

AN ORDINANCE AMENDING THE ZONING MAP AND ORDINANCE TO REZONE A 10.50 ACRE TRACT OF LAND SITUATED ON A PART OF BLOCK A, PRAIRIE OAKS PARK ADDITION, RECORDED IN VOLUME 388-168, PAGE 63, PLAT RECORDS OF TARRANT COUNTY TEXAS, CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS, GENERALLY LOCATED NORTH OF OSLER DRIVE AND WEST OF STEWART DRIVE, **FROM HOSPITAL DISTRICT (HD) TO A PLANNED DEVELOPMENT FOR MULTI FAMILY RETIREMENT HOUSING USES**; SAID ZONING MAP AND ORDINANCE BEING NUMBERED ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; CONTAINING A SAVINGS CLAUSE; AND TO BECOME EFFECTIVE UPON ITS PASSAGE AND APPROVAL.

WHEREAS, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and map of said city so as to rezone and reclassify said property from its classification of from **Hospital District (HD) to a Planned Development for Multi Family Retirement Housing uses**; and

WHEREAS, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on March 10, 2003 after written notice of such public hearing before the Planning and Zoning Commission on the proposed rezoning had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

WHEREAS, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 5 to 2 to recommend to the City Council of Grand Prairie, Texas, that the hereinafter described property be rezoned from its classification of **Hospital District (HD) to a Planned Development for Multi Family Retirement Housing uses**; and

WHEREAS, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on March 25, 2003 to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and to conduct a first reading of the amendatory Ordinance for the proposed rezoning, and to establish a date and time for a second reading of the amendatory Ordinance for the proposed rezoning to be placed on the public hearing consent agenda before the City Council of the City of Grand Prairie, Texas, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Grand Prairie Morning News addition of the Dallas Morning News, Dallas, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, the City Council of the City of Grand Prairie, Texas established a second reading of the amendatory Ordinance for the proposed rezoning for consideration on the public hearing consent agenda before the City Council of the City of Grand Prairie, Texas, to be held in the City Hall Plaza Building at 6:30 o'clock P.M. on August 19, 2003 at the City Hall Complex in Grand Prairie, Texas, in which the amendatory Ordinance will be considered for final approval if project financing related to the proposed rezoning is confirmed, or the amendatory Ordinance will be denied if project financing related to the proposed rezoning is not confirmed; and

***WHEREAS, a second reading of the amendatory Ordinance for the proposed rezoning before the City Council of the City of Grand Prairie, Texas, was held in the City Hall Plaza Building at 6:30 o'clock P.M. on August 19, 2003 at the City Hall Complex in Grand Prairie, Texas, in which project financing related to the proposed rezoning was confirmed; and***

WHEREAS, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the proposed rezoning and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the use proposed on said property, as well as the nature and usability of surrounding property, have found and determined that the property in question, as well as other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance from its classification of **Hospital District (HD) to a Planned Development for Multi Family Retirement Housing uses** and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

**I.**

That Ordinance Number 4779, being the Zoning Ordinance and Map of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

"AN ORDINANCE AMENDING IN ITS ENTIRETY CHAPTER 28 OF THE CODE OF ORDINANCES KNOWN AS THE ZONING ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN..."

and passed and approved November 20, 1990, as amended, is hereby further amended so as to rezone the following described area from its classification of **Hospital District (HD) to a Planned Development for Multi Family Retirement Housing uses** within the area described as shown on the attached Exhibit "A" incorporated herein by reference and being more particularly described by metes and bounds as follows:

**Legal Description**

10.5 acres out of Block A, Prairie Oaks Park, an addition to the City of Grand Prairie, Tarrant County, Texas, according to the plat thereof recorded in Volume 388-168, Page 63, of the Plat Records of Tarrant County, Texas, more particularly described as follows: Beginning at the most southeast corner of such Block A, then S 89°57'10" a distance of 65.35 feet; then 449.01 feet along a curve to the right having a of 45°08'02", T=236.89, R=570' and a L=449.01'; then N30°00'00"E a distance of 280'; then N 00°00'00"E a distance of 635'; thence S89°45'10"E a distance of 420'; thence S 00°02'50"W a distance of 1137.30' to the place of beginning.

**II.**

**DEVELOPMENT STANDARDS**

A final plat of this site must be filed prior to building permits being issued. A Planned Development Site Plan shall be reviewed and approved by the City prior to the issuance of any building permits. All development must meet the minimum requirements of the Multi-Family 3 (MF-3) zoning district as specified in the Unified Development Code except as detailed below.

1. **PERMITTED USES**

A. Those uses involving the operation of multi family buildings specifically designed for the housing of retired senior citizens 55 years of age or older. Establishments engaged in the operation of commercial apartment buildings, hotels, commercial rooming and boarding houses, or similar types of transient lodging is prohibited.

2. **DENSITY AND DIMENSIONAL REQUIREMENTS**

A. Unit density shall not exceed 20 units per net acre.

B **Units per Building**

a. Units per building shall be established by approval of a Planned Development Site Plan by the Planning and Zoning Commission and City Council.

C. All exterior wall surfaces to be constructed of 90% brick masonry or stone.

a. No more than 50% of the non-masonry portion of an exterior wall shall be composed of wood siding or a generic plank-type of siding material.

D. **Minimum Roof Slope**

a. Minimum roof pitch shall be 6:12 with 8:12 accents spaced periodically

throughout the roof line that highlight specific architectural features within the building facade

4. FENCING AND LANDSCAPING

- A A 6-foot high wrought iron type fence is required along all perimeter lot lines with brick columns placed every 30-feet on center along Osler Street and Howell Street with said brick columns extending 100-feet back from same street rights-of-way. Metal columns are to be placed in between the brick columns every 10-feet on center. Metal column spacing may exceed 10-feet on center for those segments of fence constructed beyond the brick columns located 100-feet back from the street rights-of-way. Such fence cannot be constructed within the visibility triangle at driveway intersections. Any security gates shall be installed with an opticom device or similar entry device approved by the Fire Department to facilitate emergency access.
- B Landscaping requirements shall comply with Article VIII, “Landscaping and Screening” of the Unified Development Code.
- C All new landscape construction must be irrigated and maintained in a healthy state and be devoid of weeds or unplanned vegetation. All dead landscape materials must be promptly removed and replaced as required.
- D. Any existing on-site trees to be preserved for landscape credits shall be documented on the Planned Development Site Plan. Such trees shall be of a species listed in Exhibit 2 of Article VIII, “Landscaping and Screening” of the Unified Development Code.
- E. Street trees shall be required along Osler Drive and Howell Street at a minimum of 50-foot centers along the street frontage. A minimum 25-foot wide landscape buffer is required along these same street frontages.

5. PARKING

- A. Parking garages shall be provided for 60% of all units. Garage parking shall be directly accessible to the main building in which the apartment unit is located. Detached garage structures are not permitted. ***(Applicant is appealing to provide 48 garages)***
- B. Covered parking spaces shall be provided for 70% of all units. Covered parking structures shall be architecturally enclosed on three sides by a brick or stone masonry material. The roof structure for covered parking spaces shall be constructed of a similar roofing material used for the main residential building. A flat roof design is not permitted for covered parking spaces. ***(Applicant is appealing to provide 52 carports with architectural enclosure to be determined)***

*at time of Planned Development Site Plan review.)*

6. OTHER DEVELOPMENT REQUIREMENTS

- A. A planned development site plan shall be reviewed and approved by the City prior to the issuance of any building permits.
- B. A metes and bounds description of the zoning area shall be provided to the Planning and Development department.

**III.**

All ordinances or parts of ordinances in conflict herewith are specifically repealed.

**IV.**

That this Ordinance shall only be in full force and effect from and after its passage and approval upon second reading.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, this the 25<sup>th</sup> day of March, 2003.

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MAYOR  
City of Grand Prairie, Texas

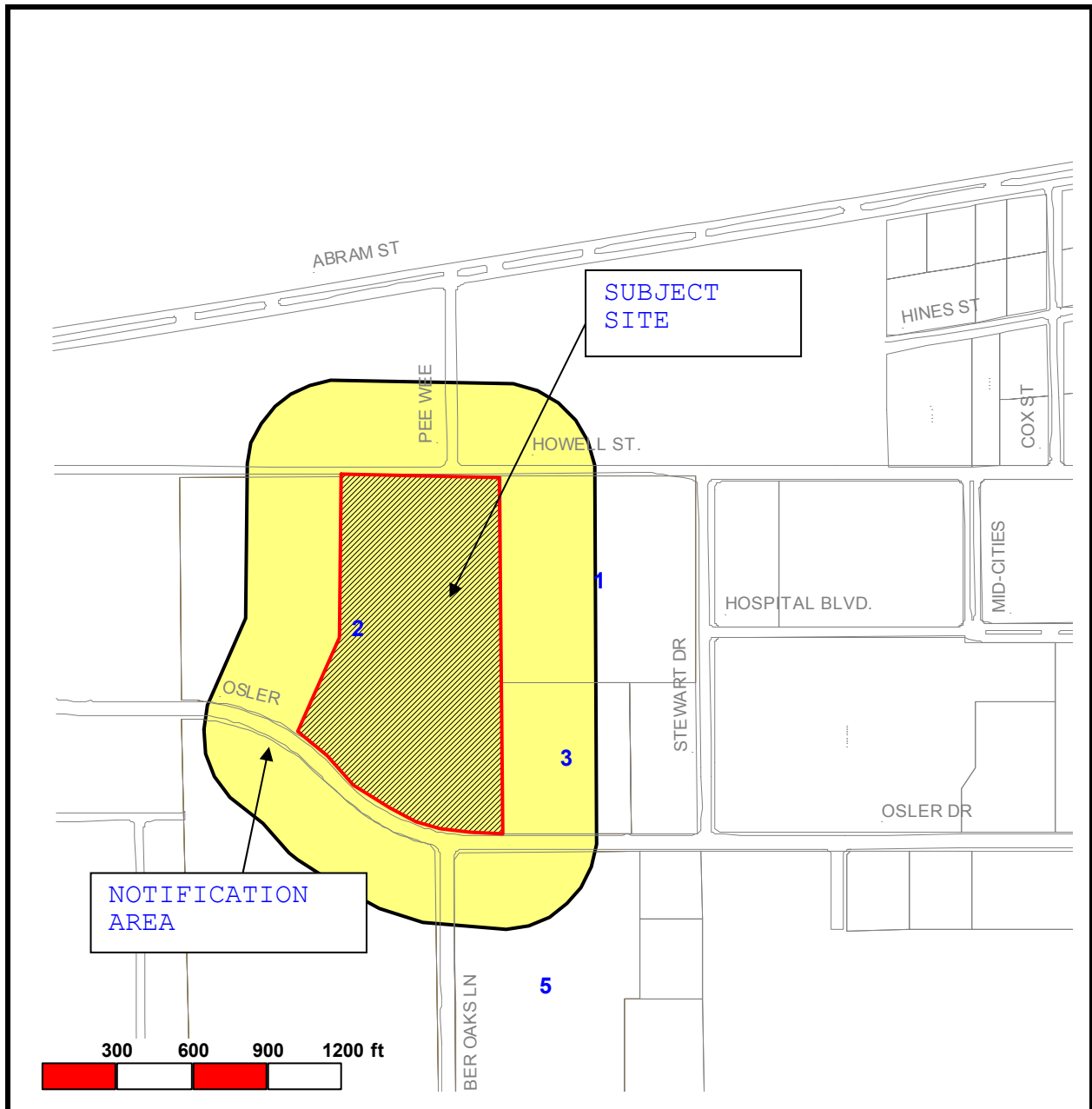
ATTEST:

\_\_\_\_\_  
City Secretary

APPROVED AS TO FORM AND LEGALITY:

\_\_\_\_\_  
City Attorney

*Zoning Case No. Z030303*



**Exhibit "A"**  
Cross Hatched Area Indicates zoning Area

**Z030303**  
Zoning Change  
From Hospital District (HD) to a Planned Development for a 200 Unit Retirement Community