

**ORDINANCE NO. 7224  
PLANNED DEVELOPMENT NO. 314  
CASE NO. Z050604**

**AN ORDINANCE AMENDING THE ZONING MAP AND ORDINANCE TO REZONE A 8.636 ACRE TRACT, BEING LOT 3R, BLOCK 1, AMERICAN EUROCOPTER ADDITION, IN THE CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS, FROM LIGHT INDUSTRIAL (LI) DISTRICT TO A PLANNED DEVELOPMENT DISTRICT FOR ALL USES PERMITTED IN THE LIGHT INDUSTRIAL (LI) DISTRICT AND SPECIFICALLY INCLUDING A FLEA MARKET AND ENTERTAINMENT USES; SAID ZONING MAP AND ORDINANCE BEING NUMBERED ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; CONTAINING A SAVINGS CLAUSE; AND TO BECOME EFFECTIVE UPON ITS PASSAGE AND APPROVAL.**

**WHEREAS**, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and map of said city so as to rezone and reclassify said property (the zoning area) from its classification as follows:

**From Light Industrial (LI) District to a Planned Development District for all Uses Permitted in the Light Industrial (LI) District and Specifically Including a Flea Market and Entertainment Uses, and**

**WHEREAS**, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on June 27, 2005 after written notice of such public hearing before the Planning and Zoning Commission on the proposed rezoning had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

**WHEREAS**, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 9 to 0 to recommend to the City Council of Grand Prairie, Texas, that the hereinafter described property (the zoning area) be rezoned from its classification as follows:

**From Light Industrial (LI) District to a Planned Development District for all Uses Permitted in the Light Industrial (LI) District and Specifically Including a Flea Market and Entertainment Uses, and**

**WHEREAS**, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on July 5, 2005 to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Fort Worth, Texas, a newspaper of general circulation in such municipality; and

**WHEREAS**, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the proposed rezoning and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the use proposed on said property, as well as the nature and usability of surrounding property, have found and determined that the property in question, as well as other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance from its classification **from Light Industrial (LI) District to a Planned Development District for all Uses Permitted in the Light Industrial (LI) District and Specifically Including a Flea Market and Entertainment Uses**, and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:**

**SECTION 1.**

That Ordinance Number 4779, being the Zoning Ordinance and Map of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

"AN ORDINANCE AMENDING IN ITS ENTIRETY CHAPTER 28 OF THE CODE OF ORDINANCES KNOWN AS THE ZONING ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN..."

and passed and approved November 20, 1990, as amended, is hereby further amended so as to rezone the above described area all within the zoning area as described as shown on the attached Exhibit "A" incorporated herein by reference.

**SECTION 2.**

All development shall conform to the provisions contained in this ordinance for the Planned Development District. Standards not contained in this ordinance shall conform to those prescribed for the Light Industrial (LI) District and to all other relevant development standards established in the Unified Development Code (UDC).

**SECTION 3.**

That the following conditions are hereby established for that 8.536 acre tract of land identified as “Lot 3R, Block 1, American Eurocopter Addition on the attached Exhibit “A” incorporated herein by reference as part of this ordinance.

1. Permitted uses include all uses allowed in the Light Industrial (LI) District along with a Flea Market as a primary use with the following associated uses:

- Rodeo Arena
- RV Park
- On-site sale and consumption of alcoholic beverages (beer only)
- Amusement rides
- Game arcade
- Entertainment uses

2. A planned development site plan must be filed that reflects conformance with all conditions contained in this ordinance.
3. Any changes to the approved planned development site plan must be resubmitted for review and approval.
4. Landscaping for the subject site shall be in conformance to those standards prescribed in Article 8 of the Unified Development Code.
5. Adequate restroom facilities with permanent plumbing shall be provided for the flea market use. Restroom facilities shall be clearly depicted on the required planned development site plan.

**Section 4.**

It is further provided that in case a section, clause, sentence or part of this Ordinance shall be deemed or adjudged by a Court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair or invalidate the remainder of this Ordinance.

**Section 5.**

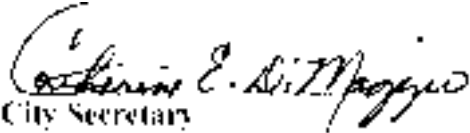
All ordinances or parts of ordinances in conflict herewith are specifically repealed.

Section 6.

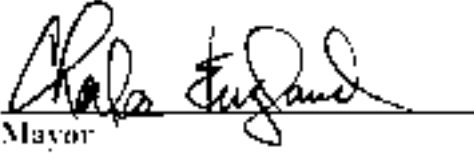
That this Ordinance shall be in full force and effect from and after its passage and approval.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, THIS THE 5TH DAY OF JULY, 2005.**

ATTEST:

  
Catherine E. DiMaggio  
City Secretary

APPROVED:

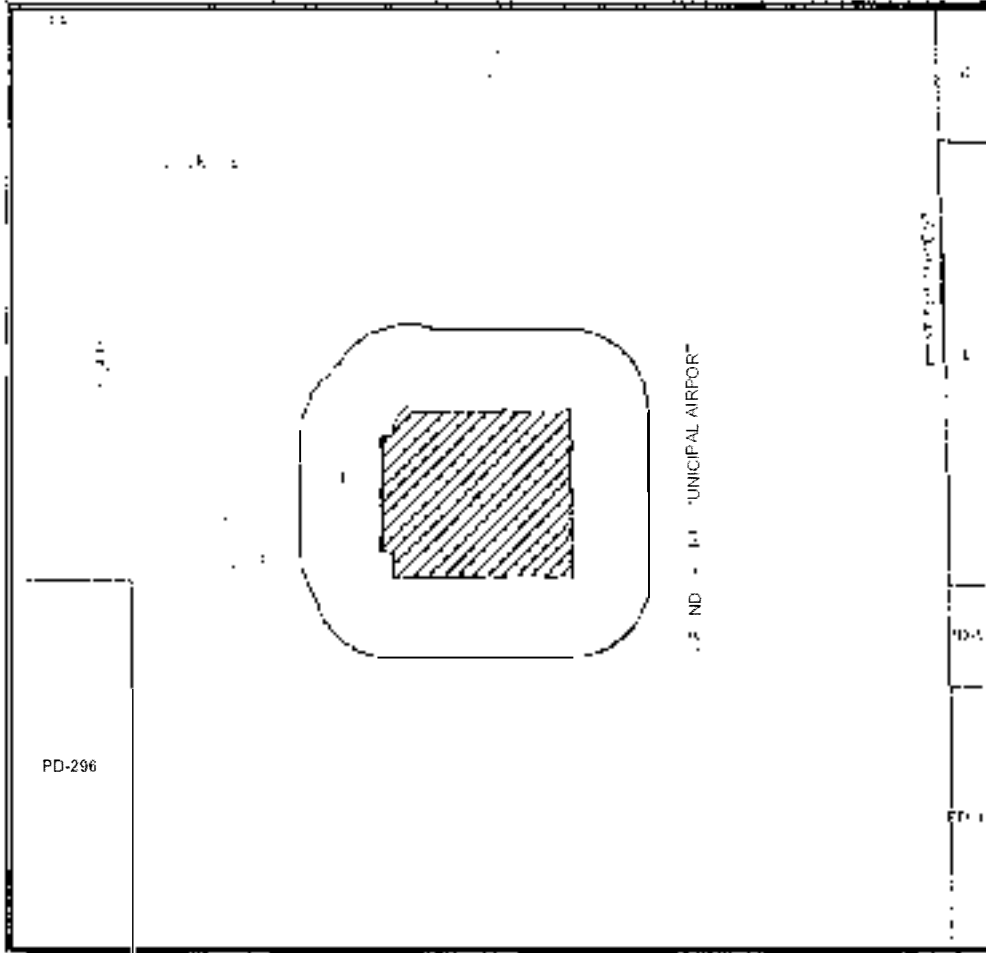
  
Charles England  
Mayor

APPROVED AS TO FORM:

  
\_\_\_\_\_  
City Attorney

Case No. Z050604

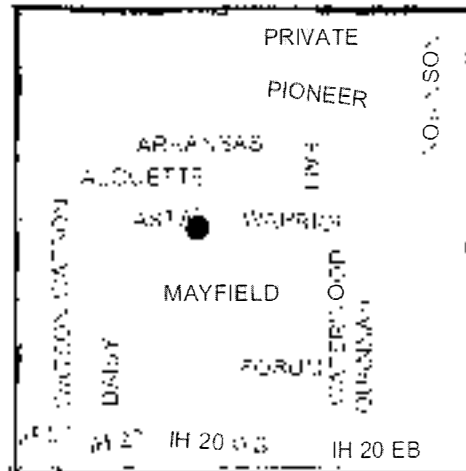
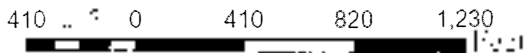
# PROPERTY OWNER NOTIFICATION / LOCATION MAP



Shaded Area Indicates  
Notification Boundary  
(If applicable)

CASE NUMBER: Z050604  
ZONING REQUEST -  
2488 ASTAR LN  
CURRENT ZONING: LI  
REQUEST:

A request for approval of a  
Zoning Change for 2488 Astar Ln.  
For the expansion of Traders Village



**Exhibit "A"**  
**Page 2 of 4**

**LEGAL DESCRIPTION**

BEING Lot 3R, Block 1, AMERICAN EUROCOPTER ADDITION, to the City of Grand Prairie, Tarrant County, Texas, as shown to the plat recorded in Cabinet A, Slide 433 of the Plat Records of Tarrant County, Texas, and being more particularly described by metes and bounds, as follows:

BEGINNING at a "PK" nail found, at the most Southerly Southwest corner of said Lot 3R, lying in the East right-of-way line of Astar Lane;

THENCE N 00° 17' 00" W 108.00 feet, along the West boundary line of said Lot 3R, and the East right-of-way line of said Astar Lane, to 1/2" iron rod set;

THENCE S 89° 58' 52" W 667.01 feet, along the most Northerly South boundary line of said Lot 3R, and the North right-of-way line of said Astar Lane, to a 1/2" iron rod found, at the most Northerly Southwest corner of said Lot 3R;

THENCE along the West boundary line of said Lot 3R, as follows:

1. N 00° 17' 00" W 168.18 feet, to a 1/2" iron rod found;
2. S 89° 58' 52" W 271 feet, to a 1/2" iron rod found;
3. N 00° 17' 00" W 17.32 feet, to a 1/2" iron rod found, at the most Northerly Northwest corner of said Lot 3R;

THENCE along the North boundary line of said Lot 3R, as follows:

1. N 89° 58' 52" E 46.00 feet, to a 1/2" iron rod found;
2. N 00° 17' 00" W 30.00 feet, to a 1/2" iron rod found;
3. N 4° 14' 40" E 55.50 feet, to a 1/2" iron rod found;
4. S 89° 58' 52" E 34.00 feet, to a steel fence post found;
5. N 89° 58' 52" E 58.35 feet, to a 1/2" iron rod found, at the Northeast corner of said Lot 3R;

THENCE S 23° 13' E 535.68 feet, along the East boundary line of said Lot 3R, and the East boundary line of the Grand Prairie Municipal Airport, to a 1/2" iron rod found, at the Southeast corner of said Lot 3R;

THENCE N 89° 58' 52" W 667.01 feet, along the South boundary line of said Lot 3R, to THE PLACE OF BEGINNING, containing 8.536 acres (371,821 square feet) of land.

FLOOD NOTE

THIS MAP IS NOT TO BE USED FOR FLOODING PURPOSES. THE CITY ENGINEER'S OFFICE WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS ARISING FROM THE USE OF THIS MAP FOR FLOODING PURPOSES.

BETHEAN & CRAWFORD  
LAND SURVEYORS  
1000 WEST 10TH STREET  
DALLAS, TEXAS 75204  
PHONE 754-1111

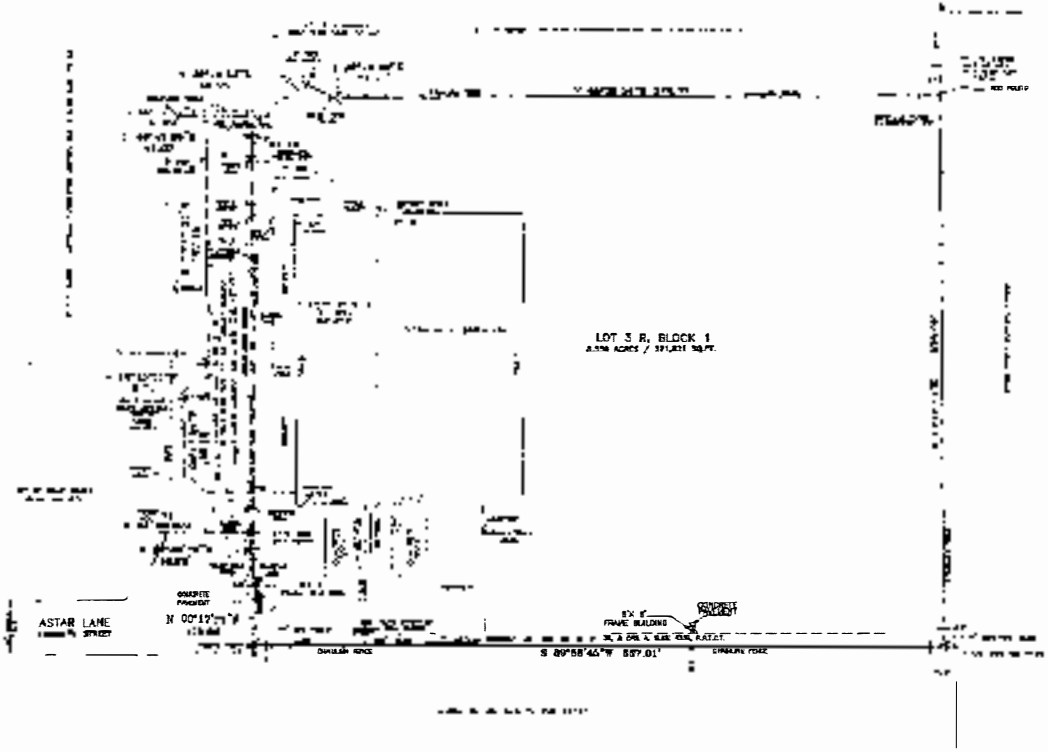


Exhibit "A"  
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BOUNDARY SURVEY MAP  
OF  
LOT 3 R, BLOCK 1  
AMERICAN EUROCOPTER ADDITION  
TO THE CITY OF GRAND PRAIRIE, TARRANT COUNTY,  
TEXAS, ACCORDING TO THE PLAT RECORDED IN  
CABINET A, SLIDE 4339, OF THE PLAT RECORDS  
OF TARRANT COUNTY, TEXAS

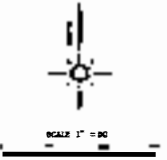


Exhibit 'A'  
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Concept Plan

