract and said TEXDEVCO tract, passing at a distance of 424.28 feet, the Southeasterly corner of said TEXDEVCO tract, same being the Southwesterly corner of that certain tract of land described in a Special Warranty Deed to WM SUB GT, LP (hereinafter referred to as WM SUB GT tract), as recorded in Volume 2805, Page 57, D.R.E.C.T., continue with said course and the common line between said Ellis Joint Venture tract and said WM SUB GT tract for a total distance of 707.27 feet to a five-eighths inch iron rod with a plastic cap stamped "RPLS 4838" set;

THENCE North 64 degrees 53 minutes 00 seconds East with the common line between said Ellis Joint Venture tract and said WM SUB GT tract, same being a corner for said WM SUB GT tract, for a distance of 581.99 feet to a five eighths inch capped iron rod stamped "MYCOSKIE" found for corner;

THENCE South 88 degrees 32 minutes 15 seconds East with a common line between said Ellis Joint Venture Tract and WM SUB GT tract, passing at distance of 459.30 feet, the Southeasterly corner of said WM SUB GT tract, same being the Southwesterly corner of that certain tract of land described in a Special Warranty Deed to Nehemiah Partners, L.P. (hereinafter referred to as Nehemiah tract), as recorded in Volume 1661, Page 104, D.R.E.C.T., from which a one-half inch capped iron rod found stamped "RPLS 5857" bears South 11 degrees 23 minutes 30 seconds East a distance of 0.57 feet, and continue with said course and the common line between said Ellis Joint Venture tract and said Nehemiah tract for a total distance of 1150.28 feet to a concrete monument stamped "826-3" found for corner;

THENCE South 51 degrees 10 minutes 45 seconds West for a distance of 887.19 feet with a common line between Ellis Joint Venture and that certain tract of land described in a General Warranty Deed to the United States of America (hereinafter referred to as USA tract) as recorded in Volume 676, Page 506, Deed Records, Ellis County, Texas, to a concrete monument stamped "826-4" found for corner;

THENCE South 16 degrees 29 minutes 04 seconds West with a common line between said Ellis Joint Venture tract and said USA tract for a distance of 639.32 feet to a concrete monument stamped "826-5" found for corner;

THENCE South 25 degrees 05 minutes 36 seconds East with a common line between said Ellis Joint Venture tract and said USA tract for a distance of 532.26 feet to a concrete monument stamped "826-6" found for corner;

THENCE South 15 degrees 22 minutes 38 seconds West with a common line between said Ellis Joint Venture tract and said USA tract for a distance of 1151.24 feet to a concrete monument stamped "826-7" found for corner;

THENCE South 18 degrees 09 minutes 07 seconds East with a common line between said Ellis Joint Venture tract and said USA tract for a distance of 461.40 feet to a Texas Department of Transportation monument on the Northeasterly line of that certain tract of land described in a deed to the State of Texas (hereinafter referred to as State of Texas R.O.W.), Volume 809, Page 981, D.R.E.C.T., from which a one-half inch capped iron rod stamped "AREA SURVEYING" found, bears South 77 degrees 03 minutes 36 seconds East, a distance of 3.62 feet;

THENCE North 55 degrees 36 minutes 03 seconds West with a common line between said Ellis Joint Venture tract and said State of Texas R.O.W., a distance of 441.91 feet to a one-half inch iron rod found at the beginning of a non-tangent curve to the right, whose chord bears North 42 degrees 29 minutes 40 seconds West, a distance of 303.95 feet, from which a one-half inch iron rod found bears North 83 degrees 02 minutes 32 seconds East, a distance of 4.93 feet;

THENCE Northwesterly with the common line between said Ellis Joint Venture and said State of Texas R.O.W. and with said non-tangent curve to the right having a radius of 670.00 feet, through a central angle of 26 degrees 13 minutes 14 seconds, for an arc distance of 306.61 feet a five-eighths inch iron rod with a plastic cap stamped "RPLS 4838" set for corner;

THENCE North 29 degrees 23 minutes 03 seconds West with a common line between said Ellis Joint Venture tract and said State of Texas R.O.W., a distance of 204.43 feet to a Texas Department of Transportation monument, from which a one-half inch capped iron rod stamped "AREA SURVEYING" found bears North 67 degrees 52 minutes 02 seconds East, a distance of 6.69 feet;

THENCE South 60 degrees 19 minutes 57 seconds West with a common line between said Ellis Joint Venture tract and said State of Texas R.O.W., a distance of 44.88 feet to a mag nail set for corner, same being the Southeast corner of that certain tract of land described in a deed to Joe Bowers and Jeff Hansen (hereinafter referred to as Bowers tract), as recorded in Volume 2399, Page 2279, D.R.E.C.T., same also being in Davis Road, previously known as St. Paul Britton Road (variable width right-of-way);

THENCE North 29 degrees 25 minutes 56 seconds West with a common line between said Ellis Joint Venture Tract and said Bowers tract and with said Davis Road, a distance of 103.37 feet to a mag nail set, same being the Southeasterly corner of the aforesaid Ellis Joint Venture 2 tract, from which a one-half inch capped iron rod stamped "AREA SURVEYING" found bears North 74 degrees 34 minutes 55 seconds East, a distance of 19.83 feet;

THENCE North 29 degrees 26 minutes 34 seconds West with the common line between said Ellis Joint Venture 2 tract and said Bowers tract and with said Davis Road, pass at a distance of 142.26 feet, the Northeast corner of said Bowers tract, same being an angle point in the Easterly line of that certain tract of land described in a deed to James Edmund Kemp, Jr., Judy Anne Kemp Amonett, Carolyn Kemp Wittenbraker and John Stacy Kemp, Beneficiaries under the Will of Kames E. Kemp, deceased (hereinafter referred to as Kemp tract), as recorded in Volume 2171, Page 510, D.R.E.C.T. and continue with said course and the common line between said Ellis Joint Venture 2 tract and said Kemp tract and with said Davis Road for a total distance of 275.05 feet to a mag nail set for the Northwesterly corner of said Ellis Joint Venture 2 tract, same being the Southwesterly corner of that certain tract of land described in a General Warranty Deed to Carlo Restrepo, (hereinafter referred to as Restrepo tract), as recorded in Volume 2805, Page 570, D.R.E.C.T.,

THENCE North 75 degrees 00 minutes 04 seconds East, departing said Davis Road and said Kemp tract and with the common line between said Ellis Joint Venture 2 tract and Restrepo tract, pass at a distance of 21.38 feet a one-half inch iron rod with plastic cap found and continue with said course and continue with the common line between said Ellis Joint Venture 2 tract and Restrepo tract for a total distance of 254.19 feet to a one-half inch iron rod found for the Southeasterly corner of said Restrepo tract, same being a Westerly line of said Ellis Joint Venture Tract;

THENCE North 29 degrees 25 minutes 05 seconds West with a common line between said Ellis Joint Venture tract and said Restrepo tract, a distance of 177.07 feet to a one-half inch iron rod found for corner, same being the Northeasterly corner of said Restrepo tract;

THENCE South 75 degrees 03 minutes 13 seconds West with a common line between said Ellis Joint Venture tract and said Restrepo tract, from which a one-half inch iron rod found a distance of 232.37 feet, and continue on said course for a total distance of 254.28 feet to a mag nail set for corner in a Easterly line of said Kemp tract, and in Davis Road, same being the Northwesterly corner of said Restrepo tract;

THENCE North 29 degrees 26 minutes 40 seconds West with a common line between said Ellis Joint Venture tract and said Kemp tract, a distance of 534.95 feet to a mag nail set for corner, same being the Southwesterly corner said Ellis Joint Venture 3 tract, from which a one-half inch capped iron rod found bears North 64 degrees 06 minutes 46 seconds East a distance of 21.97 feet,

THENCE North 29 degrees 30 minutes 55 seconds West with the common line between said Ellis Joint Venture 3 tract and said Kemp tract, a distance of 279.24 feet to a mag nail set for corner, same being the Northwesterly corner of said Ellis Joint Venture 3 tract, same being the Southwesterly line of said Telford tract;

THENCE North 64 degrees 05 minutes 22 seconds East, departing the Easterly line of said Kemp tract and departing said Davis Road and with the common line between said Ellis Joint Venture 3 tract and said Telford tract, pass at a distance of 22.64 feet, a concrete monument found and continue with said course and the common line between said Ellis Joint Venture 3 tract and said Telford tract for a total distance of 312.95 feet to a five-eighths inch iron rod with a plastic cap stamped "RPLS 4838" set for corner;

THENCE North 29 degrees 26 minutes 50 seconds West with a common line between said Ellis Joint Venture tract and said Telford tract a distance of 823.38 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 76.960 acres (3,352,391 square feet) of land.

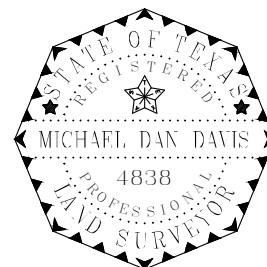
SURVEYORS CERTIFICATE TO:

Ellis Joint Venture, AeroFirma and/or Assigns, Alliant National Title Insurance Company, and their affiliated entities, successors and assigns;

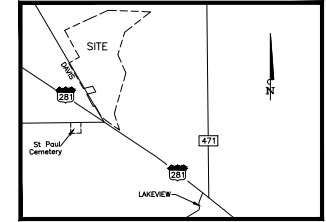
This is to certify that this map or plat and the survey on which it is based, were made in accordance with 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys jointly established and adopted by ALTA and NSPS 2016.
The field work was completed on November 27, 2019.

 12/9/19

Michael Dan Davis
DATE:
— Registered Professional Land Surveyor No. 4838
BANNISTER ENGINEERING, LLC
T.B.P.L.S. REGISTRATION NO. 10193823
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
Office (817) 842-2094



REVISED: December 19, 2019 / Revised Easement Label.
REVISED: December 11, 2019 / Addressed updated title commitment.



VICINITY MAP
NOT TO SCALE
CITY GRAND PRAIRIE, TEXAS

TRACT-1 SITE DATA SUMMARY:	
SF-6 RESIDENTIAL LOTS:	59
SF-4 RESIDENTIAL LOTS:	46
TOTAL RESIDENTIAL LOTS:	105
X-LOTS (OPEN SPACE):	7
AMENITY CENTER:	1
TOTAL ALL LOTS:	113

LEGEND

	SF-4 SINGLE FAMILY
	SF-6 SINGLE-FAMILY
	MULTI-FAMILY
	GENERAL RETAIL
	OPEN SPACE

EXHIBIT "A" ZONING EXHIBIT

FOR
76.960 Acres of land
out of the Joseph Lawrence Survey,
Abstract Number 616, City of Grand Prairie,
Ellis County, Texas

From: PD-399
To: PD-399A for Single and Multi-Family
Residential, General Retail, and
Open Space Uses

Case Number Z200401A

BANNISTER
ENGINEERING

240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
REGISTRATION # P-10599 (TEXAS)

CONTACT: JEFFREY W. LINDER, RLA

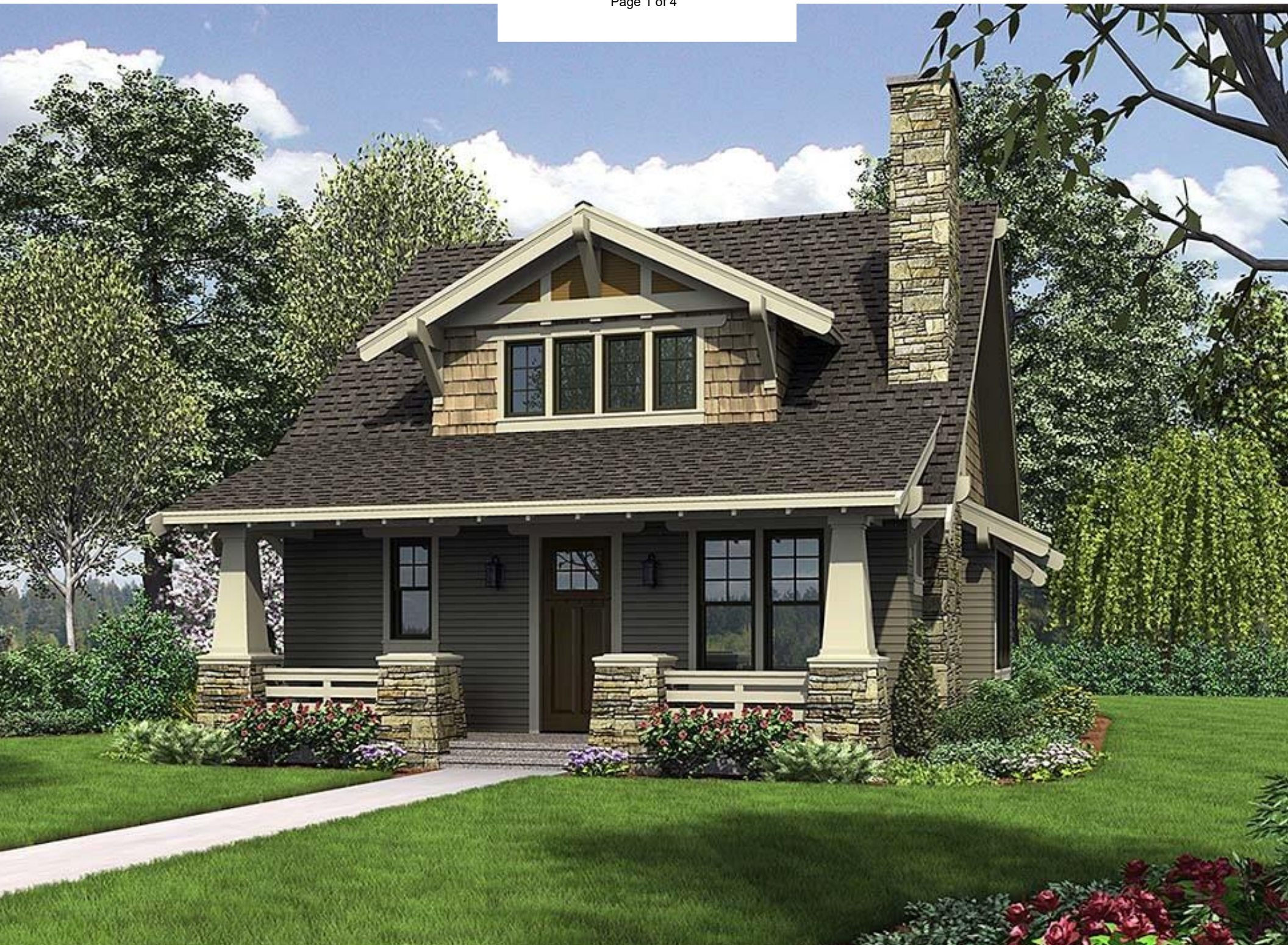
Date Prepared: 02/04/2020

Date Revised: 11/2/2020

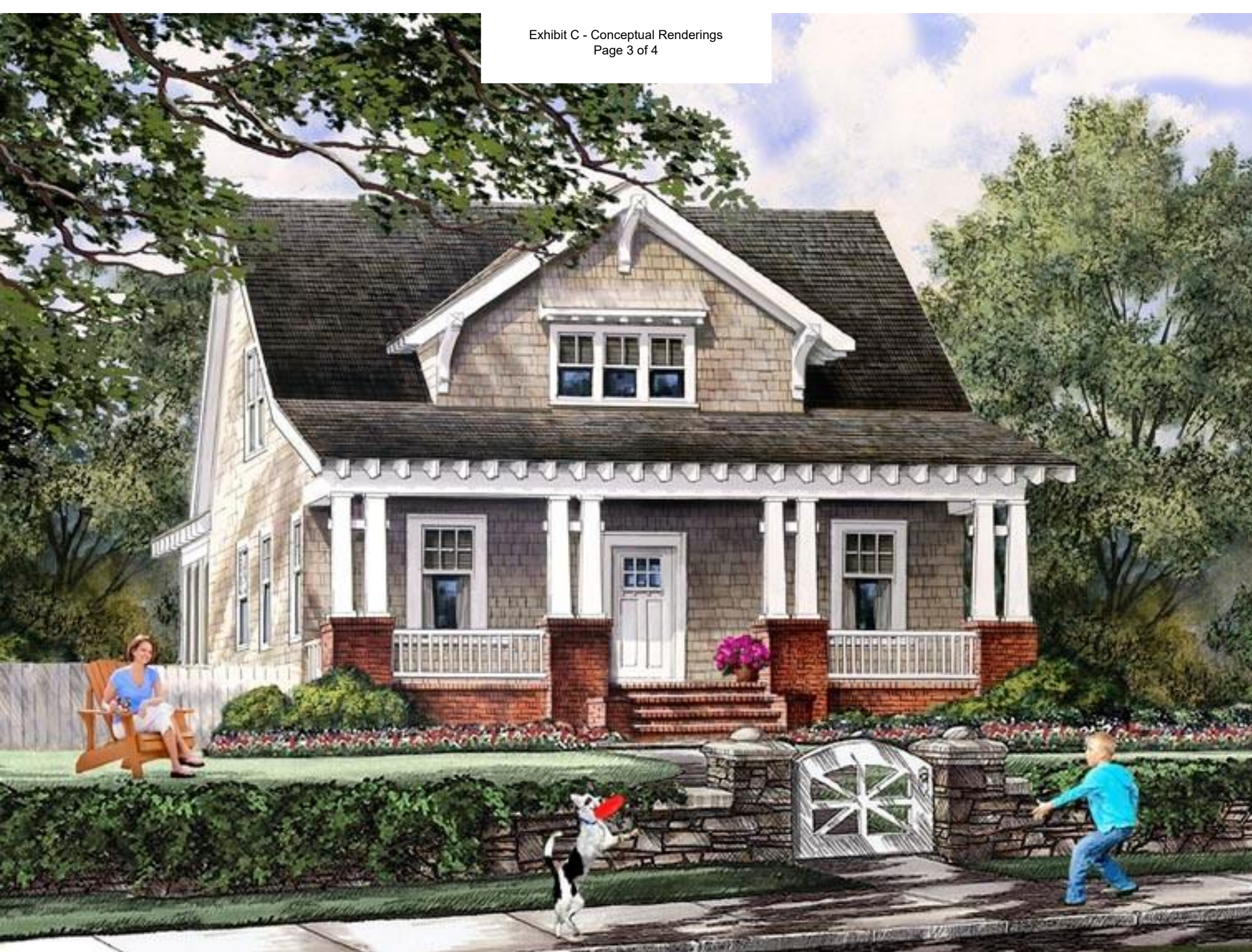
OWNER / DEVELOPER:
DAVID NIKLAS ORGAN DONOR
AWARENESS FOUNDATION, INC
2935 SOUTH BELLING ROAD
GRAND PRAIRIE, TX 75225
CONTACT: CHASE DEBAUN
PHONE: 972-263-6796
EMAIL: chase@ofofmaoffice.com

SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
EMAIL: Mike@Bannistereng.com

ENGINEER:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
PHONE: 817-842-2094
CONTACT: CODY BROOKS, P.E.
EMAIL: Cody@Bannistereng.com
CONTACT: JEFFREY W. LINDER, RLA
EMAIL: Jeff@Bannistereng.com











Legislation Details (With Text)

File #:	20-10569	Version:	1	Name:	SU201101 - Impound Lot at 2409 E Main St
Type:	Ordinance	Status:		Status:	Public Hearing
File created:	11/2/2020	In control:		In control:	Planning and Zoning Commission
On agenda:	11/9/2020	Final action:		Final action:	
Title:	SU201101 - Specific Use Permit/Site Plan - Impound Lot at 2409 E Main St (City Council District 5). Specific Use Permit & Site Plan request for Auto Impound uses on four industrial lots. 1.402 acres out of the Thomas Collins Survey, Abstract 308, being Westover Place Addition, Block A, Lots 3,4,7 & 8, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) District and designated Specific Use Permit-814A, located in CBD No. 4, generally located southeast of E. Main Street and Bagdad Road, and addressed as 2409 E. Main Street.				

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A Location Map SU201101](#)
[Exhibit B Site Plan SU201101](#)
[Exhibit C Elevations SU201101](#)
[Exhibit D Operational Plan SU201101](#)
[Exhibit E Legal Descript SU201101](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

SU201101 - Specific Use Permit/Site Plan - Impound Lot at 2409 E Main St (City Council District 5). Specific Use Permit & Site Plan request for Auto Impound uses on four industrial lots. 1.402 acres out of the Thomas Collins Survey, Abstract 308, being Westover Place Addition, Block A, Lots 3,4,7 & 8, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) District and designated Specific Use Permit-814A, located in CBD No. 4, generally located southeast of E. Main Street and Bagdad Road, and addressed as 2409 E. Main Street.

Presenter

Charles Lee, AICP, CBO, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

SU200701/S200701 -Specific Use Permit/Site Plan -Impound Lot at 2409 E. Main St. Rudy's- Auto Sales (City Council District 5). A request to consider amending Specific Use Permit-814A (S-814A) to allow for Auto Impound Lot use on a portion of the property. The 1.402-acres property is out of the Thomas Collins Survey, Abstract 308, being Westover Place Addition, Block A, Lots 3,4,7 & 8, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) District and designated Specific Use Permit-814A, located in CBD No. 4, generally located southeast of E. Main Street and Bagdad Road, addressed as 2409 E. Main Street.

PURPOSE OF THE REQUEST:

This request was prompted by using portions of the property for on-site impound and storage of inoperable vehicles. As a result, the operator has received citations and fines for code violations in storing inoperable and wrecked vehicles on the property. In response, the operator is seeking to amend S-814A and site plan to allow for auto impound 'yard' uses on the property.

Auto Impound 'Yard' Use is defined as a facility used for temporary impound and/or storage of abandoned or inoperable automotive vehicles prior to being reclaimed, repaired or transported. An auto impound use requires the approval of Specific Use Permit (SUP) within the LI zoning district.

HISTORY:

The property was used for miscellaneous outside storage of trucks and trailers prior to the current used car dealership.

- March 2009, City Council authorized SUP-814A allowing for used auto sales (Del Norte Motors aka, Rudy's Auto Sales).
- February 2010, an additional Certificate of Occupancy was issued for (Tejano Truck Sales)
- April 2011, City Council review and renew granting permanent authorization for SUP-814.

Both dealerships, and a finance division of the businesses are currently housed out of an 840 sq. ft. masonry office building. The office building is located on the western portion of the property. The site provides approximately 124 parking spaces for car and truck sales inventory.

ADJACENT LAND USES AND ACCESS:

Direction	Zoning	Existing Land Use
North	Planned Development-237 (PD-237) District	Vacant
East	Planned Development-237 (PD-237) District	Lito Auto Sales
West	Light Industrial (LI) District	Dario Auto Sales
South	Light Industrial (LI) District	Auto Related Business

Access to the site is from an existing commercial driveway located on the eastern portion of the site connecting to E. Main Street and extending to the southern portion of the property. The site is secured with an 8' wrought-iron fence along the property's perimeter and a matching 8' wrought iron gate securing entry during non-business hours.

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The existing used car dealerships function and operate within the accepted standards and practices regarding the placement of sales inventory, customer and employee parking spaces. The operator proposes to set aside

approximately 40 spaces (gated) for repossessed vehicles, as shown on the updated site exhibit.

CODE VIOLATIONS:

Storing of inoperable and wrecked vehicles continue to occur on the site resulting in fines and citations in violation of Article XX-Automotive Related Business Regulations, Section 29-138 referenced below.

Sec. 29-138. - Outside storage of inoperable vehicles and auto parts.

(a) It shall be unlawful for any materials used in repair, inoperable vehicles, vehicle parts or any other related materials to be stored outside an enclosed building at a body shop, auto repair shop or used car lot, unless the business has a duly issued certificate of occupancy that specifically allows such storage or use.

(b) The practice of storing salvaged parts of such vehicles and/or the salvaging of any used parts of such vehicles is specifically prohibited except for at a duly licensed and legally operated salvage yard.

(Ord. No. 5679, § 3, 10-15-96; Ord. No. 7746, § 1, 3-4-08)

CONFORMANCE WITH COMPREHENSIVE PLAN:

The subject property is designated as appropriate for Commercial Retail & Office uses on the Future Land Use Map (FLUM). Commercial, Office and Retail typically include commercial uses appropriate for retail and office environments. The proposal is inconsistent with the FLUM.

Objective 15: Policy 11 of the Comprehensive Plan addresses Auto Related Business (ARB) by advocating for SUP requirement with conditions and standards when considered.

APPLICABLE DEVELOPMENT STANDARDS:

This site shall conform to the Auto-Related Business (ARB) Standards including no outside repair and/or storage of parts and materials, this includes junked, wrecked and salvaged vehicles. Parking of vehicles shall be on designated areas.

RECOMMENDATION:

DRC Staff cannot support the request for an impound yard within the Light Industrial district and due to the continuing efforts made by:

- Adoption of Auto-Related Business Ordinance (Updated)
- Ongoing collaboration of ongoing Code Enforcement, Environmental Services and Planning Department efforts in securing environmentally safe, viable, well maintained auto related business sector of Grand Prairie's Central Business District utilizing acceptable best practices, for promoting the health, safety, welfare and overall aesthetics of Grand Prairie's (CBD) Central Business District.
- Setting a precedent for other auto-related businesses in the practice of storing repossessed and wrecked/salvaged inventory.

If considered for approval DRC staff recommends the operator comply with the following conditions:

Provide a log and/or a valid record for all repossessed vehicles located on the premises. The log/ledger shall be created upon receipt and release of said vehicle on the premises. The log/ledger shall include the Vehicle Identification Number (VIN), owner name and date the vehicle arrived on the premises. Loading and unloading of vehicles done on-site, not permitted within public's rights-of-way. Nonrepairable Motor Vehicles and Salvage Motor Vehicles are prohibited from being on-site longer than seven (7) calendar days.

EXHIBIT A - LOCATION MAP
PAGE 1 OF 1



CASE LOCATION MAP
SU201101 - Specific Use Permit
Impound Lot at 2409 E. Main St.

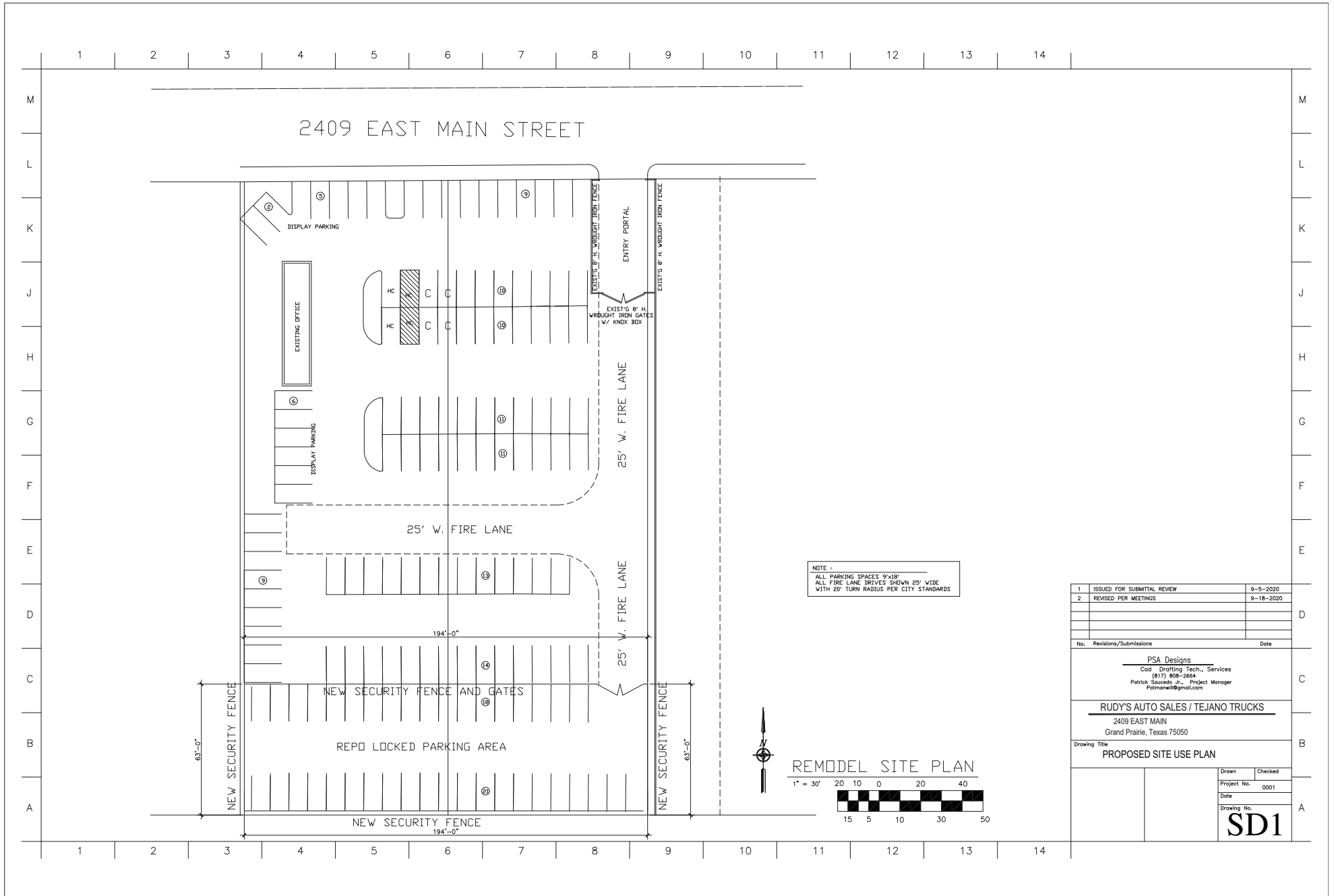


City of Grand Prairie
Development Services

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EXHIBIT B - SITE PLAN

PAGE 1 OF 1



[illegible]

BUSINESS PLAN FOR 2409 E. MAIN

This is an existing used auto sales lot here. There are two businesses, Tejano Trucks, and Rudy's Auto Sales. They, along with three other lots (one in Irving, and two in Dallas) are all owned by one person, who also owns the finance company that finances some of the vehicles.

Unfortunately, some of the vehicles must be repossessed. They propose to use the far southern end of the property as a holding lot for the repossessed vehicles.

There will be no change to the existing business operated at Rudy's Auto Sales, or Tejano Trucks. They will continue to operate as allowed under the current Auto Sales SUP that is in place. The applicant (owner) also owns the aforementioned three dealerships (Irving Trucks in Irving, and two more Rudy's Auto Sales sites in Dallas). All vehicles sold or displayed for sale at this address are placed for sale by Rudy's Auto Sales, or Tejano Trucks, or on inter-dealership loan from one of the above named affiliate dealerships. All vehicles on sales lot are sold from the same office, by the same owner. All sales vehicles have a "Terms of Sale" sticker in the window, with the dealer name on it.

They have to keep the repossessed vehicles for 30 days to allow the folks an opportunity to redeem them. Also, sometimes they have been damaged, and there are insurance company delays before vehicles can be resold. Also there are very few instances of a legal claim against a vehicle (NTTA, TxDot, etc.) and these must be resolved before vehicles can be resold. However, under no circumstances will any vehicle be in this lot for a period greater than 180 days from arrival.

There will ONLY be vehicles that are owned/financed by the owner of the property stored here. Paperwork (Copies of titles, with impound dates stamped on them) will be kept on file for each vehicle.

All ARB rules and regulations will continue to be strictly adhered to.

NO SALVAGING OR OTHER WORK WILL BE DONE ON ANY VEHICLES, EXCEPT FOR WHATEVER IS NECESSARY TO ALLOW THEM TO BE MOVED.

EXHIBIT E - LEGAL DESCRIPTION
PAGE 1 OF 2

FIELD NOTES TRACT 2:

BEING a part of Lots 3 and Lot 7, Block A, Westover Place Addition, an Addition to the City of Grand Prairie, according to the Plat thereof recorded in Volume 1, Page 396, of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with cap marked "KSC 4019" in the south line of East Main Street (Tx. Hwy. 180)(100' right-of-way) being in the east line of Lot 3 and the west line of Lot 4, and said **Point of Beginning** bears: S. 00°18'52" W., 25.72 feet from the original northeast corner of said Lot 3;

THENCE S. 00°18'52" W., with the common east line of said Lot 3, with the west line of said Lot 4, at 159.28 feet passing the southeast corner of said Lot 3, the southwest corner of said Lot 4, the northwest corner of Lot 7, and the northwest corner of Lot 8, and continuing S. 00°18'52" W., with the common east line of said Lot 7 with the west line of Lot 8, in all a total distance of 305.28 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" for corner;

THENCE S. 89°58'46" W., over and across said Lot 7, with a line that is 39.00 feet north of and parallel to the south line of Said Lot 7, for a distance of 100.00 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" set for corner in the west line of said Lot 7, the east line of said Lot 6;

THENCE N. 00°18'52" E., with the common west line of said Lot 7, with the east line of said Lot 6, at 146.00 feet passing the common northeast corner of said Lot 6, the southwest corner of said Lot 3, the southeast corner of Lot 2, and continuing N. 00°18'52" E., in all a total distance of 304.56 feet to a 5/8 inch iron rod set for corner in the south line of said East Main Street;

THENCE N. 89°33'58" E., over and across said Lot 3, for a distance of 100.01 feet to the **Point of Beginning** and containing 30,491 square feet or 0.700 of an acre of land more or less.

RECEIVED

SEP 29 2020

SURVEY PLAT / TRACT 2		
LOT 3 AND LOT 7, BLOCK A WESTOVER PLACE ADDITION		
City of Grand Prairie, Dallas County, Tx.		
KEETON SURVEYING COMPANY		
H.B. KEETON M.S. "STEVE" KEETON		
REGISTERED PROFESSIONAL LAND SURVEYORS		
2037 DALWORTH STREET GRAND PRAIRIE, TEXAS		
PHONE: (972) 641-0843 FAX: (972) 647-0154		
E-MAIL: ksc4019@abglobal.net		
DATE:	SCALE:	FILE:
8/1/2005	1"=40'	WP-TRACT-2.dwg

EXHIBIT E - LEGAL DESCRIPTION
PAGE 1 OF 2

FIELD NOTES TRACT 1:

BEING a part of Lots 4 and Lot 8, Block A, Westover Place Addition, an Addition to the City of Grand Prairie, according to the Plat thereof recorded in Volume 1, Page 396, of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found for corner in the south line of East Main Street (Tx. Hwy. 180)(100' right-of-way) and the west line of S.E. 25TH Street (40' right-of-way) vacated by the City of Grand Prairie, said **Point of Beginning** bears: S. 00°18'52" W., 25.00 feet from the northeast corner of said Lot 4;

THENCE S. 00°18'52" W., with the east line of said Lot 4 and Lot 8 and with the west line of said S.E. 25TH Street for a distance of 306.00 feet to a 1/2 inch iron rod found for corner, which bears: N. 00°18'52" E., 39.00 feet from the southeast corner of said Lot 8;

THENCE S. 89°58'46" W., over and across said Lot 8, for a distance of 100.00 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" in the west line of said Lot 8, and the east line of Lot 7;

THENCE N. 00°18'52" E., with the west line of said Lot 8 and Lot 4, and the east line of Lot 7, for a distance of 305.28 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" in the south line of said East Main Street;

THENCE N. 89°33'58" E., over and across said Lot 4 and with the south line of said East Main Street for a distance of 100.01 feet to the **Point of Beginning** and containing 30,563 square feet or 0.702 of an acre of land more or less.

RECEIVED

SEP 29 2020

SURVEY PLAT / TRACT 1		
LOT 4 AND LOT 8, BLOCK A WESTOVER PLACE ADDITION		
City of Grand Prairie, Dallas County, Tx.		
KEETON SURVEYING COMPANY		
H.B. KEETON M.S. "STEVE" KEETON REGISTERED PROFESSIONAL LAND SURVEYORS 2037 DALWORTH STREET GRAND PRAIRIE, TEXAS PHONE: (972) 641-0843 FAX: (972) 647-0154 E-MAIL: ksc4019@abglobal.net		
DATE: 8/1/2005	SCALE: 1"=40'	FILE: WP-TRACT-1.dwg