



City of Grand Prairie

City Hall
300 W. Main Street
Grand Prairie, Texas

Meeting Agenda - Final

Planning and Zoning Commission

Monday, November 9, 2020

5:30 PM

Council Chambers and Video Conference

Due to the ongoing the ongoing COVID-19 pandemic, this meeting of the Planning and Zoning Commission shall be held in-person in the Council Chamber at Grand Prairie City Hall, as well as by videoconference. Members of the Commission and the public may elect to participate by attending the meeting in-person, or remotely via videoconference.

Members of the public may participate in the meeting remotely via broadcast by webinar or telephone through the following URL location:

You are invited to a Zoom webinar.

When: Nov 9, 2020 05:30 PM Central Time (US and Canada)

Topic: City of Grand Prairie - Planning & Zoning Meeting

Please click the link below to join the webinar:

<https://gptx.zoom.us/j/98058650078?pwd=MEZZRi96SmsvWnUzbURqOHNVU0Z6dz09>

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International numbers available: <https://gptx.zoom.us/u/a7GxSI5wd>

All meeting participants attending remotely will be automatically muted until it is their turn to speak. To be recognized to speak, use the “raise hand” feature in the Zoom meeting platform. Those joining the meeting by phone may press *9 to raise your hand. After speaking, please remute your phone by pressing *6.

Any speaker wishing to visually display documents in connection with a presentation must submit them to sware@gptx.org and mrespinoza@gptx.org in PDF format no later than 3 o’clock p.m. on Monday, November 9th.

Call to Order - Commissioner Briefing

It is the intent of the Planning and Zoning Commission to be briefed by staff, and that all items on the agenda shall be available or open for discussion during the Briefing Session. The Planning and Zoning Commission may ask applicants and other interested parties for information or presentations. All interested parties are invited to attend. Briefings are taped.

***Agenda Review**

***COVID Meeting Procedures**

Public Hearing
6:30 p.m. Council Chambers and Video Conference

Chairperson Shawn Connor Presiding

Invocation

Pledge of Allegiance to the US Flags and to the Texas Flag

Citizen Comments - Citizens may speak during Citizen Comments for up to five minutes on any item not the agenda by completing and submitting a speaker card.

Public Hearing Consent Agenda

Items listed on the Public Hearing Consent Agenda are considered to be routine and will be approved by one motion and one vote. There will be no separate discussion of the Public Hearing Consent Agenda items unless requested. If discussion is desired on an item, it will be considered separately. The Commission may ask questions of those present on an item from the Public Hearing Consent Agenda.

1 [20-10558](#) Approval of Minutes of the October 26, 2020 P&Z meeting.

Attachments: [PZ Draft Minutes 10-26-2020.pdf](#)

2 [20-10559](#) P201102 - Final Plat - I-30 MacArthur Business Center Addition, Lot 1, Block 3 (City Council District 5). Final Plat for Lot 1 Block 3, I-30/MacArthur Business Center Addition, creating one lot on 6.033 acres. Tract 27.4 and Tract 27.5, Joseph Graham Survey, Abstract No. 506, City of Grand prairie, Dallas County, Texas, zoned PD-41, within the IH-30 Corridor Overlay District, and generally located on the southwest corner of the IH-30 frontage road and N Bagdad Rd.

Attachments: [Exhibit A P201102 Location Map](#)

[Exhibit B P201102 Exhibit B FP I-30 MacArthur Business Center Blk 3, Lot 1](#)

- 3 [20-10560](#) P201103 - Preliminary Plat - Hamilton Bardin Village (City Council District 4). Preliminary Plat for Hamilton Bardin Village, Lots 1-6, Block 3R, creating six lots on 21.803 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.
- Attachments:** [Exhibit A - Location Map.pdf](#)
 [Exhibit B - Preliminary Plat.pdf](#)
- 4 [20-10561](#) P201104 - Preliminary Plat - Heritage Towne (City Council District 6). Preliminary Plat for the multifamily and commercial portions of Heritage Towne, a mixed use development located along SH-360 and HWY 287. The plat includes 6 lots covering 37.324 acres. Located at 2925 Davis Drive, legally described as Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas, zoned PD-399 District. Generally located north of Hwy 287 and east of HWY 360.
- Attachments:** [Exhibit A - Location Map.pdf](#)
 [Exhibit B - Preliminary Plat.pdf](#)
- 5 [20-10562](#) P200901 - Preliminary Plat - Slink Addition, Lots 1-7, Block 1 (City Council District 2). Preliminary Plat creating seven lots on 54.692 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.
- Attachments:** [Exhibit A - Location Map.pdf](#)
 [Exhibit B - Preliminary Plat.pdf](#)

Public Hearing Postponement, Recess, and Continuations

In accordance with Section 1.11.5.7 of the Unified Development Code (UDC) a public hearing for which notice has been given may be postponed by announcing the postponement at or after the time and place the hearing is scheduled to begin. A public hearing may be recessed and continued any time after the hearing has commenced. Section 1.11.5.7.C of the UDC states if a postponement or continuance of a public hearing is to a specific date and time no later than 60 days from the first or most recent hearing, the announcement of the postponement or continuance at the public hearing in which the application has been postponed or continued by the Planning and Zoning Commission shall be sufficient notice and no additional notice is required. However, the Planning and Zoning Commission may direct staff to re-notify postponed or continued applications for which public hearings have not yet commenced.

Items for Individual Consideration

- 6 [20-10563](#) S201101 - Site Plan - Hamilton Bardin Village Phase 1 (City Council District 4). Site Plan for Phase 1 of Hamilton Bardin Village, which includes 405 multi-family units in five buildings with a five-story parking garage on 9.647 acres, a 43,874 sq. ft. movie theater on 5.147 acres, and open space on .93 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.
- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Site Plan.pdf](#)
[Exhibit C - Landscape Plan.pdf](#)
[Exhibit D - Building Elevations.pdf](#)
[Exhibit E - Amenity Checklists.pdf](#)
- 7 [20-10564](#) S200901 - Site Plan - Kalterra Phase 1 (City Council District 2). Site Plan for a multi-family development of 412 units in four buildings on 11.74 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.
- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Site Plan.pdf](#)
[Exhibit C - Landscape Plan.pdf](#)
[Exhibit D - Building Elevations.pdf](#)
[Exhibit E - Appendix W Amenities.pdf](#)
[Exhibit F - Enhanced Screening.pdf](#)
- 8 [20-10565](#) S200603 - Site Plan - Hunter Ferrell Logistics Park (City Council District 1). Site Plan for Hunter Ferrell Logistics Park, a development with a 210,856 sq. ft. warehouse building on 13.62 acres. Tracts 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 2400 W Hunter Ferrell Rd.
- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Site Plan.pdf](#)
[Exhibit C - Landscape Plan.pdf](#)
[Exhibit D - Building Elevations.pdf](#)
[Exhibit E - Site Lines.pdf](#)

Public Hearing

Members of the public may address the Commission on items listed on the agenda under Public Hearing Items. Persons wishing to address the Commission must first complete a request to speak card. A person may also use the request to speak card to indicate his or her support or opposition to a case without speaking. Cards may be picked up at the desk by the entrance to the City Council Chambers and may be deposited at the desk or given to a staff member. Speaking time is generally limited to five minutes per speaker. Per the by-laws of the Planning and Zoning Commission, the applicant and those favoring the request shall have a maximum of 30 minutes, including rebuttal, to present their arguments for the request. Those in opposition to a request shall have a maximum of 30 minutes to present their arguments against the request. When a large group is present, it is encouraged that representatives be appointed to speak for the group so that redundant testimony is minimized. Commissioners may have questions of those speaking at the public hearing. The time used to answer the Commission's questions will not be deducted from the allotted 30 minutes. These rules may be temporarily suspended, in whole or in part, by a unanimous vote of the Commission.

- 9 [20-10566](#) CP200801 - Concept Plan - Cottages at Dechman (City Council District 2).
Concept Plan for the Cottages at Dechman, a multi-family development with a mixture of attached and detached units on 15.91 acres. Tract 2 of Leonidas O'Gwinn Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, and generally located at the northwest corner of Dechman Dr and the IH-20 frontage road.
Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Concept Plan.pdf](#)
- 10 [20-10567](#) MTP200801 - Amendment to Thoroughfare Plan - Cottages at Dechman (City Council District 2). Amendment to the Master Thoroughfare Plan to remove an unnamed collector from the Master Thoroughfare Plan. The unnamed collector creates an additional connection from Fish Creek Rd/Dechman Dr to the Interstate 20 WB Frontage Rd.
- 11 [20-10568](#) Z200401A - Zoning Change - Heritage Towne Amendment (City Council District 6).
A Planned Development Amendment for Heritage Towne, a development on 76.96 acres which includes single-family, multi-family, commercial, and open space uses. The purpose of the request is to add additional commercial zoning along Davis Road. Tracts 186713 and 186714, J Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas. Zoned PD-399 and addressed as 2925 Davis Drive. Generally located north of Hwy 287, and east of HWY 360.
Attachments: [Exhibit A - Boundary Description.pdf](#)
[Exhibit B - Zoning Exhibit.pdf](#)
[Exhibit C - Conceptual Renderings.pdf](#)
- 12 [20-10569](#) SU201101 - Specific Use Permit/Site Plan - Impound Lot at 2409 E Main St (City Council District 5). Specific Use Permit & Site Plan request for Auto Impound uses on four industrial lots. 1.402 acres out of the Thomas Collins Survey, Abstract 308,

being Westover Place Addition, Block A, Lots 3,4,7 & 8, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) District and designated Specific Use Permit-814A, located in CBD No. 4, generally located southeast of E. Main Street and Bagdad Road, and addressed as 2409 E. Main Street.

Attachments: [Exhibit A Location Map SU201101](#)

[Exhibit B Site Plan SU201101](#)

[Exhibit C Elevations SU201101](#)

[Exhibit D Operational Plan SU201101](#)

[Exhibit E Legal Descript SU201101](#)

Adjournment

In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A., the Planning and Zoning Commission agenda was prepared and posted on 11/06/2020.

**Monica Espinoza
Planning Secretary**

The City Hall is wheelchair accessible. If you plan to attend this public meeting and you have a disability that requires special arrangements, please call 972-237-8255 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.

LEGISLATIVE PRAYER AND PLEDGE OF ALLEGIANCE

It is the custom and tradition of the members of the Planning and Zoning Commission to have an invocation followed by recitals of the United States of America and State of Texas pledges of allegiance prior to the beginning of its meetings. The invocation and pledges are directed to and offered solely for the benefit of the members of Commission, though members of the audience are welcome to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and will have no bearing on any matter considered or decision made by the Commission during the meeting.



Legislation Details (With Text)

File #: 20-10558 **Version:** 1 **Name:** Approval of Minutes of the October 26, 2020 P&Z meeting.

Type: Agenda Item **Status:** Consent Agenda

File created: 11/2/2020 **In control:** Planning and Zoning Commission

On agenda: 11/9/2020 **Final action:**

Title: Approval of Minutes of the October 26, 2020 P&Z meeting.

Sponsors:

Indexes:

Code sections:

Attachments: [PZ Draft Minutes 10-26-2020.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

Approval of Minutes of the October 26, 2020 P&Z meeting.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
OCTOBER 26, 2020**

COMMISSIONERS PRESENT: Chairperson Shawn Connor, Vice-Chairperson Bill Moser, Secretary Cheryl Smith, and Commissioners, Josh Spare, Julia Perez, Max Coleman, Eric Hedin, Warren Landrum, John Fedorko.

COMMISSIONERS ABSENT: none

CITY STAFF PRESENT: Rashad Jackson, Planning and Development Director, Savannah Ware, Chief City Planner, Charles Lee, Senior Planner, Jonathan Tooley, Planner, Mark Dempsey, Deputy City Attorney, Brett Huntsman, Transportation Planner, Monica Espinoza, Executive Assistant.

Chairperson Shawn Connor called the meeting to order by Video Conference at 6:36 p.m. and Commissioner Moser gave the invocation, and Commissioner Spare led the pledge of allegiance to the US Flag, and the Texas Flag.

Citizen Comments: None

AGENDA ITEM: #1 - APPROVAL OF MINUTES: To approve the minutes of the Planning and Zoning Commission meeting of October 12, 2020.

CONSENT PUBLIC HEARING AGENDA Item #2- P201001 - Final Plat - Hill Street Addition (City Council District 5). A Final Plat to establish Lot 1, Block 1, Hill Street Addition, out of a 13.1509 acre tract. Located at 1610 and 1614 Hill Street, legally described as 13.1509 acres out of the Hein Bilsmirer Survey, Tract 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 District, and generally located north of Hill Street and East of State Highway 161.

ITEM #3 – P201101 - Final Plat - Natitex, Lot 1, Block 1 (City Council District 1). A Final Plat to establish Lot 1, Block 1, Natitex Addition, out of a .857 acre tract. Located at 923 S Highway 161, legally described as .857 acres out of the Elizabeth Gray Survey, Abstract No. 517, Page 215, Dallas County, City of Grand Prairie, Texas, Zoned PD12 District, and generally located north of Desco Lane and east of State Highway 161.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

ITEM #4- P201002 - Preliminary Plat - I-30/MacArthur Business Center Addition (City Council District 5). Preliminary Plat of Lots 1-2 Block 1, Lots 1-2 Block 2 and Lot 1, Block 3, I-30/MacArthur Business Center Addition, creating five industrial lots on 16.94 acres. I-30/MacArthur Business Center Addition, 16.94 acre tracts situated in the Joseph Graham Survey, Abstract No. 506, City of Grand Prairie, Dallas County, Texas, zoned Planned Development-41 (PD-41) Light Industrial District, within the I-30 Corridor Overlay District, generally located south of eastbound I-30 Service Road and north of Gifford Street; west of Bagdad Road extending east to Garden Way.

ITEM #5- P201003 - Final Plat - I-30/MacArthur Business Center (City Council District 5). Final Plat of Lots 1-2 Block 1, of I-30/MacArthur Business Center Addition, establishing two industrial lots on 4.929 acres. I-30/MacArthur Business Center Addition, 4.29 acre tracts situated in the Joseph Graham Survey, Abstract No. 506, City of Grand Prairie, Dallas County, Texas, zoned Planned Development-41 (PD-41) Light Industrial District, within the IH-30 Corridor Overlay District, generally located south of eastbound I-30 Service Road and north of Gifford Street; west of Burbank Way extending east to Garden Way.

ITEM #6- P201004 - Final Plat - The Lakeside (City Council District 4). Final Plat of the Lakeside, creating 44 single family residential lots and four open space lots on 10 acres. Tract 2A1, 2A3, 2A3A1, 2A3B, 2A3C, 2A3D, and 2A03A2 of the Boalis Estes Survey, Abstract No. 438, City of Grand Prairie, Tarrant County, Texas, zoned PD-401, within the Lake Ridge Corridor Overlay District, and generally located on the north side of Hanger Lowe Rd, east of Coastal Blvd, and west of Nautical Dr.

ITEM #7- P200104 – Final Plat – Mira Lago (Previously Lakeridge Commons) (City Council District 4). Final Plat for Lakeridge Commons, creating 98 residential lots on 33.653 acres. Tract 1, William Linn Survey, Abstract No. 926, City of Grand Prairie, Tarrant County, Texas, zoned PD-384, within the Lake Ridge Corridor Overlay District, and generally located west of Lake Ridge Pkwy, south of Hanger Lowe Rd, and east of Coastal Blvd.

Vice-Chairperson Moser moved to approve the minutes, cases P201001, P201101, P201002, P201003, P201004 and P200104.

Motion: Moser

Second: Coleman

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

Motion: **carried.**

ITEM FOR INDIVIDUAL CONSIDERATION: Item # 8 - S201002 - Site Plan - ATS Drive-Thru (City Council District 1). Planner Jonathan Tooley presented the case report and gave a Power Point presentation for a site plan request for a 10,994 square foot building which will include retail and a drive through restaurant on 1.14 acres. Located at 2615 W Pioneer Parkway, legally described as Sam's Properties Addition, Lot 1R, City of Grand Prairie, Tarrant County, Texas, zoned Light Industrial District, and generally located south of Pioneer Parkway and west of South Great Southwest Parkway.

Mr. Tooley stated the applicant is proposing to develop the north portion of Lot 1R (Hong Kong Market) into retail/restaurant spaces. The eastern portion of the building will provide a drive-through option a café or restaurant. The proposed layout will be approximately 75 percent restaurant and 25 percent retail. The applicant only has one tenant lined up at this time, 7 Leaves Café, which will be for the drive-thru portion of the building. The property has access from W Pioneer Parkway and will have an access easement established to allow access from S Great Southwest Parkway. By having access from Great Southwest Parkway, this will allow for garbage trucks to access the dumpster location with ease. The owner has executed a written agreement with the property owner of Lot 5R (gas station located on the corner of W Pioneer and S GSW) to establish an access easement with the driveway situated on the east property line. Mr. Loh will be required to file this agreement as a separate instrument and provide staff with a copy and show the instrument on the replat.

The Development Review Committee (DRC) recommends approval of the proposal as requested along with the following conditions:

- An access easement established with the property owner on the corner of W Pioneer and S Great Southwest Parkway. The applicant will need to file the agreement with the County and provide a separate instrument number on the replat.
- A shared parking agreement executed before the issuance of building permits.
- The property is replatted before the issuance of building permits.

Applicant Matthew Loh, 2625 W Pioneer Parkway Grand Prairie TX. 75051, stepped forward representing the case, he stated he wanted to thank the commissioners for their time and working with the City of Grand Prairie has always been great. Additionally, he stated there are several hurdles they need to overcome which includes an access easement flow moved and was able to secure it with the owner of the gas station two days ago. Shared parking isn't a problem because Asia Time Square is here in Grand Prairie to become a tourist destination. There hasn't been a

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

lease signed pending the outcome of today's commission decision but the owner of 7 Leaves is present and has agreed with the same vision for ATS.

Chairperson Connor stated he likes what they have done with the corner and it has really enhanced it. Mr. Coleman wanted to thank Mr. Loh and his family for all the money they have invested in Grand Prairie and they have always done a top notch quality product.

Commissioner Smith thanked Asia Time Square for doing a wonderful job and asked what type of cuisine will 7 Leaves Café offer.

7 Leaves Café Owner, Tony Nguyen, 2805 Greenbrook Ct. Grapevine TX. 76051, stepped forward representing the case, he stated this will be the first café drive thru in DFW and 7 Leaves Café specializes in severing coffee and tea. He went on to say the product will speak for itself and he wanted everyone to know that on every cup, employees' t-shirt and on store walls it will have the quote "Be the change you wish to see in the world" because they believe in bringing community together.

Commissioner Moser asked to get a bit more information about the franchise. Mr. Nguyen stated the brand started in Orange County by a family of immigrates 8 years ago. He signed up for 10 units in DFW with master rights. Houston and Austin also has another 30 units and the brand is in 6-7 other states now. Mr. Moser asked how many cafes are operating now. Mr. Nguyen stated 25-26 locations in California, 15-16 franchises opened at the moment. Mr. Moser asked will this café be the first one in DFW. Mr. Nguyen stated this will be the 3rd one with there being one in Carrollton and in Frisco.

Commissioner Moser stated Mr. Loh and his family have done so much for the community and likes how Mr. Nguyen echoes the family because he believes Grand Prairie is about family.

There being no further discussion on the case commissioner Spare moved to close the public hearing and approve case S201002 per staff recommendations.

The action and vote recorded as follows:

Motion: Spare

Second: Moser

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

PUBLIC HEARING AGENDA ITEM # 9- CPA201001 - Comprehensive Plan Amendment - 2601 Hines Avenue (City Council District 1). Planner Jonathan Tooley presented the case report and gave a Power Point presentation for a request to change the Future Land use Map from Mixed use to Commercial, Retail, and Office. Located at 2601 Hines Avenue, legally described as Cox and Hines Located at 2601 Hines Avenue, legally described as Cox and Hines Subdivision, Lots 1-3, 4A, 5 A, 6-8, Block D, City of Grand Prairie, Tarrant County, Texas, zoned Commercial Office District, and generally located south of Hines Avenue and west of South Great Southwest Parkway.

Mr. Tooley stated the applicant is proposing to construct a commercial business with later phasing in retail/restaurants along the Great Southwest Parkway frontage. The request is for a change from Mixed Use to Commercial/Retail/Office on the Future Land Use Map (FLUM). The 2018 update to the Comprehensive Plan defines these categories as follows:

Commercial/Retail/Office (pg. 58 of the Comprehensive Plan):

Commercial uses are more intense than retail establishments, yet also provide goods and services for the public. Examples of commercial establishments would include hotels, automotive services, and big box retailers.

Retail

This land use type is intended to provide for a variety of restaurants, shops, grocery stores, and personal service establishments. Retail uses require high visibility locations and should be located in high-traffic areas such as along arterial roadways.

Office

Office areas provide for low- to medium-rise suburban-scale developments. Generally, permitted uses include corporate, professional, medical and financial offices as well as offices for individuals and non-profit organizations. These areas can also serve as a lower intensity transitional use to adjacent residential areas.

Mixed Use (pg. 58 of the Comprehensive Plan):

Areas with this land use designation are intended for an appropriately planned mixture of non-residential and residential uses. They are referred to as mixed-use because it is envisioned that these areas would be integrated developments of retail, public, office, and entertainment, with a residential component appropriately blended into larger scale buildings that would otherwise be used to support those uses independently. Mixed-use areas are intended to provide flexibility for the City and the development community in order to encourage innovative, unique, and sustainable developments. Residential uses in mixed-use developments have begun to appeal to seniors or younger generations. Walkable connections to shopping and dining should be key

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

components of the mixed-use areas. There are two types of mixed-use - vertical and horizontal. Vertical mixed-use (sometimes referred to as New Urbanism) incorporates multiple uses in one building on different floors. For example, a building could have shops and dining on the first floor and residential and office on the remaining floors. Horizontal mixed-use is defined generally as different land uses on different lots in one area, and is not intended to be included with this description.

Development Review Committee (DRC) recommends approval of the requested amendment to the FLUM.

PUBLIC HEARING AGENDA ITEM # 10- Z201003 - Zoning Change - C at 2601 Hines Avenue (City Council District 1). Planner Jonathan Tooley presented the case report and gave a Power Point presentation for a request to change the base zoning from Commercial Office (CO) to Commercial (C) to allow for future development at this location. Located at 2601 Hines Avenue, legally described as Lots 1-3, 4A-5A, 6-8, Block D, L. Cox and C. Hines Resubdivision, City of Grand Prairie, Tarrant County, Texas, zoned Commercial Office District, and generally located south of Hines Avenue and west of South Great Southwest Parkway. Mr. Tooley stated the purpose of the request is to rezone the subject property from Commercial Office District (CO) to Commercial District (C). The owner will develop this property in two phases. The first phase will include a large commercial building that will house their business specializing in selling road striping supplies (Striping Service and Supply). In the second phase, the owner intends to build spec retail/restaurant suites along Great Southwest Parkway to attract economic development for the property. The owner is required to follow Article 6, 8, and 10 of the Unified Development Code for all future development. The owner stated that there will not be any outside storage, or any industrial type uses. Mr. Nelson is planning to replat the property into two lots to correspond with each phase of the project.

The Development Review Committee (DRC) recommends approval.

Walter Nelson 3012 Hobble Ct. Grand Prairie TX., stepped forward representing the case, he said client is wishing to develop property as soon as possible. Phase 1 building will be in less than a year and hope to have a building permit by January, Phase 2 building permit possible April. Phase 1 to open Sept. 2021 and Phase 2 six months later.

Commissioner Moser asked what does the other business on the aerial map do. Mr. Nelson stated the Sargent family owns another company called Striping Service and Supply and it's a retail operation. Mr. Moser asked will that company take up all of the building in Phase 1. Mr. Nelson

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

stated yes they are taking 20,000 sq. ft. Ms. Moser asked will Phase 2 be all rentals. Mr. Nelson stated yes.

Commissioner Coleman wanted to thank the Sargent family for investing their money in Grand Prairie.

There being no further discussion on the case commissioner Coleman moved to close the public hearing and approve case CPA201001 and Z201003 per staff recommendations.

The action and vote recorded as follows:

Motion: Coleman

Second: Smith

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 11- SU201001 - Specific Use Permit - Marshal Renee Construction (City Council District 1). Chief City Planner Savannah Ware presented the case report and gave a Power Point presentation for a Specific Use Permit for a Contractor's Shop with Outside Storage. Lot 1, Block 1, Zac's Ridge Conference Center, City of Grand Prairie, Dallas County, Texas, zoned LI, within the SH-161 Corridor Overlay District, and addressed as 1771 Robinson Rd.

Ms. Ware stated the applicant is operating a Contractor's Shop with Outside Storage at 1771 Robinson Rd. A Contractor's Shop with Outside Storage requires a Specific Use Permit when located within a Corridor Overlay District or within 300 ft. of residential zoning. A Specific Use Permit is required at this location because the subject property is within the SH-161 Corridor Overlay District and adjacent to properties zoned Multi-Family One. The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have potentially negative impact upon surrounding properties; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to eliminate such probable negative impacts.

The Development Review Committee (DRC) recommends approval with the following conditions:

1. The applicant shall submit final record drawings to the Engineering Division for processing and final acceptance before a Certificate of Occupancy will be released.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

2. The applicant shall schedule and pass any remaining inspections with the Building Inspections Division before a Certificate of Occupancy will be released.
3. The applicant shall obtain a Certificate of Occupancy within 30 days of City Council approval of this request.
4. The applicant shall obtain City Council approval of a Site Plan for any additional construction or future expansion.
5. The applicant shall provide and install landscaping that meets current Appendix F standards within six months of City Council approval of the SUP.
6. The applicant shall make any driveway and roadway improvements needed to handle expanded business operations. Transportation Department and Public Works Department will assess future expansion and determine requirements upon the formal submittal of the Site Plan development request.
7. The applicant shall post on-site signage to prevent heavy trucks from turning right to exit the site and travel northbound on Robinson Rd to connect to SH-161.
8. Heavy trucks shall use W Marshall Rd to connect to SH-161.
9. Any storage of materials under powerlines is prohibited.
10. Permanent screening of outside storage shall meet requirements in the Unified Development Code.
11. The area used for outside storage shall not exceed what is allowed by the UDC.

Commissioner Fedorko stated only thing that is concerning is he comes from a district where they approved warehouses and even with the no trucking signs, the truck drivers ignore them which is concerning for people who live around there. Ms. Ware stated the conditions with be in the Specific Use Permit like the signage and have to go south onto Marshall to get onto 161 hwy. As part of the SUP process all cases are brought back in one year for evaluation to make sure they are meeting will all of the conditions staff recommended. So if city staff observes trucks going north and get complaints those will be violations of SUP and while evaluating if there is considerable amount of traffic not meeting those conditions it could be grounds of relocation of the SUP. Mr. Fedorko asked has anyone ever been revoked of their SUP in the city. Ms. Ware stated there has been some SUP's revoked for violating the conditions placed by the planning staff.

Owner, Adam Spears from Marshall Renee Contraction, 502 Bottom St. Grand Prairie Tx., stepped forward representing the case, he stated all of his truck drivers are hourly employees and they will all be under his control.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

Commissioner Moser wanted to make sure he understood if his employees break the rules they will get fired. Mr. Spear stated yes sir.

There being no further discussion on the case commissioner Coleman moved to close the public hearing and approve case SU201001 per staff recommendations.

The action and vote recorded as follows:

Motion: Coleman

Second: Landrum

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 12- Z201002 - Zoning Change - LI at 1303 W Hunter Ferrell Rd (City Council District 1). Senior Planner Charles Lee presented the case report and gave a Power Point presentation for a Requested Zoning Change from PD-10 (Mobile Home Park) to Light Industrial (LI) district for an industrial development with a 610,000 sq. ft. warehouse/distribution facility. A 10.667-acre tract of land in the I. Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned PD-10 (Mobile Home Park), generally located southwest of Hunter Ferrell Road and MacArthur Blvd, and addressed as 1303 Hunter Ferrell Road.

Mr. Lee stated the purpose for the request is to rezone 10.667 acres from Planned Development-10 (PD-10) allowing for a Mobile Home Park to Light Industrial (LI) zoning district to construct a 610,000 SF warehouse facility. The 10.6-acre site is located less than 300 feet from the Trinity (West Fork) Riverbank. The site is sparsely vegetated with a slight depression towards the center and gradually sloping to the southeast towards the Trinity River. A gravel roadway/access drive is located along the southern portion of the tract serving an array of commercial communication towers (Broadcast Works Addition) located approximately 700 feet to the southwest. The site is located entirely within the floodplain and the applicant has been working with the City of Grand Prairie's Floodplain Administrator as well as US Army Corp of Engineers in obtaining permits to develop the property. Those include the granting of a CDC permit and in the process of (CLOMR) Conditional Letter of Map Revision approval regarding the floodplain area of request.

The Development Review Committee (DRC) recommends approval subject to:

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

- Engineering final approval of associated floodplain and CLOMR permits.
- City of Grand Prairie's and City of Irving's Transportation Engineering associated permits related to improvements along MacArthur Boulevard.

Commissioner Smith asked is FEMA giving this project any incentive or grants. Mr. Lee stated he is not aware of any.

Applicant Robert Baldwin, 3904 Elm St. Suite B Dallas Tx., stepped forward representing the case, he stated this is a great location for this project and asks for the commissioners' support.

There being no further discussion on the case commissioner Coleman moved to close the public hearing and approve case Z201002 per staff recommendations.

The action and vote recorded as follows:

Motion: Coleman

Second: Smith

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 13- TA201001 - Text Amendment - Appendix O - Hospital District. Chief City Planner Savannah Ware presented the case report and gave a Power Point presentation for a Text Amendment to Appendix O: Hospital District of the Unified Development Code to add Funeral Home to the list of permissible uses.

Ms. Ware stated the purpose of this request is to add "Funeral Home" to the list of permissible uses in Appendix O: Hospital District. The Hospital District is located immediately east of the common corporate boundary line for the City of Grand Prairie and the City of Arlington, south of Sherman St. The purpose of the Hospital District is to create a single area in which the physical and mental health needs of the citizenry can be accommodated in a comprehensive fashion with support facilities that complement the health care land uses. This request will add "Funeral Home" to Section 7.3.3: Permitted Principal Uses.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

There being no further discussion on the case commissioner Moser moved to close the public hearing and approve case TA201001.

The action and vote recorded as follows:

Motion: Moser

Second: Spare

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 14- TA201002 - Accessory Structure Text Amendment – Amendment to Article 6 Density and Dimensional Requirements of the Unified Development Code; Planning Director Rashad Jackson presented the case report and gave a Power Point presentation for an ordinance amending Article 6 Section 6 Accessory Structures, and all related sections, to amend development regulations for accessory structure size, height and allowed exterior materials.

Mr. Jackson stated Grand Prairie has seen an increase in the number of variance requests for accessory structures and detached garages. The requests have been focused primarily on size, height and exterior material exceptions. Over the last two years, approximately 34% of Zoning Board of Adjustment request stemmed from accessory structure variances ([see Attachment 1 table](#)). From a planning and development standpoint, significant and routine variance requests for regulations usually means the regulation should be amended. Staff has proposed an amendment to address the significant number of requests in order to reduce resident and staff time for such matters. The proposed amendments will streamline staff review of accessory structure requests and allow for more administrative approvals. The amendments will also put the Unified Development Code (UDC) in line with House Bill 2439 which prohibits the ability to require specific exterior materials on principle or accessory structures.

There being no further discussion on the case commissioner Hedin moved to close the public hearing and approve case TA201002.

The action and vote recorded as follows:

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

Motion: Hedin

Second: Moser

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

PUBLIC HEARING AGENDA ITEM # 15- TA201003 - Hybrid Housing Text Amendment – Amend Residential Development Standards of the Unified Development Code to establish development and design standards for hybrid housing or build to rent residential development; An ordinance amending Appendix W Residential Development Standards; Article 4 Permissible Uses; Article 10 Parking and Loading Standards and Article 30 Definitions of the Unified Development Code. Planning Director Rashad Jackson presented the case report and gave a Power Point presentation for Hybrid housing, also known as build-to-rent homes, combines elements of traditional single family and multi-family development. It typically includes a mix of attached and detached single-story units available for rent on a single lot. Maintenance of individual units, common areas and landscaping is the responsibility of a single entity. Over the last few months, the city has seen an increase in interest from developers wanted to construct hybrid housing. The Unified Development Code does not contain development standards specific to this style development. Previous hybrid housing developments have been allowed to develop under multifamily development requirements. The resulting developments have caused design concerns from staff and Council members.

Mr. Jackson stated as noted, staff recommends using the Townhouse design criteria as a basis for all hybrid housing development. Hybrid housing will be included in the Appendix W Townhouse Amenity, Design & Parking standards. The use, SF- Hybrid Housing (Build To Rent), will be added to Article 4 Permissible Uses. The use will be allowed under the SF - Townhouse zoning district. Hybrid housing planned developments will be required to use townhouse zoning as its base zoning district as well.

Most developers only implement the single-family unit as the “hybrid” aspect of the development with multifamily zoning used as the base zoning district. The increased density and typical site layout allowed for multifamily development can create design and function issues (access, parking, orientation) when trying to incorporate single family units. The goal would be to require additional single-family design and function elements to truly make a “hybrid” design that accommodates single family development.

Using the townhouse zoning designation for this use will also set a reasonable density baseline for proposed development as opposed to using the multifamily zoning designation. Staff also feels the townhouse amenity and design standard requirements will create developments more in line with other single-family developments.

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

The proposed amendment will allow for:

- More Townhouse Derived product
- Use of the existing Townhouse Amenity, Design & Parking standards set forth in Appendix W of the UDC. Simple way to regulate using existing design standards.
- Opportunity for Individual / Independent Access for each unit.
- Better building orientation. The Townhouse access and design standards address building orientation issues.
- Open space standards in line with Appendix W requirements.
- Proper ROW Screening / Landscape Buffers in accordance with existing Appendix W standards

Chairperson Connor asked is townhouse concept free standing structure with garage. Mr. Jackson stated townhouses requires garage direct access and developers may request variations.

There being no further discussion on the case commissioner Spare moved to close the public hearing and approve case TA201003 per staff recommendations.

The action and vote recorded as follows:

Motion: Spare

Second: Coleman

Ayes: Connor, Moser, Spare, Perez, Smith, Landrum, Coleman, Fedorko, Hedin

Nays: none

Approved: 9-0

Motion: **carried.**

Commissioner Moser moved to adjourn the meeting. The meeting adjourned at 8:00 p.m.

Shawn Connor, Chairperson

PLANNING AND ZONING COMMISSION MINUTES, OCTOBER 26, 2020

ATTEST:

Cheryl Smith, Secretary

An audio recording of this meeting is available on request at 972-237-8255.



Legislation Details (With Text)

File #: 20-10559 **Version:** 1 **Name:** P201102 - I-30 MacArthur Business Center Addition, Lot 1, Block 3

Type: Agenda Item **Status:** Consent Agenda

File created: 11/2/2020 **In control:** Planning and Zoning Commission

On agenda: 11/9/2020 **Final action:**

Title: P201102 - Final Plat - I-30 MacArthur Business Center Addition, Lot 1, Block 3 (City Council District 5). Final Plat for Lot 1 Block 3, I-30/MacArthur Business Center Addition, creating one lot on 6.033 acres. Tract 27.4 and Tract 27.5, Joseph Graham Survey, Abstract No. 506, City of Grand prairie, Dallas County, Texas, zoned PD-41, within the IH-30 Corridor Overlay District, and generally located on the southwest corner of the IH-30 frontage road and N Bagdad Rd.

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A P201102 Location Map](#)
[Exhibit B P201102 Exhibit B FP I-30 MacArthur Business Center Blk 3, Lot 1](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

P201102 - Final Plat - I-30 MacArthur Business Center Addition, Lot 1, Block 3 (City Council District 5). Final Plat for Lot 1 Block 3, I-30/MacArthur Business Center Addition, creating one lot on 6.033 acres. Tract 27.4 and Tract 27.5, Joseph Graham Survey, Abstract No. 506, City of Grand prairie, Dallas County, Texas, zoned PD-41, within the IH-30 Corridor Overlay District, and generally located on the southwest corner of the IH-30 frontage road and N Bagdad Rd.

Presenter

Charles Lee, AICP, CBO, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

Final Plat of Lot 1 Block 3, I-30/MacArthur Business Center Addition, creating one industrial lot on 6.033 acres. Tract 27.4 and Tract 27.5, Joseph Graham Survey, Abstract No. 506, City of Grand Prairie, Dallas County, Texas, zoned Planned Development-41 (PD-41) District, within the I-30 Corridor Overlay District, and generally located on the southwest corner of the I-30 Service Road and N Bagdad Rd.

PURPOSE OF REQUEST:

The purpose of the Final Plat is to create one industrial lot on 6.033 acres to facilitate development at this location.

ADJACENT LAND USES AND ACCESS:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	LI	Warehouse (Under Construction)
South	PD-41 & SF-4	TXDPS Office & Single-Family Residential
West	SF-4	Single Family Residential
East	PD-41	Warehouse (MacArthur Crossing)

HISTORY:

- Planned Development-41 (PD-41) was established in the 1950’s. PD-41 allows for light industrial related uses and office/warehouse uses by-right.
- April 21, 2020: City Council approved a Site Plan for five office/warehouses on 16.944 acres (Case Number S200301).
- October 12, 2020: The Planning & Zoning Commission approved a Preliminary Plat for I-30 MacArthur Business Center Addition, creating five lots on 16.94 acres (Case Number P201002).

PLAT FEATURES:

The Final Plat establishes fire lane, access, and utility easements for Lot 1, Block 3. The plat depicts an existing billboard tract, utility and visibility easements.

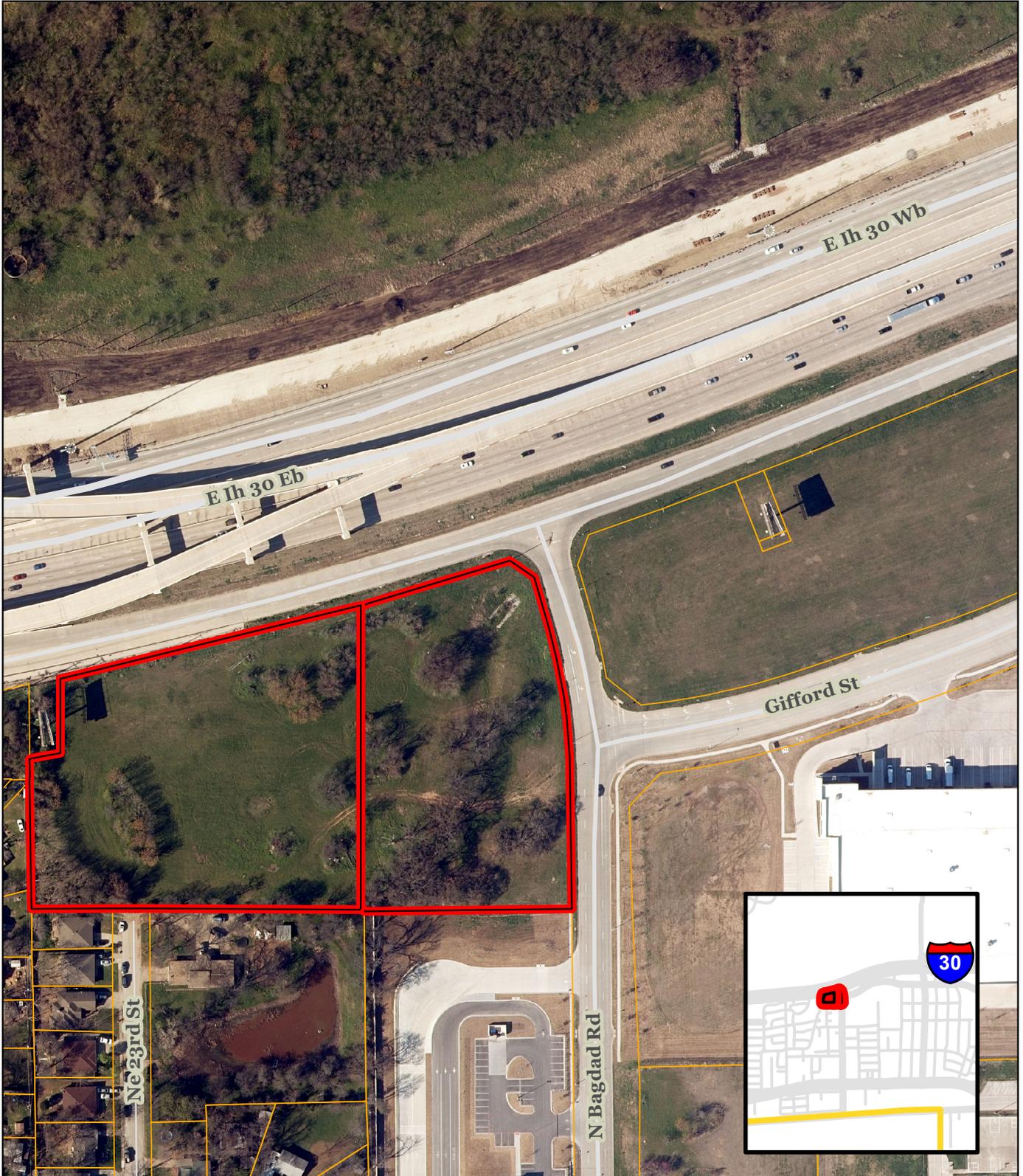
The property is zoned PD-41 for industrial uses and must meet the density and dimensional requirements for the Light Industrial (LI) District. The following table summarizes these requirements.

Table 2: Summary of Density and Dimensional Requirements

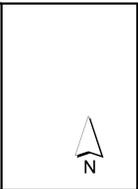
Standard	Required	Provided	Meets
Min. Lot Area (Sq. Ft.)	15,000	262,792	Yes
Min. Lot Width (Ft.)	100	718	Yes
Min. Lot Depth (Ft.)	150	380	Yes
Front Setback (Ft.)	25	25	Yes

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



CASE LOCATION MAP
P201102 - Final Plat
I-30/MacArthur Business Center
Addition, Lot 1, Block 3



City of Grand Prairie
Development Services
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Legislation Details (With Text)

File #: 20-10560 **Version:** 1 **Name:** P201103 - Hamilton Bardin Village Addition

Type: Agenda Item **Status:** Consent Agenda

File created: 11/2/2020 **In control:** Planning and Zoning Commission

On agenda: 11/9/2020 **Final action:**

Title: P201103 - Preliminary Plat - Hamilton Bardin Village (City Council District 4). Preliminary Plat for Hamilton Bardin Village, Lots 1-6, Block 3R, creating six lots on 21.803 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

P201103 - Preliminary Plat - Hamilton Bardin Village (City Council District 4). Preliminary Plat for Hamilton Bardin Village, Lots 1-6, Block 3R, creating six lots on 21.803 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Preliminary Plat for Hamilton Bardin Village, Lots 1-6, Block 3R, creating six lots on 21.803 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.

PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to create six lots on 21.803 acres to facilitate development of Hamilton

Bardin Village, a horizontal mixed-use development. The Site Plan for Phase One of this development is under concurrent review (Case Number S201101).

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-37A; PD-327	Light Industrial, Commercial, Retail
South	PD-140	Medical Offices, Multi-Family
	PD-140B	Undeveloped
West	City Limits	City Limits
East	PD-140	Concorde Career College; Church

PLAT FEATURES:

The plat depicts the necessary utility and access easements and meets the applicable dimensional standards.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with the condition that the plat adheres to the standards set forth in the UDC and the following:

1. The applicant shall establish easements by a separate instrument for the off-site improvements that will be constructed with Phase One but not final platted with Phase One. The recording information for the easements shall be shown on the final plat for Phase One.
2. The final plat shall provide a 15 ft. utility easement along all street frontages.



CASE LOCATION MAP
P201103 - Preliminary Plat
Hamilton Bardin Village, Lots 1-6,
Block 3R

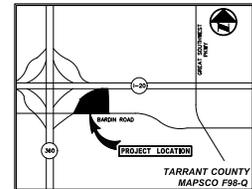


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0 30 60 120 180
GRAPHIC SCALE IN FEET
1" = 60'



TARRANT COUNTY MAPSCO F58-2
VICINITY MAP
(NOT TO SCALE)

LEGEND
 --- PROPERTY LINES
 --- EASEMENT LINE
 --- SETBACK LINE
 --- SETBACK LINE
 ○ POINT FOR CORNER (UNLESS OTHERWISE NOTED)
 VOL. VOLUME
 P.C. PAGE
 DOC. NO. DOCUMENT NUMBER
 CAB. CABINET
 SF SQUARE FEET

NOTES

- Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone 4202. Distances reported have been scaled by applying the Tarrant County surface adjustment factor of 1.000120000.
- The subject property is not located within the 1st annual chance (100-year floodplain) per FEMA Firm Map #48439C0370L in Tarrant County, dated March 21, 2019.
- Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
- Existing or future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat.
- Sidewalks required along all street frontages at the time of site development per UDC. Sidewalks shall be constructed 1' from right-of-way lines.
- The purpose of this plat is to create 6 lots out of a remainder portion of Block 3, Phase IV Sheffield Village, an Addition to the City of Grand Prairie, Texas recorded in Vol. 388-190, Pg. 83-86 of the Plat Records of Grand Prairie, Texas.
- This replat does not vacate the previous "plat of record" governing the remainder of the subdivision, nor does it amend or remove any deed covenants or restrictions.
- The location of the easements shown on this Preliminary Plat is based on the document prepared by Texas Heritage Surveying, LLC (released for review prepared only by Gary E. Johnson, Texas Registered Professional Land Surveyor No. 52939 on July 22, 2013). Surveyor was unable to find the recorded document that creates the easements.

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	034°36'30"	696.20'	424.67'	218.17'	N 37°16'54" W	416.12'
C2	017°01'56"	696.20'	156.35'	79.52'	N 61°16'21" E	156.01'
C3	094°44'04"	2844.79'	236.72'	118.43'	N 70°33'39" E	236.66'
C4	003°25'10"	2844.79'	169.76'	84.91'	S 74°19'15" W	169.76'
C5	008°03'44"	3942.43'	399.96'	200.31'	N 80°03'30" E	399.63'
C6	020°16'33"	149.00'	52.72'	26.64'	S 80°18'51" E	52.45'
C7	0144°0'49"	200.00'	51.24'	25.76'	S 24°19'01" E	51.10'
C8	026°31'30"	250.00'	115.74'	58.92'	S 18°23'49" E	114.71'
C9	009°24'32"	250.00'	23.60'	11.81'	S 28°57'18" E	23.59'
C10	0044°1'02"	250.00'	20.44'	10.22'	N 24°7'33" W	20.43'
C11	017°10'57"	696.20'	208.78'	105.18'	N 11°52'56" E	208.00'

LINE TABLE

LINE	BEARING	LENGTH
L1	S 7°10'39" E	25.18'
L2	N 00°27'02" W	39.00'

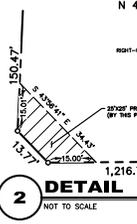
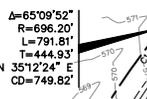
1 DETAIL
NOT TO SCALE



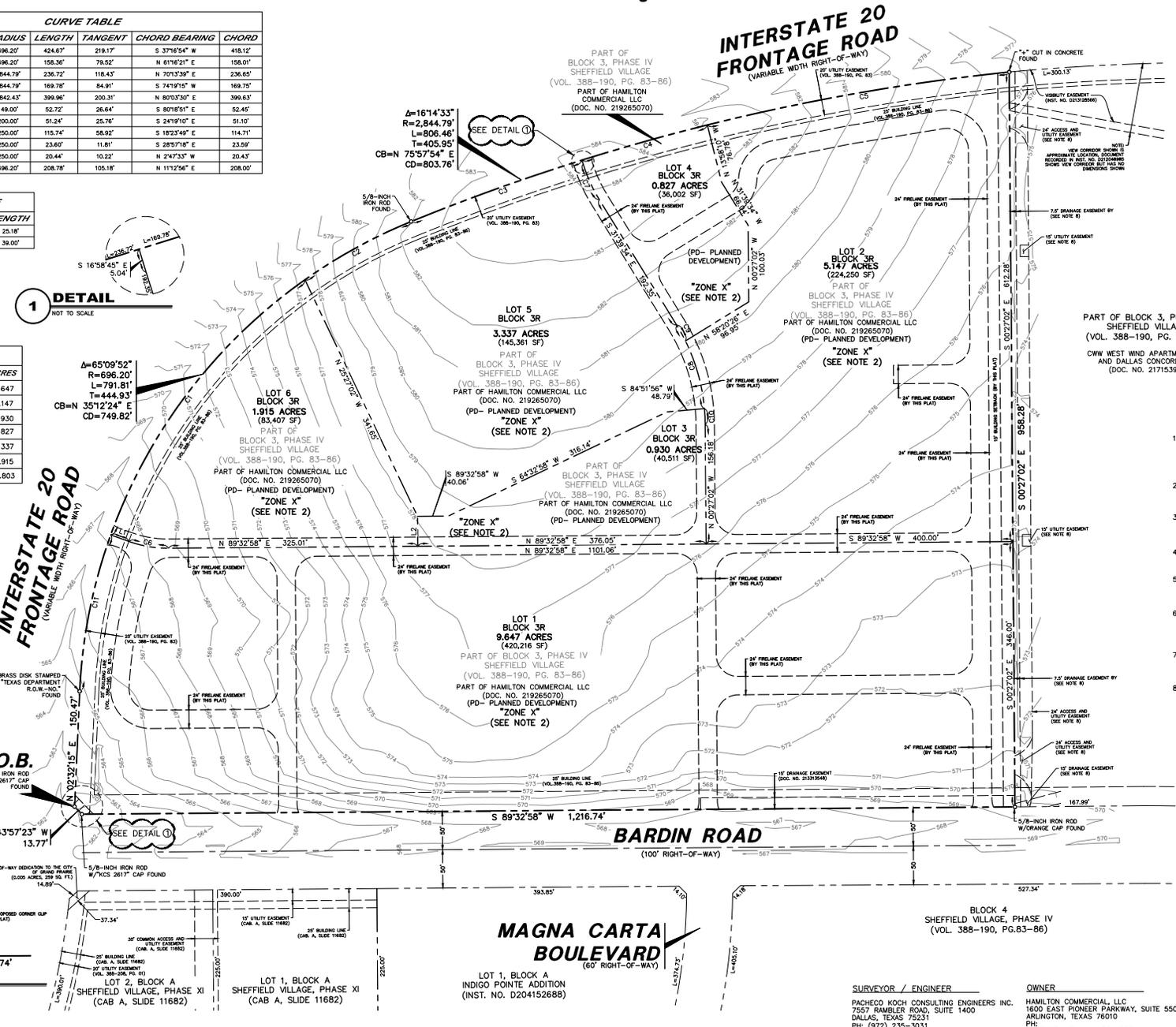
AREA TABLE

LOT	SF	ACRES
LOT 1	420,216	9.647
LOT 2	224,250	5.147
LOT 3	40,511	0.930
LOT 4	36,002	0.827
LOT 5	145,361	3.337
LOT 6	83,407	1.915
TOTAL	949,747	21.803

INTERSTATE 20 FRONTAGE ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)



2 DETAIL
NOT TO SCALE





Legislation Details (With Text)

File #: 20-10561 **Version:** 1 **Name:** P201104 - Heritage Towne
Type: Agenda Item **Status:** Consent Agenda
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: P201104 - Preliminary Plat - Heritage Towne (City Council District 6). Preliminary Plat for the multifamily and commercial portions of Heritage Towne, a mixed use development located along SH-360 and HWY 287. The plat includes 6 lots covering 37.324 acres. Located at 2925 Davis Drive, legally described as Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas, zoned PD-399 District. Generally located north of Hwy 287 and east of HWY 360.

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

P201104 - Preliminary Plat - Heritage Towne (City Council District 6). Preliminary Plat for the multifamily and commercial portions of Heritage Towne, a mixed use development located along SH-360 and HWY 287. The plat includes 6 lots covering 37.324 acres. Located at 2925 Davis Drive, legally described as Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas, zoned PD-399 District. Generally located north of Hwy 287 and east of HWY 360.

Presenter

Jonathan Tooley, Planner

Recommended

Approve

Analysis

SUMMARY:

A preliminary plat for the multifamily and commercial portions of Heritage Towne, a mixed use development located along SH-360 and HWY 287. The plat includes 6 lots covering 37.324 acres. Located at 2925 Davis Drive, legally described as Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas, zoned PD-399 District.

PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to subdivide multiple survey tracts into 6 platted lots for multi-family, commercial, and open spaces uses. The developer is designing the site plan for the multi-family at this time, along with commercial uses. Lot 2, Block J, is intended for the future fire station that will service the south sector of the City. Mr. DeBaun wants to donate this lot to the City. There are approximately 28 acres planned for development as Multi-Family Three, 6.6 acres as General Retail, and 3 acres as open space.

The applicant has submitted a development application for a Planned Development amendment, which is running concurrent to this case (Z200401A). The current Planned Development - 399 District does not permit commercial uses north of Eva Mae Boulevard. The applicant is seeking to have this amended, bringing the plat into concurrency with the zoning.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-322A	Single -Family Residences
South	Agriculture; ETJ	Residential, Commercial, Cemetery
East	Agriculture	Undeveloped
West	Agriculture	Undeveloped

DENSITY AND DIMENSIONAL REQUIREMENTS:

The lots meet the density and dimensional requirements required in Article 6 of the Unified Development Code.

Table 2: Summary of Lot Requirements - Multi-Family (MF-3)

Standard	Required	Meets?
Min. Lot Area (Sq. Ft.)	12,000	Yes
Min. Lot Width (Ft.)	100	Yes
Min. Lot Depth (Ft.)	120	Yes
Maximum Height (Ft.)	60	Yes

Table 3: Summary of Lot Requirements - Commercial

Standard	Required	Meets?
Min. Lot Area (Sq. Ft.)	20,000	Yes
Min. Lot Width (Ft.)	100	Yes
Min. Lot Depth (Ft.)	150	Yes
Front Setback (Ft.)	25	Yes
Maximum Height (Ft.)	50	N/A

HISTORY:

- Planned Development Amendment application for Heritage Towne to allow additional commercial zoning fronting Davis Drive is under concurrent review (Case Number Z200401A).
- August 24, 2020: Planning and Zoning Commission approved a preliminary plat for Heritage Towne - single-family portion (Case Number P200801).
- April 21, 2020: City Council approved a zoning change and concept plan creating Planned Development-399 District for single-family, multi-family, and general retail uses (Case Number Z200401).

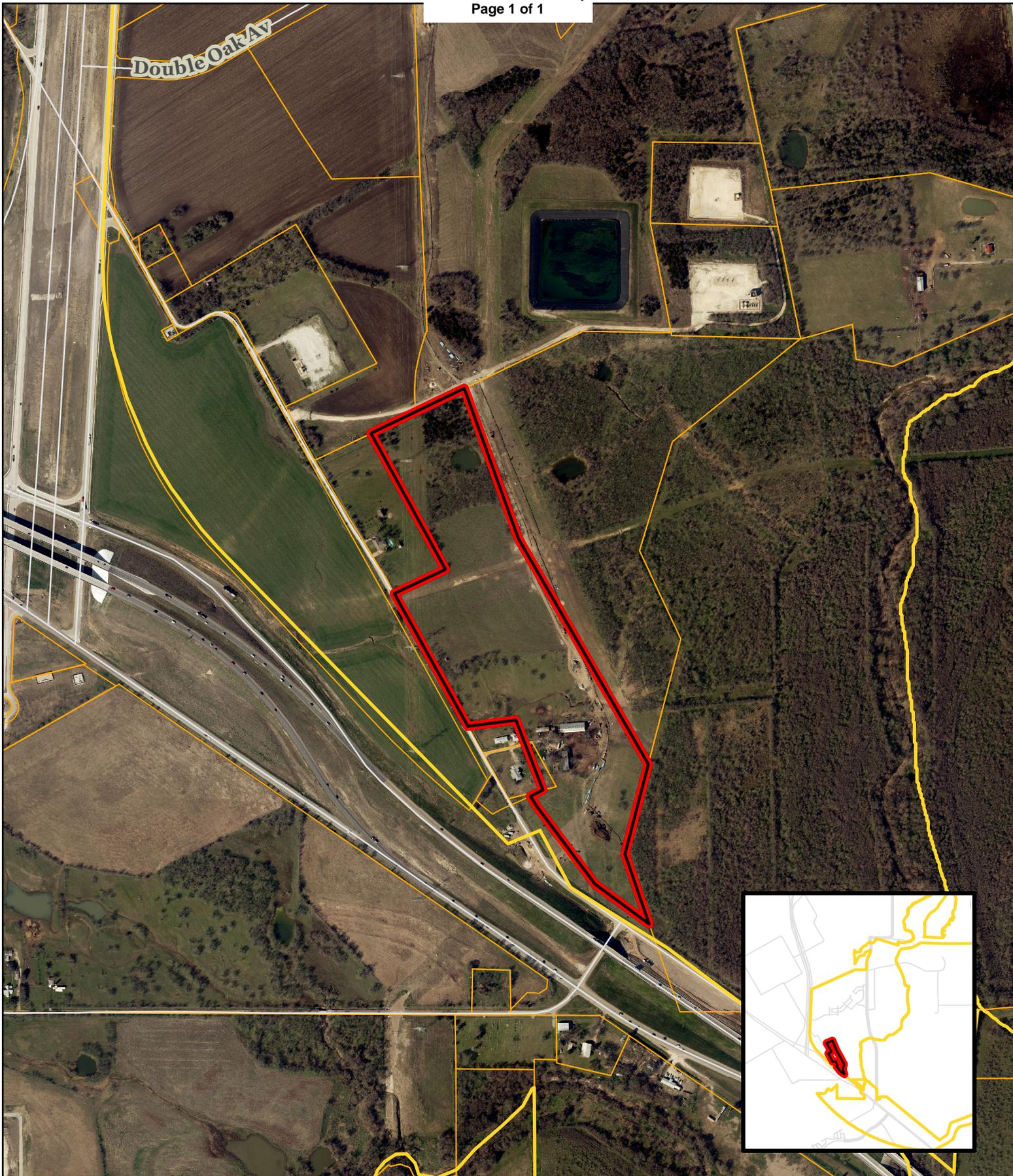
PLAT FEATURES:

The multi-family and commercial tracts will be accessible from Davis Drive and the two proposed public right of ways, Heritage Towne / Eva Mae Boulevard. The multi-family zoning district allows for a density of 26 units per acre. The plat meets density and dimensional requirements in the UDC. The applicant is dedicating 25 feet of right-of-way along Davis Drive to meet current City standards. Mr. Debaun has submitted the TIA to staff, and once the review is complete, additional right-of-way may need to be dedicated depending on the anticipated flow of traffic. The finalizing of right-of-way dedication and TIA requirements to be addressed before the final platting.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with conditions:

- Approval of the Planned Development - 399 District amendment, reduce the Multi-Family Three and enlarge General Retail zoning along Davis Drive.
- The applicant shall address Transportation Department comments and finalize the TIA before submitting a development application for the final plat.

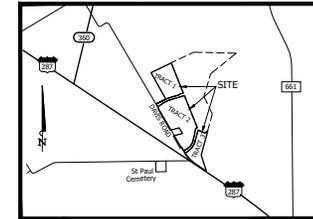


CASE LOCATION MAP
P201104 - Heritage Towne
Preliminary Plat



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Development Services

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VICINITY MAP
NOT TO SCALE
GRAND PRAIRIE, TEXAS

GENERAL NOTES:

1. All bearings shown herein are Texas State Plane Coordinate System, NAD83 (2011), Texas North Central Zone (4202) and are relative to the City of Grand Prairie GPS Control System. All distances shown herein are surface distances.
2. According to surveyor's interpretation of information shown on the National Flood Insurance Program (NFIP) "Flood Insurance Rate Map" (FIRM), Community Panel No. 48139C0025F, dated June 3, 2013. The property appears to lie within Zone "X", defined as "Areas determined to be outside the 0.2% annual chance floodplain" zone and within Zone "A", defined as "No Based Flood Elevations Determined" zone as defined by the U.S. Department of Housing and Urban Development, Federal Insurance Administration, or the Federal Emergency Management Agency.

The subject property is located within the 1% annual chance (100-year floodplain) per FEMA FIRM Map #48139C0025F, in Ellis County, dated June 3, 2013.

The subject property is not located within the 100 year flood plain per FIRM Panel # 48139C0025F, dated June 3, 2013. Where applicable and prior to construction, submit certification by a professional that site does not have wetlands and other waters of the United States, an investigation showing that site development will not impact wetlands and other waters of the United States, or a permit for proposed activities in wetlands and other waters of the United States. Wetlands and other waters of the United States are as defined in Section 404 of the Clean Water Act. All delineations shall certify that they were conducted per U.S. Army Corps of Engineers' requirements. An agreement stipulating that the owner is responsible for maintenance of any wetland mitigation areas is required prior to construction.

The above referenced "FIRM" map is for use in administering the "NFIP"; it does not necessarily show all areas subject to flooding, particularly from local sources of small size, which could be flooded by severe, concentrated rainfall coupled with inadequate local drainage systems. There may be other streams, creeks, low areas, drainage systems or other surface or subsurface conditions existing on or near the subject property which are not studied or addressed as a part of the "NFIP".

3. All lot corners (Original Monumentation) shall be iron rods set and/or found (IRS and/or IRF) are 5/8-inch with a red plastic cap stamped "RPLS 4838".

4. Existing or future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat.

5. Ownership references shown herein are based on the Ellis County Appraisal District's web page data (www.ellisaid.org).

6. The property is currently Zoned Planned Development No. 399, Case No. Z200401. Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.

7. SOURCE BENCHMARK: City of Grand Prairie Monument 68, being a top security rod monument with aluminum cap stamped "GPS 68" found in well with aluminum access cover located on the West side of FM Road 661, 6.6 feet off the edge of asphalt pavement, 167'-v- South of Lakeview Drive. Elevation = 539.85'

8. Private streets and alleys must be constructed and maintained by the property owners association. Private streets must conform to the City's standards for Public Street and alley right-of-way. An easement covering the street lot shall be granted to the City providing unrestricted use of the property for utilities and storm drainage systems and the maintenance of the same. This right shall extend to all utility providers including telephone/cable companies, operating within the City. The easement shall also provide the City with the right of access for any purpose related to the exercise of a governmental service or function, including but not limited to fire and police protection, inspection and code enforcement. The easement shall permit the City to remove any vehicle or obstacle within the street lot that impairs emergency access. Variation to streets and right-of-way widths must be approved by the City Planning and Zoning Commission.

9. The purpose of this plat is to divide land for development.

Case SD# P201104

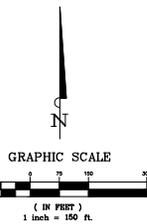
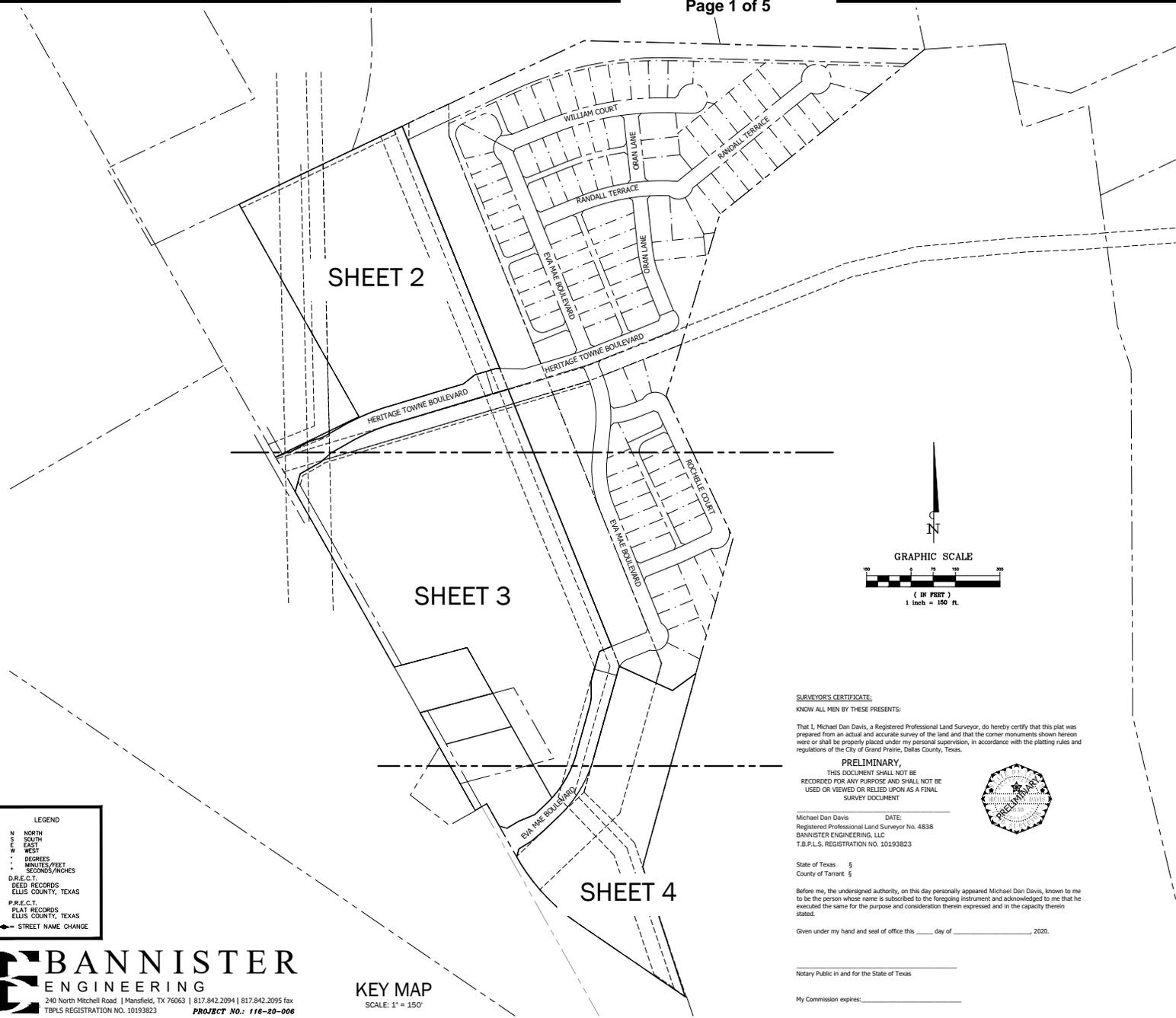
PRELIMINARY PLAT - for Inspection Purposes only
HERITAGE TOWNE
Being Tract 1 (10.883 acres), Tract 2 (19.617 acres) and Tract 3 (6.824 acres) out of the Joseph Lawrence Survey, Abstract Number 616 City of Grand Prairie, Ellis County, Texas

3 Retail Lots, 2 Multi-Family-3 Lots & 1 Open Space Lot
Preparation Date: September 2020
Revision Date: October 2020

SHEET 1 OF 5

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@mabannistereng.com

OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052
CONTACT: CHASE DEBAUN
PHONE: 972-263-6796
chase@aerofrmaoffice.com



SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS:

That I, Michael Dan Davis, a Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual and accurate survey of the land and that the corner monuments shown hereon were or shall be properly placed under my personal supervision, in accordance with the platting rules and regulations of the City of Grand Prairie, Dallas County, Texas.

PRELIMINARY
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE AND SHALL NOT BE
USED OR VIEWED OR RELIED UPON AS A FINAL
SURVEY DOCUMENT

Michael Dan Davis DATE:
Registered Professional Land Surveyor No. 4838
BANNISTER ENGINEERING, LLC
T.B.P.L.S. REGISTRATION NO. 10193823

State of Texas §
County of Tarrant §

Before me, the undersigned authority, on this day personally appeared Michael Dan Davis, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2020.

Notary Public in and for the State of Texas

My Commission expires: _____



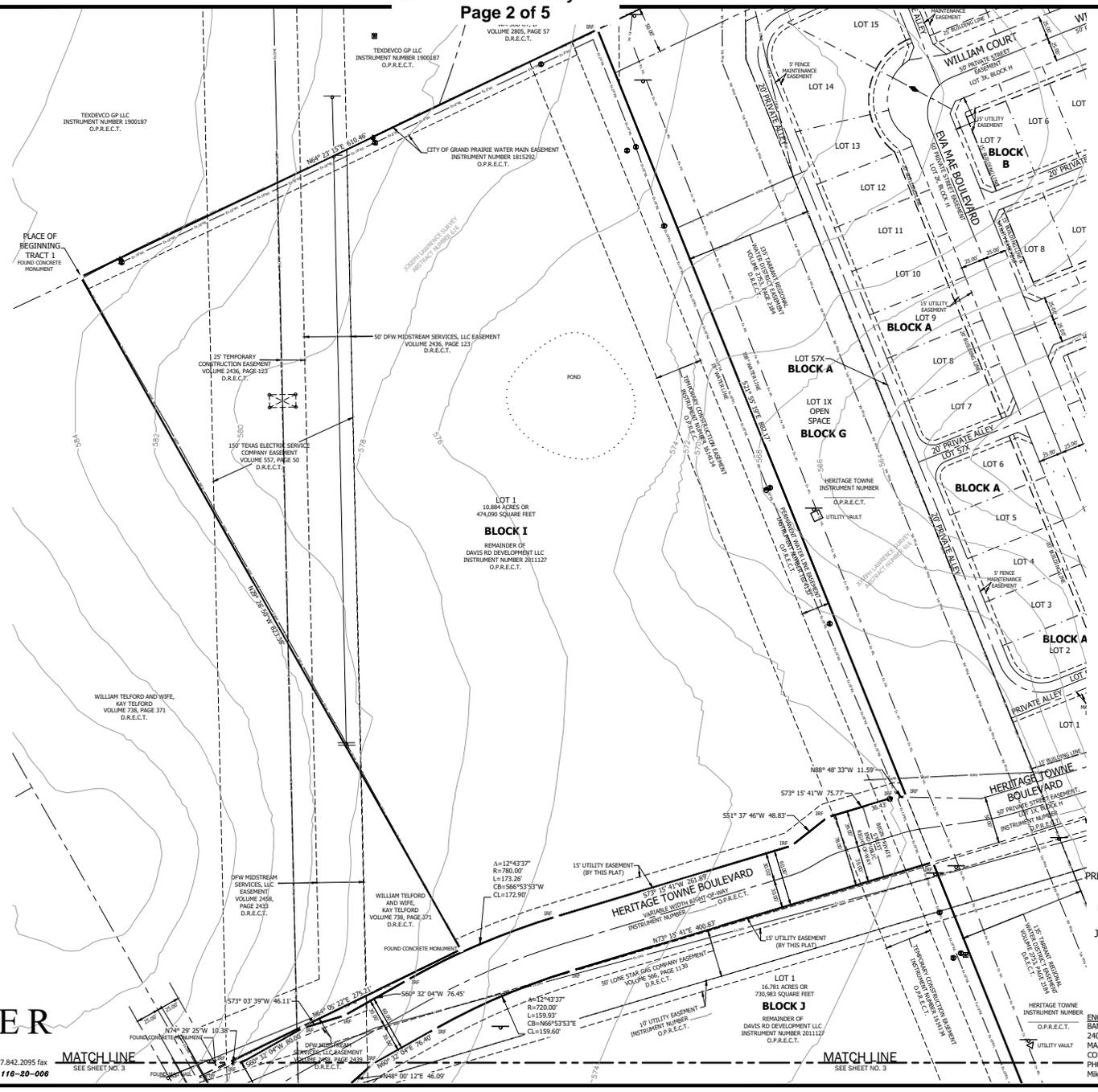
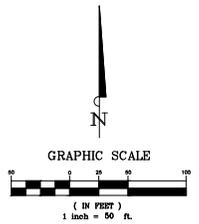
LEGEND

N	NORTH
S	SOUTH
E	EAST
W	WEST
•	DEGREES
'	MINUTES/FEET
''	SECONDS/INCHES
D.R.E.C.T.	DEED RECORDS
	ELLIS COUNTY, TEXAS
P.R.E.C.T.	PLAT RECORDS
	ELLIS COUNTY, TEXAS
—>	STREET NAME CHANGE

BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TPLS REGISTRATION NO. 10193823 PROJECT No.: 116-20-006

KEY MAP
SCALE: 1" = 150'

B:\GIS\2016\Projects\116-20-006\Platting - Heritage Towne\Drawings\Survey\116-20-006_Survey_Bearing.dwg



PLACE OF BEGINNING TRACT 1 FOUND CONCRETE MONUMENT

TEXDEVCO GP LLC INSTRUMENT NUMBER 1900187 O.P.R.E.C.T.

TEXDEVCO GP LLC INSTRUMENT NUMBER 1900187 O.P.R.E.C.T.

CITY OF GRAND PRAIRIE WATER MAIN EASEMENT INSTRUMENT NUMBER 1815293 O.P.R.E.C.T.

25' TEMPORARY CONSTRUCTION EASEMENT VOLUME 2436, PAGE 123 D.R.E.C.T.

50' DFW MIDSTREAM SERVICES, LLC EASEMENT VOLUME 2436, PAGE 123 D.R.E.C.T.

150' TEXAS ELECTRIC SERVICE COMPANY EASEMENT VOLUME 557, PAGE 50 D.R.E.C.T.

LOT 1 10.894 ACRES OR 474,090 SQUARE FEET
BLOCK I
REMAINDER OF DAVIS RD DEVELOPMENT LLC INSTRUMENT NUMBER 2011127 O.P.R.E.C.T.

WILLIAM TELFORD AND WIFE, KAY TELFORD VOLUME 738, PAGE 371 D.R.E.C.T.

DFW MIDSTREAM SERVICES, LLC EASEMENT VOLUME 2436, PAGE 2433 D.R.E.C.T.

WILLIAM TELFORD AND WIFE, KAY TELFORD VOLUME 738, PAGE 371 D.R.E.C.T.

$A=12^{\circ}43'37''$
 $R=760.00'$
 $L=172.28'$
 $CB=566^{\circ}53'53''W$
 $CL=172.90'$

15' UTILITY EASEMENT (BY THIS PLAT)
HERITAGE TOWNE BOULEVARD
INSTRUMENT NUMBER 2011297 O.P.R.E.C.T.

50' LONE STAR GAS COMPANY EASEMENT VOLUME 966, PAGE 1139 D.R.E.C.T.

LOT 1 16,781 ACRES OR 730,963 SQUARE FEET
BLOCK J
REMAINDER OF DAVIS RD DEVELOPMENT LLC INSTRUMENT NUMBER 2011127 O.P.R.E.C.T.

HERITAGE TOWNE INSTRUMENT NUMBER O.P.R.E.C.T.

PRELIMINARY PLAT - for Inspection Purposes only
HERITAGE TOWNE
Being Tract 1 (10.883 acres), Tract 2 (19.617 acres) and Tract 3 (6.824 acres) out of the Joseph Lawrence Survey, Abstract Number 616 City of Grand Prairie, Ellis County, Texas

3 Retail Lots, 2 Multi-Family-3 Lots & 1 Open Space Lot
Preparation Date: September 2020
Revision Date: October 2020
SHEET 2 OF 5

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
GRAND PRAIRIE, TEXAS 75063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052
CONTACT: CHASE DEBAUN
PHONE: 972-263-6796
chase@aerofmaoffice.com

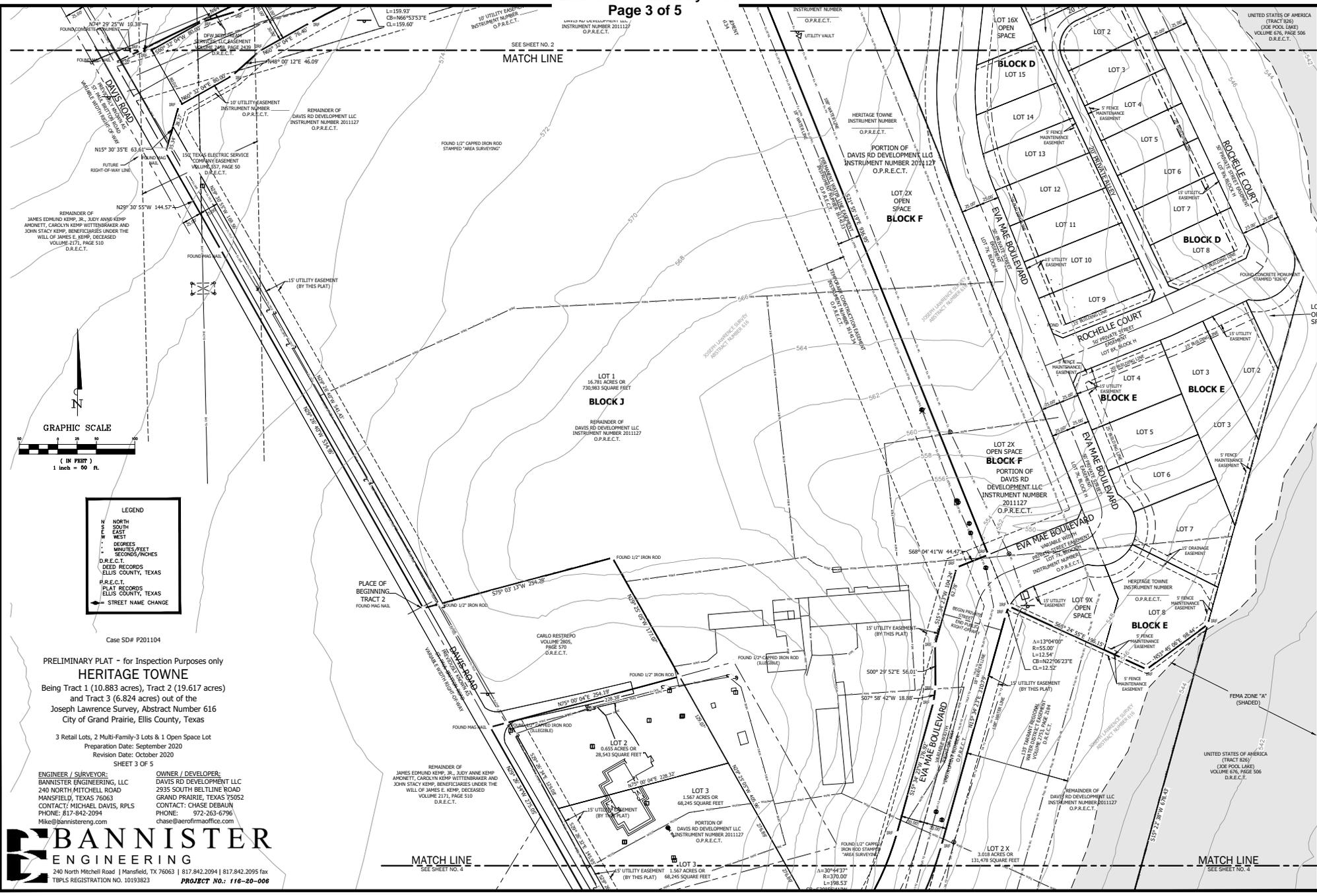
LEGEND	
N	NORTH
S	SOUTH
E	EAST
W	WEST
•	DEGREES
'	MINUTES/FEET
''	SECONDS/INCHES
D.R.E.C.T.	DEED RECORDS ELLIS COUNTY, TEXAS
P.R.E.C.T.	PLAT RECORDS ELLIS COUNTY, TEXAS
—	STREET NAME CHANGE

BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBLRS REGISTRATION NO. 10193823 PROJECT No.: 116-20-006

MATCH LINE SEE SHEET NO. 3

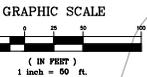
MATCH LINE SEE SHEET NO. 3

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SEE SHEET NO. 2
MATCH LINE

UNITED STATES OF AMERICA
(TRACT 604)
(DOE POOL LAKE)
VOLUME 676, PAGE 506
D.R.E.C.T.



LEGEND

- N NORTH
- S SOUTH
- E EAST
- W WEST
- D DEGREES
- M MINUTES/FEET
- S SECONDS/INCHES
- D.R.E.C.T. DEED RECORDS, ELLIS COUNTY, TEXAS
- P.R.E.C.T. PLAT RECORDS, ELLIS COUNTY, TEXAS
- STREET NAME CHANGE

Case SD# P201104

PRELIMINARY PLAT - for Inspection Purposes only
HERITAGE TOWNE
 Being Tract 1 (10.883 acres), Tract 2 (19.617 acres)
 and Tract 3 (6.824 acres) out of the
 Joseph Lawrence Survey, Abstract Number 616
 City of Grand Prairie, Ellis County, Texas
 3 Retail Lots, 2 Multi-Family-3 Lots & 1 Open Space Lot
 Preparation Date: September 2020
 Revision Date: October 2020
 SHEET 3 OF 5

ENGINEER / SURVEYOR:
 BANNISTER ENGINEERING, LLC
 240 NORTH MITCHELL ROAD
 MANSFIELD, TEXAS 76063
 CONTACT: MICHAEL DAVIS, RPLS
 PHONE: 817-842-2094
 Mike@bannistereng.com

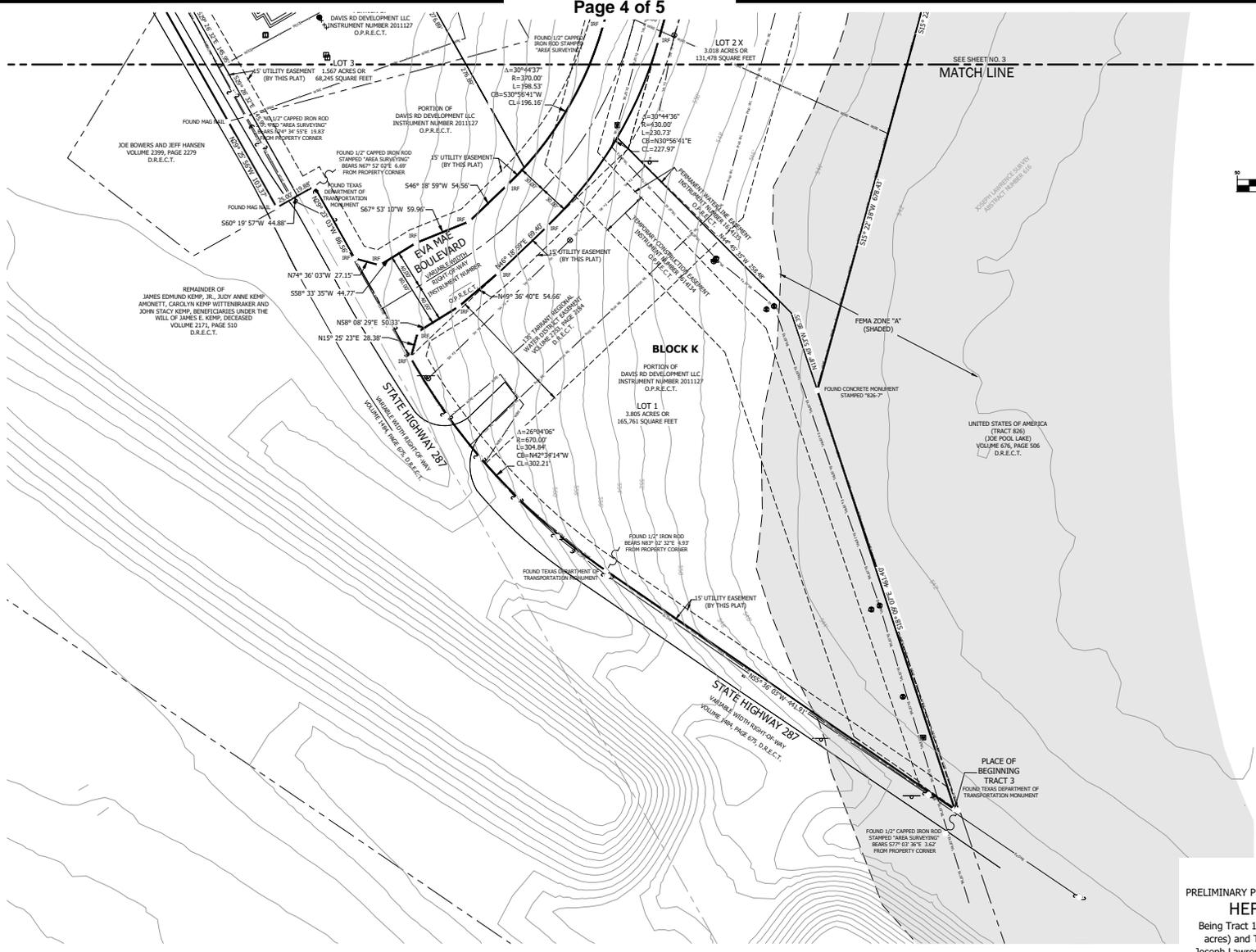
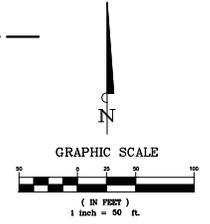
OWNER / DEVELOPER:
 DAVIS RD DEVELOPMENT LLC
 2935 SOUTH BELLLINE ROAD
 GRAND PRAIRIE, TEXAS 75052
 CONTACT: CHASE DESBAIN
 PHONE: 972-263-6796
 chase@aerofirmaoffice.com

240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
 TPLS REGISTRATION NO. 10193823 PROJECT No.: 116-20-006

MATCH LINE
SEE SHEET NO. 4

MATCH LINE
SEE SHEET NO. 4

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LEGEND

N NORTH
S SOUTH
E EAST
W WEST

• DEGREES
• MINUTES/FEET
• SECONDS/INCHES

D.R.E.C.T.
DEED RECORDS
ELLIS COUNTY, TEXAS

P.R.E.C.T.
PLAT RECORDS
ELLIS COUNTY, TEXAS

— STREET NAME CHANGE

Case SD# P201104

PRELIMINARY PLAT - for Inspection Purposes only
HERITAGE TOWNE
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Revision Date: October 2020
SHEET 4 OF 5

BANNISTER ENGINEERING
240 North Mitchell Road | Mansfield, TX 76063 | 817.842.2094 | 817.842.2095 fax
TBPLS REGISTRATION NO. 10193823 PROJECT No.: 116-20-006

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER / DEVELOPER:
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OWNERS CERTIFICATE:

WHEREAS, **DAVIS RD DEVELOPMENT LLC** is the sole owner of that certain tract of land in the Joseph Lawrence Survey, Abstract Number 616, City of Grand Prairie, Ellis County, Texas;

TRACT 1

BEING 10.884 acres (474,090 square feet) of land being a portion of that certain tract of land described in a Warranty Deed to Davis Rd Development LLC (hereinafter referred to as Davis Rd Development tract), as recorded in Instrument Number 2011127, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.); said 10.884 acres (474,090 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a concrete monument found for the Northwesterly corner of said Davis Rd Development tract, same being the Southeastery line of that certain tract of land described in a Special Warranty Deed to TEXDEVCO GP LLC (hereinafter referred to as TEXDEVCO GP tract), as recorded in Instrument Number 1900187, O.P.R.E.C.T.; same also being the Northery corner of that certain tract of land described in a Warranty Deed to William Telford and wife, Kay Telford (hereinafter referred to as Telford tract), as recorded in Volume 738, Page 371, Deed Records, Ellis County, Texas (D.R.E.C.T.);

THENCE North 64 degrees 23 minutes 15 seconds East with the common line between said Davis Rd Development tract and said TEXDEVCO GP tract, pass at a distance of 424.28 feet, the Southeastery corner of said TEXDEVCO GP tract, same being the Southeastery corner of that certain tract of land described in a deed to WM SUB 07, LP (hereinafter referred to as WM SUB 07 tract), as recorded in Volume 2805, Page 57, D.R.E.C.T.; and continue with the common line between said Davis Rd Development tract and said WM SUB 07 tract for a total distance of 610.46 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for the Northern Northwest corner of that certain tract of land described as Lot 1X (Open Space), Block G, Heritage Towne (hereinafter referred to as Lot 1X), an addition to the City of Grand Prairie, Ellis County, Texas, according to the plat recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE South 21 degrees 55 minutes 19 seconds East with the common line between the remainder of said Davis Rd Development tract and said Lot 1X, a distance of 882.17 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner for the Southeastery corner of said Lot 1X, same being in the existing Northerly right-of-way line of Heritage Towne Boulevard (variable width right-of-way), as recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE with the common line between the remainder of said Davis Rd Development tract and the existing Northerly right-of-way line of said Heritage Towne Boulevard for the following 9 courses:

1. North 88 degrees 48 minutes 33 seconds West for a distance of 11.59 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
2. South 73 degrees 15 minutes 41 seconds West, a distance of 75.77 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
3. South 51 degrees 37 minutes 46 seconds West, a distance of 48.83 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
4. South 73 degrees 15 minutes 41 seconds West, a distance of 261.89 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner for the beginning of a curve to the left, whose long chord bears South 66 degrees 52 minutes 53 seconds East, a distance of 172.90 feet;
5. Southwesterly with said curve to the left having a radius of 780.00 feet, through a central angle of 12 degrees 43 minutes 37 seconds, for an arc distance of 173.26 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
6. South 60 degrees 32 minutes 04 seconds West, a distance of 76.45 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
7. South 73 degrees 03 minutes 39 seconds West, a distance of 46.11 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
8. South 60 degrees 32 minutes 04 seconds West, a distance of 80.00 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
9. North 74 degrees 29 minutes 25 seconds West, a distance of 10.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner in the Southeastery line of the aforesaid Telford tract.

THENCE North 64 degrees 05 minutes 22 seconds East with the common line between said Davis Rd Development tract and said Telford tract, a distance of 275.21 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Southeastery corner of said Telford tract;

THENCE North 29 degrees 26 minutes 50 seconds West with the common line between said Davis Rd Development tract and said Telford tract, a distance of 823.38 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 10.884 acres (474,090 square feet) of land.

TRACT 2

BEING 19.617 acres (854,532 square feet) of land being a portion of that certain tract of land described in a Warranty Deed to Davis Rd Development LLC (hereinafter referred to as Davis Rd Development tract), as recorded in Instrument Number 2011127, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.); said 19.617 acres (854,532 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a mag nail found for the Northwesterly corner of that certain tract of land described in a General Warranty Deed to Carlo Restrepo (hereinafter referred to as Restrepo tract), as recorded in Volume 2805, Page 57, Deed Records, Ellis County, Texas (D.R.E.C.T.); same being in Davis Road, previously known as St. Paul Britton Road (variable width right-of-way), same also being the Northwesterly line of that certain tract of land described in a deed to James Edward Kemp, Jr., Judy Anne Kemp, Kenneth, Carolyn Kemp, Willelmina Kemp, Jennifer Anne Kemp, beneficiaries under the Will James E. Kemp, deceased (hereinafter referred to as James E. Kemp tract), as recorded in Volume 2111, Page 510, D.R.E.C.T.;

THENCE North 29 degrees 26 minutes 40 seconds West with the common line between said Davis Rd Development tract and said James E. Kemp tract and with said Davis Road, a distance of 534.95 feet to a mag nail found for corner;

THENCE North 29 degrees 30 minutes 55 seconds West, continue with the common line between said Davis Rd Development tract and said James E. Kemp tract and with said Davis Road, a distance of 144.37 feet to a mag nail found for corner, same being the intersection of the existing Southerly right-of-way line of Heritage Towne Boulevard (variable width right-of-way), as recorded in Instrument Number _____, O.P.R.E.C.T., with said Davis Road.

THENCE with the common line between the remainder of said Davis Rd Development tract and the existing Southerly right-of-way line of Heritage Towne Boulevard for the following 6 courses:

1. North 15 degrees 30 minutes 35 seconds East, departing said Davis Road, a distance of 63.61 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
2. North 60 degrees 32 minutes 04 seconds East, a distance of 80.00 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
3. North 48 degrees 00 minutes 12 seconds East, a distance of 46.09 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
4. North 60 degrees 32 minutes 04 seconds East, a distance of 76.40 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the beginning of a curve to the right, whose long chord bears North 66 degrees 53 minutes 53 seconds East, a distance of 159.40 feet;
5. Northwesterly with said curve to the right having a radius of 720.00 feet, through a central angle of 12 degrees 43 minutes 37 seconds, for an arc distance of 159.03 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
6. North 73 degrees 15 minutes 41 seconds East, a distance of 400.83 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Northwesterly corner of that certain tract of land described as Lot 2X (Open Space), Block G, Heritage Towne (hereinafter referred to as Lot 2X), an addition to the City of Grand Prairie, Ellis County, Texas, according to the plat recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE South 21 degrees 55 minutes 19 seconds East, departing the existing Southerly right-of-way line of Heritage Towne Boulevard and with the common line between the remainder of said Davis Rd Development tract and said Lot 2X, a distance of 936.35 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner in the existing Northerly right-of-way line of Eva Mae Boulevard (variable width right-of-way), as recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE with the common line between the remainder of said Davis Rd Development tract and the existing Northerly right-of-way line of said Eva Mae Boulevard for the following 11 courses:

1. South 68 degrees 04 minutes 41 seconds West, a distance of 44.47 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
2. South 15 degrees 34 minutes 23 seconds West, a distance of 62.78 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
3. South 15 degrees 34 minutes 23 seconds West, a distance of 41.46 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
4. South 00 degrees 29 minutes 52 seconds East, a distance of 56.01 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
5. South 07 degrees 58 minutes 42 seconds West, a distance of 18.88 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
6. South 15 degrees 34 minutes 23 seconds West, a distance of 176.92 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the beginning of a curve to the right, whose long chord bears South 30 degrees 56 minutes 11 seconds West, a distance of 196.16 feet;
7. Southwesterly with said curve to the right having a radius of 370.00 feet, through a central angle of 30 degrees 44 minutes 37 seconds, for an arc distance of 189.53 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
8. South 46 degrees 18 minutes 59 seconds West, a distance of 54.56 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
9. South 67 degrees 53 minutes 10 seconds West, a distance of 59.96 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
10. South 58 degrees 33 minutes 35 seconds West, a distance of 44.77 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
11. North 74 degrees 36 minutes 03 seconds West, a distance of 27.15 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner in the Southeastery line of said Davis Rd Development tract, same also being existing Northwesterly right-of-way line of State Highway 287 (variable width right-of-way), as recorded in Volume 1484, Page 676, D.R.E.C.T.;

THENCE North 29 degrees 23 minutes 03 seconds West with the common line between said Davis Rd Development tract and the existing Northwesterly right-of-way line of said State Highway 287, a distance of 86.56 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

THENCE South 60 degrees 19 minutes 57 seconds West, continue with the common line between said Davis Rd Development tract and the existing Northwesterly right-of-way line of said State Highway 287, a distance of 44.88 feet to a mag nail found in the aforesaid Davis Road, same also being the Northwesterly line of that certain tract of land described in a General Warranty Deed to Joe Bowers and Jeff Hansen (hereinafter referred to as Bowers tract), as recorded in Volume 239, Page 227, D.R.E.C.T.;

THENCE North 29 degrees 23 minutes 56 seconds West, departing the existing Northwesterly right-of-way line of said State Highway 287 and with the common line between said Davis Rd Development tract and said Bowers tract, a distance of 103.37 feet to a mag nail found for corner;

THENCE North 29 degrees 26 minutes 34 seconds West, continue with the common line between said Davis Rd Development tract and said Bowers tract, pass at a distance of 142.26 feet, the Northwesterly corner of said Bowers tract, same being an angle point in the Northwesterly line of the aforesaid James E. Kemp tract, and continue with said course, the common line between said Davis Rd Development tract and said James E. Kemp tract and with said Davis Road, a distance of 236.05 feet to a mag nail found for corner, same being an angle point in the Westerly line of said Davis Rd Development tract, same also being the Southeastery corner of the aforesaid Restrepo tract;

THENCE North 75 degrees 03 minutes 04 seconds East, departing the Northwesterly line of said James E. Kemp tract, departing said Davis Road and with the common line between said Davis Rd Development tract and said Restrepo tract, a distance of 245.83 feet to a one-half inch iron rod found for corner for the Southeastery corner of said Restrepo tract;

THENCE North 29 degrees 25 minutes 05 seconds West, continue with the common line between Davis Rd Development tract and said Restrepo tract, a distance of 177.07 feet to a one-half inch iron rod found for corner;

THENCE South 75 degrees 03 minutes 13 seconds West, continue with the common line between Davis Rd Development tract and said Restrepo tract, a distance of 254.28 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 19.617 acres (854,532 square feet) of land.

TRACT 3

BEING 6.824 acres (297,239 square feet) of land being a portion of that certain tract of land described in a Warranty Deed to Davis Rd Development LLC (hereinafter referred to as Davis Rd Development tract), as recorded in Instrument Number 2011127, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.); said 6.824 acres (297,239 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a Texas Department of Transportation monument found for the Southerly corner of said Davis Rd Development tract, same being the Southeastery corner of that certain tract of land described in a General Warranty Deed to the United States of America (hereinafter referred to as Tract 634), as recorded in Volume 676, Page 506, D.R.E.C.T.; same also being the existing Northwesterly right-of-way line of State Highway 287 (variable width right-of-way), as recorded in Volume 1484, Page 676, D.R.E.C.T.;

THENCE North 55 degrees 36 minutes 03 seconds West with the common line between said Davis Rd Development tract and the existing Northwesterly right-of-way line of said State Highway 287, a distance of 441.93 feet to a Texas Department of Transportation monument found for the beginning of a curve to the right, whose long chord bears North 42 degrees 34 minutes 14 seconds West, a distance of 302.21 feet;

THENCE Northwesterly, continue with the common line between said Davis Rd Development tract and the existing Northwesterly right-of-way line of said State Highway 287 and said curve to the right having a radius of 670.00 feet, through a central angle of 26 degrees 04 minutes 08 seconds, for an arc distance of 204.84 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the intersection of the existing Northwesterly right-of-way line of said State Highway 287 and the existing Northwesterly right-of-way line of Eva Mae Boulevard (variable width right-of-way), as recorded in Instrument Number _____, O.P.R.E.C.T.;

THENCE with the common line between the remainder of said Davis Rd Development tract and the existing Northerly right-of-way line of said Eva Mae Boulevard for the following 7 courses:

1. North 15 degrees 25 minutes 23 seconds East, departing the existing Northwesterly right-of-way line of said State Highway 287, a distance of 28.38 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
2. North 58 degrees 08 minutes 29 seconds East, a distance of 50.33 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
3. North 49 degrees 36 minutes 40 seconds East, a distance of 54.66 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
4. North 46 degrees 18 minutes 59 seconds East, a distance of 69.40 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the beginning of a curve to the left, whose long chord bears North 30 degrees 56 minutes 41 seconds East, a distance of 227.97 feet;
5. Northwesterly with said curve to the left having a radius of 430.00 feet, through a central angle of 30 degrees 44 minutes 36 seconds, for an arc distance of 230.71 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;
6. North 15 degrees 34 minutes 23 seconds East, a distance of 310.79 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the beginning of a curve to the right, whose long chord bears North 22 degrees 06 minutes 23 seconds East, a distance of 12.32 feet;
7. Northerly with said curve to the right having a radius of 55.00 feet, through a central angle of 13 degrees 40 minutes 04 minutes 00 seconds, for an arc distance of 12.54 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Westerly corner of that certain tract of land described as Lot 9X, Block E of the aforesaid Heritage Towne (hereinafter referred to as Lot 9X);

THENCE South 65 degrees 24 minutes 55 seconds East, departing the existing Northerly right-of-way line of said Eva Mae Boulevard, with the common line between the remainder of said Davis Rd Development tract and said Lot 9X, pass at a distance of 225.29 feet, the Southeastery corner of said Lot 9X, same being the Southeastery corner of that certain tract of land described as Lot 8, Block E of said Heritage Towne (hereinafter referred to as Lot 8), continue with said course and the common line between the remainder of said Davis Rd Development tract and said Lot 8, a distance of 116.15 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner;

THENCE North 53 degrees 45 minutes 06 seconds East, continue with said course and the common line between the remainder of said Davis Rd Development tract and said Lot 8, a distance of 98.44 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" found for corner, same being the Southeastery corner of said Lot 8, same being the Easterly line of said Davis Rd Development tract, same also being the Westerly line of the aforesaid Tract 626;

THENCE South 15 degrees 22 minutes 38 seconds West with the common line between said Davis Rd Development tract and said Tract 626, a distance of 678.43 feet to a concrete monument stamped "926-7" found for corner;

THENCE South 18 degrees 09 minutes 07 seconds East, continue with the common line between said Davis Rd Development tract and said Tract 626, a distance of 461.40 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 6.824 acres (297,239 square feet) of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT **DAVIS RD DEVELOPMENT LLC** does hereby adopt this plat designating the herein-above described property as **HERITAGE TOWNE**, an addition to the City of Grand Prairie, Texas and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water management areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes as indicated. The utility, access, easements and fire line easements shall be open to the public and private utilities for their respective use. The maintenance of paving on the utility, access and fire line easements is the responsibility of the property owner. No building or other improvements, including fences, shall be permitted in an erosion hazard easement. No building or other improvements or structures, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinances. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction or the operation of any electric system on the easements, and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said easements for the purpose of constructing, reconstructing, inspecting, painting, maintaining and adding to or removing all or parts of its respective systems not necessary at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all planning ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

Witness, my hand this ____ day of _____, 2020.

DAVIS RD DEVELOPMENT LLC

By: _____

State of Texas §

County of _____ §

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ____ day of _____, 2020.

Notary Public in and for the State of Texas

My Commission expires: _____

Case SD# P201104

PRELIMINARY PLAT - for Inspection Purposes only
HERITAGE TOWNE

Being Tract 1 (10.883 acres), Tract 2 (19.617 acres) and Tract 3 (6.824 acres) out of the Joseph Lawrence Survey, Abstract Number 616 City of Grand Prairie, Ellis County, Texas

3 Retail Lots, 2 Multi-Family-3 Lots & 1 Open Space Lot
Preparation Date: September 2020
Revision Date: October 2020

SHEET 5 OF 5

ENGINEER / SURVEYOR:
BANNISTER ENGINEERING, LLC
240 NORTH MITCHELL ROAD
MANSHFIELD, TEXAS 76063
CONTACT: MICHAEL DAVIS, RPLS
PHONE: 817-842-2094
Mike@bannistereng.com

OWNER / DEVELOPER:
DAVIS RD DEVELOPMENT LLC
2935 SOUTH BELTLINE ROAD
GRAND PRAIRIE, TEXAS 75052
CONTACT: CHASE DEBAIN
PHONE: 972-263-6796
chase@aerofmaoffice.com



Legislation Details (With Text)

File #: 20-10562 **Version:** 1 **Name:** P200901 - Slink Addition, Lots 1-7, Block 1
Type: Agenda Item **Status:** Consent Agenda
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: P200901 - Preliminary Plat - Slink Addition, Lots 1-7, Block 1 (City Council District 2). Preliminary Plat creating seven lots on 54.692 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Preliminary Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

P200901 - Preliminary Plat - Slink Addition, Lots 1-7, Block 1 (City Council District 2). Preliminary Plat creating seven lots on 54.692 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Preliminary Plat creating seven lots on 54.692 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

PURPOSE OF REQUEST:

The purpose of the Preliminary Plat is to create seven lots on 54.67 acres to facilitate development of multi-family, retail/restaurant, and single-family townhome uses in the SH-161 Corridor. The Site Plan for Phase 1 of

this development is under concurrent review (S200901). Revisions to the Preliminary Plat may be required depending on approval of the related site plan.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Zoning and Land Use

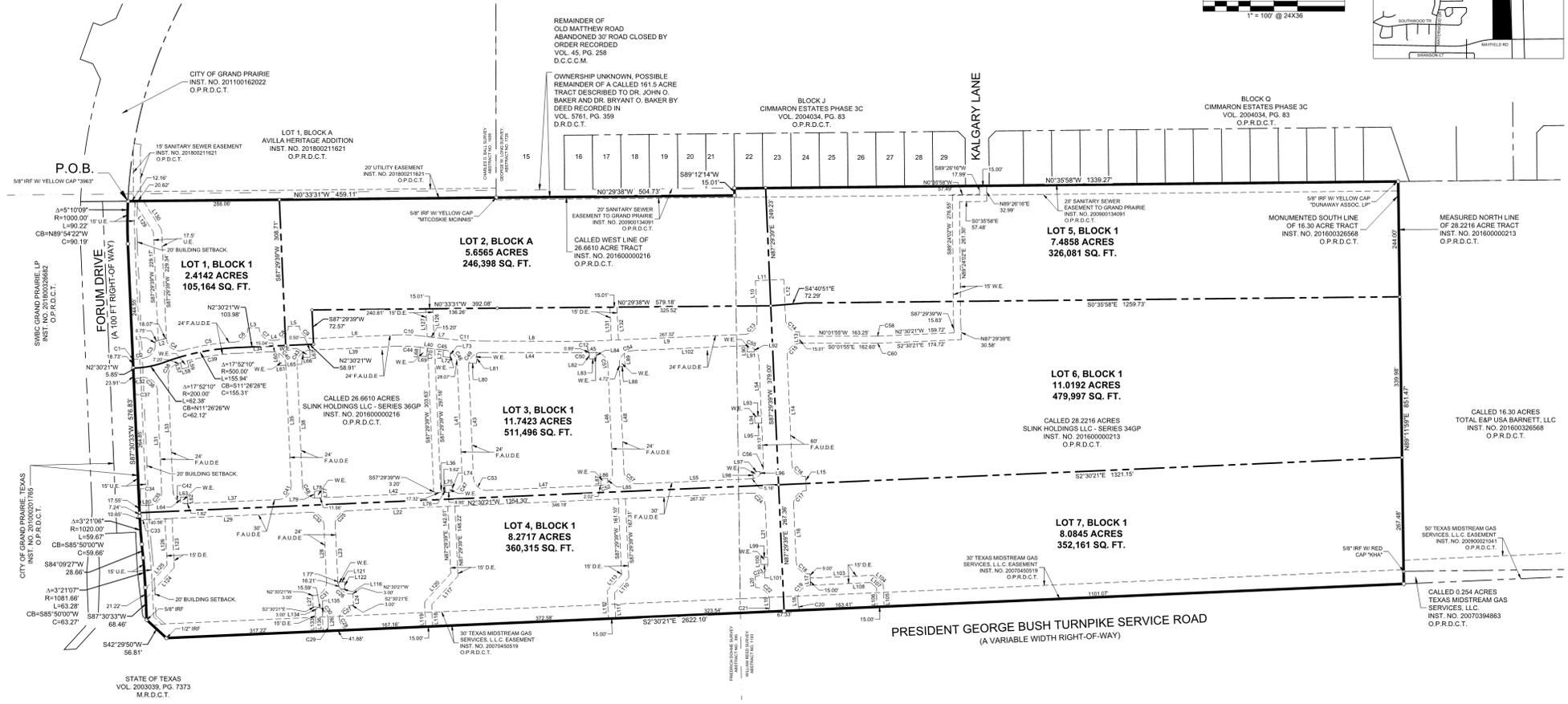
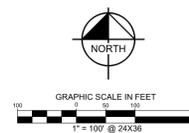
Direction	Zoning	Existing Use
North	PD-143	Gas Well, Undeveloped
South	PD-382; PD-294	Undeveloped
West	PD-231C; PD-367	Single Family Residential Use; Hybrid
East	PD-294; PD-294D	IKEA, Retail, Restaurant Uses; Undeve

PLAT FEATURES:

The plat depicts the necessary utility and access easements and meets the applicable dimensional standards.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with the condition that the plat adheres to the standards set forth in the UDC.



LEGEND
P.O.B. = POINT OF BEGINNING
VOL. = VOLUME
PG. = PAGE
SQ. FT. = SQUARE FEET
INST. NO. = INSTRUMENT NUMBER
C.M. = CONTROLLING MONUMENT
XF = "X" CUT IN CONCRETE FOUND
IRFC = IRON ROD WITH CAP FOUND
IRF = IRON ROD FOUND
IRSC = 5/8" IRON ROD STAMPED "XHA" SET
IPF = IRON PIPE FOUND
D.R.D.C.T. = DEED RECORDS OF DALLAS COUNTY, TEXAS
O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS
F.A.U.D.E. = FIRE LANE, ACCESS, UTILITY AND DRAINAGE EASEMENT
W.E. = WATER EASEMENT
U.E. = UTILITY EASEMENT
D.E. = DRAINAGE EASEMENT

NOTES:
1. Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983 (2011).
2. According to Community Panel No.481130435M, dated March 21, 2019 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Dallas County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is in "Zone X" and not in a flood hazard area. If the site is not within an identified special flood hazard area, the flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.
3. The purpose of this plat is to plat two existing tracts of land into 7 lots and dedicate new easements as shown.
4. All easements are dedicated by this Plat unless otherwise stated.
5. All corners are marked by a 5/8" iron rod with plastic cap stamped "XHA" unless otherwise stated.

OWNER/APPLICANT:
SLINK HOLDINGS LLC SERIES 34 GP &
SLINK HOLDINGS LLC SERIES 36 GP
1650 S. CHERRY LN
FORT WORTH, TX 76108
CONTACT: SUNNY
PHONE: 465-569-7446

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE
TOWER, SUITE 700 DALLAS, TEXAS 75240
PHONE: 972-770-1300
CONTACT: JONATHAN KERBY, P.E.

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE
TOWER, SUITE 700 DALLAS, TEXAS 75240
PHONE: 972-770-1300
CONTACT: ANDY DOBBS, R.P.L.S.

**PRELIMINARY PLAT
SLINK ADDITION
LOTS 1-7, BLOCK 1
54.6742 ACRES**
WILLIAM REED SURVEY, ABSTRACT NO. 1193 &
FREDERICK DOHMEYER SURVEY, ABSTRACT NO. 395
CITY OF GRAND PRAIRIE,
DALLAS COUNTY, TEXAS
CASE NO. P200901

Kimley»Horn
13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 101155000 Tel. No. (972) 770-1300 Fax No. (972) 259-3520
Scale: 1" = 100' Drawn by: MRW/MGB Checked by: JAD Date: SEPT. 2020 Project No.: 061305501 Sheet No.: 1 OF 2

Exhibit B - Preliminary Plat
Page 2 of 2

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS, SLINK HOLDINGS LLC - SERIES GP34 and SLINK HOLDINGS LLC - SERIES GP35 are the owners of a tract of land situated in the abstract in the Fredrick Dome Survey, Abstract No. 395, and the William Reed Survey, Abstract No. 1193, City of Grand Prairie, Dallas County, Texas, and being all of a called 28.2216 acre tract of land described in the General Warranty Deed to Slink Holdings LLC - Series 34GP, recorded in Instrument No. 20160000213, Official Public Records, Dallas County, Texas, being all of a called 28.6610 acre tract of land described in the General Warranty Deed to Slink Holdings LLC - Series 36GP, recorded in Instrument No. 20160000216, Public Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 5/8" iron rod with yellow cap stamped "3963" found for the southwest corner of said 26.6610 acre tract of land, the southeast corner of Lot 1, Block A of Avila Heritage Addition, an addition to the City of Grand Prairie, Texas, according to the plat thereof recorded in Instrument No. 201800211621, Official Public Records, Dallas County, Texas, and lying in the north right-of-way line of Forum Drive (a variable width right-of-way);

THENCE departing said north right-of-way line, and with the common line of said 26.6610 acre tract and Lot 1, Block A, North 0°33'31" West, a distance of 459.11 feet to a 5/8" iron rod with yellow cap stamped "MYCOSKIE MCCINNIS" found for the southeast corner of Lot 15, Block J of Cimmaron Estates Phase 3C, an addition to the city of Grand Prairie, Texas, according to the plat thereof recorded in Volume 2004034, Page 83, Official Public Records, Dallas County, Texas;

THENCE with the common line of said 26.6610 acre tract of land and the east line of said Block J of Cimmaron Estates Phase 3C, North 0°29'38" West, a distance of 504.73 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the northwest corner of said 26.6610 acre tract of land and lying in the south line of said 28.2216 acre tract of land;

THENCE with the common line of said 26.6610 and 28.2216 acre tracts of land, South 89°12'14" West, a distance of 15.01 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the southwest corner of said 28.2216 acre tract, and in said east line of Block J of Cimmaron Estates Phase 3C;

THENCE with the common line of said 28.2216 acre tract of land and said Block J, North 0°35'58" West, a distance of 1,339.27 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the northwest corner of said 28.2216 acre tract;

THENCE with the north line of said 28.2216 acre tract, North 89°11'59" East, a distance of 851.47 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for the northeast corner of said 28.2216 acre tract, lying in the west right-of-way line of President George Bush Turnpike (a variable width right-of-way);

THENCE with said west right-of-way line, South 2°30'21" East, a distance of 2822.10 feet to a 1/2" iron rod found at the north end of a corner clip of said west right-of-way line of President George Bush Turnpike and said north right-of-way line of Forum Drive;

THENCE with said corner clip, South 42°29'50" West, a distance of 56.81 feet to a 5/8" iron rod found at the sound end of said corner clip;

THENCE with said north right-of-way line of Forum Drive, the following courses and distances:

South 87°30'33" West, a distance of 68.46 feet to a 5/8" iron rod with plastic cap stamped "KHA" set at the beginning of a tangent curve to the left having a central angle of 9°21'07", a radius of 1081.66 feet, a chord bearing and distance of South 85°50'00" West, 63.27 feet;
In a southeasterly direction, with said curve to the left, an arc distance of 63.28 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;
South 84°09'27" West, a distance of 28.66 feet to a 5/8" iron rod with plastic cap stamped "KHA" set at the beginning of a tangent curve to the right having a central angle of 9°21'09", a radius of 1020.00 feet, a chord bearing and distance of South 85°50'00" West, 59.66 feet;
In a southeasterly direction, with said curve to the left, an arc distance of 59.67 feet to a 5/8" iron rod with plastic cap stamped "KHA" set for corner;
South 87°30'33" West, a distance of 576.83 feet to a 5/8" iron rod with plastic cap stamped "KHA" set at the beginning of a tangent curve to the right having a central angle of 9°10'09", a radius of 1000.00 feet, a chord bearing and distance of North 89°54'22" West, 80.19 feet;
In a northwesterly direction with said curve to the right, an arc distance of 90.22 feet to the **POINT OF BEGINNING** and containing 54.6742 acres of 2,381.612 square feet of land.

Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

LINE TABLE																										
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH																					
L1	S87°29'39W	5.67	L16	N87°29'39E	100.38	L32	S04°59'59E	8.49	L57	S76°19'36W	13.17	L72	S06°24'03W	15.00	L87	S87°29'39W	14.22	L102	N02°30'21E	239.82	L120	S47°30'21E	62.37	L135	N47°30'21W	6.11
L2	N10°58'19W	24.83	L17	N87°29'39E	24.00	L37	N51°44'24E	194.13	L58	S13°38'40E	11.82	L88	S02°30'21E	11.95	L103	S02°30'21E	134.22	L121	N02°29'14W	14.24	L136	S87°29'39W	38.39			
L3	N02°31'24W	24.00	L18	N87°29'39E	9.56	L38	N87°29'39E	257.06	L59	N60°19'30E	13.73	L74	N87°29'39E	13.63	L89	N87°29'39E	27.67	L104	S47°29'39W	28.13	L122	N87°29'39E	15.00			
L4	N02°30'21W	5.61	L19	S87°29'39W	184.93	L39	S02°30'21E	184.93	L60	N87°29'39W	29.00	L75	N02°30'21W	15.00	L90	S87°29'39W	13.22	L105	S87°29'39W	47.11	L123	S87°29'39W	104.28			
L5	N02°30'21W	24.00	L20	S87°29'39W	24.00	L40	S06°46'00W	47.75	L61	S02°30'21E	13.67	L76	S87°29'39W	14.29	L91	S02°30'21E	15.00	L106	S87°29'39W	40.89	L124	N47°30'21W	89.43			
L6	N02°30'21W	175.90	L21	S87°29'39W	100.38	L41	S87°29'39W	244.91	L62	N87°29'39E	18.16	L77	N87°29'39E	14.29	L92	N87°29'39E	81.17	L107	S47°29'39W	15.71	L125	N47°30'21W	82.31			
L7	N02°46'03E	47.75	L22	N02°30'21W	855.21	L42	N02°30'21W	238.70	L63	N02°30'21W	15.00	L78	N02°30'21W	15.00	L93	N02°30'21W	128.00	L108	S87°29'39W	88.03						
L8	N02°12'00E	196.64	L23	N87°29'39E	100.38	L43	N87°29'39E	236.28	L64	S47°29'39W	10.85	L79	S87°29'39W	14.06	L94	S47°29'39W	15.00	L110	N47°30'21W	45.03	L127	S87°29'39W	58.73			
L9	N02°30'21W	329.64	L24	N87°29'39E	24.00	L44	S00°12'00W	203.95	L65	S87°29'39W	10.95	L80	S01°13'38W	16.20	L95	S02°30'21E	14.29	L111	S87°29'39W	53.21	L128	S87°29'39W	60.69			
L10	S87°29'39W	84.40	L25	S87°29'39W	9.79	L45	S02°30'21E	9.81	L66	S02°30'21E	15.00	L81	S87°29'39E	21.06	L96	N87°29'39E	5.76	L112	S87°29'39W	59.42	L129	S87°29'39W	78.52			
L11	N02°30'21W	60.00	L27	S87°29'39W	24.00	L46	S87°29'39W	226.05	L67	S87°29'39W	15.00	L82	S87°27'53W	13.50	L97	N47°30'21W	45.03	L113	N47°30'21W	45.03	L130	S87°29'39W	72.29			
L12	N87°29'39E	84.40	L28	S87°29'39W	100.38	L47	N02°30'21W	238.68	L68	N83°13'55W	18.31	L83	S02°29'42E	15.00	L98	S87°29'39W	13.82	L114	N02°29'33W	8.72	L131	S87°29'39W	69.90			
L13	N87°29'39E	24.00	L29	S02°30'21E	348.19	L48	N87°29'39E	226.05	L69	S06°46'00W	15.00	L84	N87°27'53E	13.17	L99	N02°30'21W	14.29	L115	S47°30'21E	82.37	L132	S87°29'39W	69.37			
L14	N87°29'39E	226.05	L30	N02°30'21W	8.84	L54	S87°29'39W	226.05	L70	S83°13'55E	18.31	L85	N87°29'39E	8.53	L100	S87°29'39W	15.00	L116	N87°29'39E	45.89	L133	S87°29'39W	44.60			
L15	N87°29'39E	30.00	L31	N87°29'39E	214.28	L55	N02°30'21W	238.62	L71	N83°38'40E	14.17	L86	N02°30'21W	15.00	L101	S02°30'21E	14.02	L119	N87°29'39E	52.11	L134	N47°30'21W	8.89			

CURVE TABLE					CURVE TABLE					CURVE TABLE					CURVE TABLE									
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD	NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD	
C1	1°32'00"	20.08	0.54	N02°10'49E	0.54	C16	10°00'00"	28.00	43.98	N42°29'39E	39.60	C33	29°21'40"	30.00	13.20	S10°10'59E	28.00	43.98	S42°29'39W	39.60				
C2	19°51'07"	81.17	28.14	N08°14'41W	28.00	C17	90°00'00"	28.00	43.98	S47°30'21E	39.60	C34	23°48'48"	30.00	12.47	N09°24'02E	12.38	52°00'00"	28.00	43.98	N47°30'21W	39.60		
C3	74°19'42"	28.00	36.32	N55°20'30W	33.83	C18	90°00'00"	28.00	43.98	N42°29'39E	39.60	C35	90°00'00"	28.00	43.98	N47°30'21W	39.60	C53	90°00'00"	28.00	43.98	N42°29'39E	39.60	
C4	102°48'51"	28.00	50.24	N08°00'30E	43.77	C19	90°00'00"	28.00	43.98	S47°30'21E	39.60	C36	92°29'07"	28.00	45.10	S41°17'09W	40.42	C54	90°00'00"	28.00	43.98	S47°30'21E	39.60	
C5	12°30'56"	512.00	111.62	C30	280°46'02"	30.00	15.00	N73°00'38E	14.90	C37	22°05'28"	30.00	11.57	S14°56'38E	11.50	C55	90°00'00"	28.00	43.98	S47°29'39W	39.60			
C6	89°42'00"	28.00	43.98	N47°30'21W	39.60	C21	28°27'41"	30.00	14.90	N76°19'36W	14.79	C41	90°01'30"	28.00	44.00	N47°29'39W	39.61	C56	90°00'00"	28.00	43.98	N47°30'21W	39.60	
C7	90°00'00"	28.00	43.98	N42°29'39E	39.60	C22	90°11'20"	27.86	44.00	S42°29'39W	39.60	C42	90°07'42"	28.00	43.98	N42°29'39E	39.60	C57	90°00'00"	28.00	43.98	N42°29'39E	39.60	
C8	90°00'00"	28.00	43.98	N47°30'21W	39.60	C23	90°00'00"	28.00	43.98	N47°30'21W	39.60	C43	90°00'00"	28.00	43.98	S47°30'21E	39.60	C58	2°29'28"	97.00	41.19	N01°16'58W	4.50	
C9	90°00'00"	28.00	43.98	N42°29'39E	39.60	C24	90°00'00"	28.00	43.98	S42°29'39W	39.60	C44	9°16'28"	288.00	46.62	S02°07'52W	46.66	C60	2°29'28"	112.00	4.84	S01°16'58E	4.84	
C10	9°16'20"	312.00	50.50	N02°07'52E	50.49	C25	90°00'00"	28.00	43.98	S47°30'21E	39.60	C45	0°36'51"	812.00	8.56	N00°27'56E	8.56							
C11	6°33'57"	788.00	90.30	N03°29'00E	90.25	C26	90°00'00"	28.00	43.98	N42°29'39E	39.60	C46	81°19'48"	28.00	38.70	S46°49'45W	36.49							
C12	2°42'29"	488.00	23.06	N01°09'03W	23.06	C28	28°16'44"	30.00	14.81	N78°21'59W	14.66	C47	90°00'00"	28.00	43.98	N47°30'21W	39.60							
C13	90°00'00"	28.00	43.98	N47°30'21W	39.60	C30	90°00'00"	28.00	43.98	S42°29'39W	39.60	C48	90°00'00"	28.00	43.98	N42°29'39E	39.60							
C14	90°00'00"	28.00	43.98	N42°29'39E	39.60	C31	90°00'00"	28.00	43.98	N47°30'21W	39.60	C49	92°42'29"	28.00	45.31	S48°00'07E	40.52							
C15	90°00'00"	28.00	43.98	S47°30'21E	39.60	C32	90°00'00"	28.00	43.98	S42°29'39W	39.60	C50	2°42'29"	312.00	24.20	N01°09'03W	24.20							

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That SLINK HOLDINGS LLC SERIES 34 GP & SLINK HOLDINGS LLC SERIES 36 GP do hereby adopt this plat designating the hereon above described property as SLINK ADDITION LOTS 1-7, BLOCK 1, an addition to the City of Grand Prairie, Texas and does hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water conveyance areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes as indicated. The utility, access, GPS monuments and fire lane easements shall be open to the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire lane easements is the responsibility of the property owner. No buildings or other improvements, including fences, shall be permitted in an erosion hazard easement. No buildings or other improvements or growths, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinance. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said easements for the purpose of constructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

WITNESS MY HAND at _____, this the _____ day of _____, 2020.

SLINK HOLDINGS LLC SERIES 34 GP, a Texas series limited liability company & SLINK HOLDINGS LLC SERIES 36 GP, a Texas series limited liability company.

By: _____

By: _____
Title _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared John P. Weber, President, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this the _____ day of _____, 2020.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE



Legislation Details (With Text)

File #: 20-10563 **Version:** 1 **Name:** S201101 - Hamilton Bardin Village Phase 1
Type: Agenda Item **Status:** Items for Individual Consideration
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: S201101 - Site Plan - Hamilton Bardin Village Phase 1 (City Council District 4). Site Plan for Phase 1 of Hamilton Bardin Village, which includes 405 multi-family units in five buildings with a five-story parking garage on 9.647 acres, a 43,874 sq. ft. movie theater on 5.147 acres, and open space on .93 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Site Plan.pdf](#)
[Exhibit C - Landscape Plan.pdf](#)
[Exhibit D - Building Elevations.pdf](#)
[Exhibit E - Amenity Checklists.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

S201101 - Site Plan - Hamilton Bardin Village Phase 1 (City Council District 4). Site Plan for Phase 1 of Hamilton Bardin Village, which includes 405 multi-family units in five buildings with a five-story parking garage on 9.647 acres, a 43,874 sq. ft. movie theater on 5.147 acres, and open space on .93 acres. Sheffield Village Addition Phase 4, 5, and 6, Block 3, Lot B, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the SH-360 Corridor Overlay District, generally located south of I-20, east of SH-360, and north of Bardin Rd, and addressed as 3025 W I-20.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Site Plan for a phased mixed-use development of multi-family, retail, restaurant, and a theater on 16.551 acres.

Sheffield Village Phase IV, Block 3, City of Grand Prairie, Tarrant County, Texas, zoned PD-395, within the I-20 and SH-360 Corridor Overlay District, generally located south of I-20 on the east side of Bardin Rd, and addressed as 3025 W IH-20.

PURPOSE OF REQUEST:

The applicant intends to construct Phase One of a mixed-use development for multi-family, retail, restaurant, and a theater on 16.551 acres. Site Plan approval by City Council is required for development within a Corridor Overlay District or any project involving multi-family use. Development at this location requires City Council approval of a Site Plan because the property is within the I-20 and SH-360 Corridor Overlay Districts and intended for multi-family use.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-37A; PD-327	Light Industrial, Commercial, Retail
South	PD-140 PD-140B	Medical Offices, Multi-Family Undeveloped
West	City Limits	City Limits
East	PD-140	Concorde Career College; Church

PROPOSED USE CHARACTERISTICS AND FUNCTION:

This 21.80-acre, horizontal mixed-use development is anchored by Alamo Draffhouse, a 43,874 sq. ft. movie theater. Phase One of the project includes the theater, 405 multi-family units, and a common open space amenity. The multi-family development includes five residential buildings, one of which wraps around three sides of a five-level structure parking garage.

The three use components - multi-family, retail/restaurant, and theater - are physically and functionally organized around the Grand Lawn. Buildings frame the space to create a consistent edge and screen surface parking from the open space.

The development will be accessible from Bardin Rd and the I-20 frontage road. The primary internal drives will be constructed with Phase One and include on-street parallel parking spaces. PD-395 requires the developer to participate in the cost of signaling the intersection of Bardin Rd and SH-360. The applicant will continue to coordinate with the Transportation Department on the timing of intersection improvements.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The subject property is zoned PD-395 with a base zoning of Multi-Family Three (MF-3) and General Retail (GR). The following tables evaluate the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

Table 2: Site Data Summary for Commercial Uses (Lot 2)

Standard	Required	Provided	Meets
Min. Lot Area Sq. Ft.	5,000	224,250	Yes
Min. Lot Width (Ft.)	50	394.3	Yes
Min. Lot Depth (Ft.)	100	579.42	Yes
Front Setback (Ft.)	25	25	Yes
Rear Setback (Ft.)	0	0	Yes
Max. Height (Ft.)	60	57.83	Yes

Table 3: Site Data Summary for Multi-Family (Lot 1)

Standard	Required	Provided	Meets
Min. Lot Area Sq. Ft.	12,000	420,216	Yes
Min. Lot Width (Ft.)	100	1,226.25	Yes
Min. Lot Depth (Ft.)	120	344	Yes
Front Setback (Ft.)	30	25	No
Rear Setback (Ft.)	45	39	No
Max. Height (Ft.)	66	56.3	Yes
Max. Density (DUA)	42	42	Yes
Max. One Bedroom (%)	60	60	Yes

Parking

Both lots provide the required number of parking spaces for their associated use. The multi-family portion of the development includes a five-level structured parking garage and some tuck-under garages. Garage spaces account for more than 50% of the required parking spaces, meeting the requirements for PD-395.

Landscape and Screening

The property is subject to landscape and screening requirements in Appendix F and Appendix W of the UDC. The proposal meets or exceeds the landscape and screening requirements.

Exterior Building Materials

The multi-family exterior finish materials include brick, stucco, wood slat, and fiber cement siding. The proposed elevations meet the recommended design and building materials in Appendix W. The theater exterior materials include patterned tilt wall concrete panels, painted tilt wall concrete panels, and architectural metal panels. The north facade includes a painted mural that accounts for 17% of the area of the facade. Any mural outside of the Central Area (CA) zoning district requires City Council approval.

Project Amenities

Both the multi-family and theater must provide amenities. Appendix W requires multi-family developments to provide amenities from three categories:

- environmentally friendly features
- high-quality features or designs
- technology

Appendix F requires commercial developments to provide amenities from four categories:

- usable open space and pedestrian linkages

- site design and building orientation
- building design
- healthy, smart, and sustainable community

The tables below summarize the amenities included in the project. Both the multi-family and theater meet the requirements.

Table 5: Appendix W Amenities

Category	Tier	Amenity
Environmentally Friendly Features	1	Reservation of existing natural resor
Environmentally Friendly Features	1	Electric car charge station
Environmentally Friendly Features	1	High efficiency windows
Environmentally Friendly Features	2	Efficient roofing material
Environmentally Friendly Features	2	Recycled or locally sourced materia
Environmentally Friendly Features	2	Recycling Program
Environmentally Friendly Features	2	Walking/jogging trails
Environmentally Friendly Features	3	Additional insulation
Environmentally Friendly Features	3	LED or Low-Wattage Lighting
Environmentally Friendly Features	3	Bicycle Parking
Environmentally Friendly Features	3	Native plantings
Environmentally Friendly Features	3	Outdoor Recreation Spaces with Co
Environmentally Friendly Features	3	Single dog park (included in Area C
High-Quality Features or Designs	1	Granite Countertops in Kitchens anc
High-Quality Features or Designs	1	Upgraded Flooring
High-Quality Features or Designs	1	10-foot ceilings
High-Quality Features or Designs	1	Upgraded Cabinetry
High-Quality Features or Designs	2	Upgraded Light Fixtures
High-Quality Features or Designs	2	Walk-in Closets
High-Quality Features or Designs	2	Upgraded Bathroom and Kitchen H:
High-Quality Features or Designs	2	Full-Size Stainless-Steel Major App
High-Quality Features or Designs	2	8-foot doors leading to each room o
Technology	N/A	Wi-Fi Internet Access in Common /

Table 6: Appendix F Amenities

Menu Item	Category
Enhanced Usable Open Space	Usable Open Space & Pedestrian Linkages
Ceremonial Drive	Site Design & Building Orientation
Park Once Environment	Site Design & Building Orientation
Color Contrast	Building Design
Specialty Accent	Building Design
Articulated Public Entrance	Building Design
Roof Profile Variation	Building Design
Articulation Elements	Building Design
70% Native Plants	Healthy, Smart & Sustainable Community

Ride Sharing Drop-Off	Healthy, Smart & Sustainable Community
Pollinator Friendly Flowers	Healthy, Smart & Sustainable Community
Curbless Pedestrian Focused Streets	Alternative Compliance

VARIANCES:

1. Exterior Color - the west building elevation includes a red metal panel that accounts for 17% of the facade, which exceeds the 10% allowed in Appendix F.
2. Required Windows - the proposal does not meet the 30% window requirement for the north facade or the window requirement for the whole building.
3. Setbacks - the articulation bump-outs on the multi-family buildings encroach the setback by five feet along the south and west property lines. Multi-family buildings are setback 40 feet from the internal lot line to the north. The UDC requires a rear yard setback of at least 45 feet.
4. Landscape Buffer - Appendix F requires a 30 ft. landscape buffer along streets. The landscape buffer along the I-20 frontage road is 25 ft.
5. Parking Lot Design - Appendix F requires concrete pedestrian paths between rows of parking spaces and tree islands every 10 parking spaces. The proposal does not include concrete pedestrian paths and the number of parking spaces between tree islands exceeds 10 spaces.

ANALYSIS:

Staff does not object to the variances to the building design of the theater. Although the use of a primary color exceeds what is allowed, it seems proportional to the size and scale building. The proposed use is a movie theater - it isn't feasible to provide the required windows. The change in materials, building articulation, and mural create visual interest and help reduce the perceived scale of the buildings. Staff believes that the design meets the intent of Appendix F.

The site design and mix of uses create a unique development. The requested variances contribute to the overall development by allowing buildings to be placed so that they frame the internal streets and aggregating open space into a single usable open space.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



LOT DATA					
Location	Lot 1, Block 3R	Lot 2, Block 3R	Lot 3, Block 3R	Lot 4, Block 3R	PHASE 1 TOTAL
Zoning	Planned Development District No. 395				
Overlay	Corridor Overlay District				
Use	Multi-family	Theater	Open Space	Restaurant	Mixed-Use
Site Area	9.647 AC. (420,216 S.F.)	5.147 AC. (224,250 S.F.)	0.930 AC. (40,511 S.F.)	0.827 AC. (36,002 S.F.)	16.551 AC. (720,979 S.F.)
Total Building Footprint	186,745 S.F.	43,874 S.F.	0 S.F.	0 S.F.	230,619 S.F.
Open Space S.F.	-	-	40,511 S.F.	-	40,511 S.F.
Gross Square Footage	480,836	70,000	0	0	550,836
Floor Area Ratio	1.14	0.31	0.00	0.00	

BUILDING SCHEDULE					
Building ID	Number of Units	Building SF	Gross SF	Number of Floors	Height
1	265	74,840	297,503	4	54'
2	39	16,097	48,201	3	47'
3	50	22,556	67,668	3	50'
4	17	7,559	22,677	3	47'
5	34	14,790	44,370	3	50'

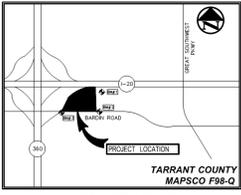
PARKING DATA					
Location	Lot 1, Block 3R	Lot 2, Block 3R	Lot 3, Block 3R	Lot 4, Block 3R	PHASE 1 TOTAL
Parking Ratio Req'd					
Number of Units	265	39	50	17	371
Number of Units	311	312	2,200	367	3,210
1.25 spaces/1 BR	249	312	2,200	367	3,210
2 spaces/2+ BR	156	312	2,200	367	3,210
1 space/0 seats	405	623	652	357	3,210

PROVIDED PARKING DATA					
Type of Parking	Lot 1	Lot 2	Lot 3	Lot 4	Construction Easement
Garage	405	0	0	0	0
Surface	190	367	0	39	11
Tuck Under Garage	47	0	0	0	0
Subtotal	642	367	0	39	11
% of Total	60.17%	34.40%	0.75%	3.66%	1.03%
Phase 1 Total	1,067				

SITE DATA		Existing	Proposed
Total Area	21.803 AC.	21.803 AC.	
Site Coverage	0% on Undeveloped Land	4.826 AC (22.13%)	
Impervious Area	Undeveloped Land	12.88 AC (59.06%)	



- LEGEND**
- ⊕ BOLLARD
 - ⊖ ELECTRIC METER
 - ⊙ POWER POLE
 - ⊕ LIGHT STANDARD
 - ⊖ WATER METER
 - ⊙ WATER VALVE
 - ⊕ IRRIGATION CONTROL VALVE
 - ⊖ FIRE HYDRANT
 - ⊙ CLEAROUT
 - ⊕ MANHOLE
 - ⊖ TRAFFIC SIGNAL CONTROL
 - ⊙ TRAFFIC SIGNAL POLE
 - ⊕ TELEPHONE BOX
 - ⊖ FLOOD LIGHT
 - ⊙ FLAG POLE
 - ⊕ TRAFFIC SIGN
 - ⊖ 1/2-INCH IRON ROD
 - ⊙ W/PACHECO KOCH™ CAP SET
 - ⊕ CONTROLLING MONUMENT
 - ⊖ PROPERTY LINE
 - ⊙ FENCE
 - ⊕ COORDINATE DESIGNATION
 - ⊖ PROPOSED FENCE
 - ⊙ FIRE LANE
 - ⊕ GRADE BREAKS
 - ⊖ SWALES



INTERSTATE 20 FRONTAGE ROAD
(VARIABLE WIDTH RIGHT-OF-WAY)

BLOCK 3, PHASE IV SHEFFIELD VILLAGE
(VOL. 388-190, PG. 83-86)
HAMILTON COMMERCIAL LLC
(INST. NO. 219285070)
21.803 ACRES
(949,747 SF)

BLOCK 3, PHASE IV SHEFFIELD VILLAGE
(VOL. 388-190, PG. 83-86)
CW WEST WIND APARTMENTS LLC
(DOC. NO. 217153984)
ZONING = PD-140

VICINITY MAP
(NOT TO SCALE)

ALL DIMENSIONS ARE TO BACK-OF-CURB UNLESS OTHERWISE NOTED.

OWNER
HAMILTON PECK
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY
SUITE 550
ARLINGTON, TX 76010
P: 972-663-9775
E: hamilton@hamiltoncommercialtx.com

ENGINEER
TATE BRAUN
PACHECO KOCH CONSULTING ENGINEERS
7557 RAMBLER ROAD
SUITE 1400
DALLAS, TX 75231
P: 972-235-3031
E: tbraun@pkce.com

PRELIMINARY
NOT FOR CONSTRUCTION
THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.
PLANS PREPARED UNDER THE DIRECT SUPERVISION OF TATE B. BRAUN, P.E.
DALLAS, TEXAS REGISTRATION NO. 131167
DATE: 09/11/2020

ISSUED FOR PRELIMINARY PRICING PURPOSES ONLY
(SUBJECT TO REVISION PRIOR TO CONSTRUCTION)

THESE DOCUMENTS HAVE BEEN PREPARED BY THE ENGINEER WITH THE INTENT OF COMPLYING WITH ALL CITY STANDARD REQUIREMENTS. THESE DOCUMENTS HAVE NOT BEEN APPROVED AND RELEASED FOR CONSTRUCTION BY THE CITY AS OF THIS DATE AND THEREFORE REVISIONS MAY BE REQUIRED PRIOR TO CONSTRUCTION. BY ANY USE OF THESE DOCUMENTS, THE USER AFFIRMS THEIR UNDERSTANDING OF THE PRELIMINARY STATUS OF THE PLANS AND THE POTENTIAL FOR REVISION PRIOR TO ANY CONSTRUCTION.

NO.	DATE	REVISION

Pacheco Koch

SITE PLAN
BARDIN VILLAGE PH. 1
LOTS 1-4, BLOCK 3R
BARDIN ROAD & SH360
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
TBB	JBG	OCT 2020	1"=60'			SP1.1

S201101

DRAWN: 10/12/2020 10:09 PM
 CHECKED: 10/12/2020 10:09 PM
 PLOT: 10/12/2020 10:09 PM
 C:\Users\jbg\OneDrive\Documents\2020\2020-10-12-10-09-365 SITEPLAN.DWG

BARDIN VILLAGE PH. 1

Planting Schedule

QTY	KEY	UNIT	COMMON NAME	SCIENTIFIC NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
10	BCY	EA	Bald Cypress	<i>Taxodium distichum</i>	3" cal.	14'-16'	8'-10'	as shown	Full Symmetrical Canopy / Matched / Container Grown
50	CED	EA	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	14'-16'	8'-10'	as shown	Full Symmetrical Canopy / Matched / Container Grown
24	ELM	EA	Lacebark Elm	<i>Ulmus parvifolia</i>	3" cal.	14'-16'	8'-10'	as shown	Full Symmetrical Canopy / Matched / Container Grown
21	LOK	EA	Live Oak	<i>Quercus virginiana</i>	3" cal.	14'-16'	8'-10'	as shown	Full Symmetrical Canopy / Matched / Container Grown
24	OAK	EA	Chinkapin Oak	<i>Quercus muhlenbergii</i>	3" cal.	14'-16'	8'-10'	as shown	Full Symmetrical Canopy / Matched / Container Grown
21	RED	EA	Texas Red Oak	<i>Quercus texana</i>	3" cal.	14'-16'	8'-10'	as shown	Full Symmetrical Canopy / Matched / Container Grown
Shrubs & Perennials (Utilize Native/Drought Tolerant Plants)									
253	DWM	EA	Dwarf Wax Myrtle	<i>Myrica pauciflora</i> Lynn's Dwarf	#5 cont.	22"-26"	18"-22"	36"	Full and symmetrical
	TKS	EA	Texas Sage	<i>Leucophyllum frutescens</i>	#5 cont.	22"-26"	18"-22"	36"	Full and symmetrical
Flowering or Colorful Plants									
337	GAL		Flowering or Colorful Plants						

PLANTING LOCATION NOTES

TREES CAN BE ADJUSTED OR REMOVED BEYOND LOCATIONS SHOWN ON THIS PLAN IN THE EVENT EXISTING OR PROPOSED UTILITIES OF ANY KIND, TRANSFORMERS, OR GRADE ISSUES CAUSE SUCH LOCATIONS TO BE DETRIMENTAL TO THE TREES LONG TERM GROWTH AND WELFARE.

LEGEND

- PROPERTY LINE
- - - EASEMENTS
- TYPE 2 FENCE
- TYPE 3 FENCE
- [Hatched Box] LANDSCAPE AREA
2 OR MORE TYPES OF PLANTING
MAXIMUM 40% GROUNDCOVER
- [Dotted Box] LAWN
- [Circle with dot] 3" BALD CYPRESS
- [Circle with dot] 3" CEDAR ELM
- [Circle with dot] 3" CHINKAPIN OAK
- [Circle with dot] 3" LACEBARK ELM
- [Circle with dot] 3" LIVE OAK
- [Circle with dot] 3" TEXAS RED OAK
- [Circle with dot] 5 GAL EVERGREEN PARKING
SCREENING SHRUBS
(DWARF WAX MYRTLE, TEXAS SAGE)

LANDSCAPE AREA NOTES

EXCAVATE AS NEEDED TO PROVIDE 12" OF PLANTING MIX AND 3" OF HARDWOOD MULCH; 2 OR MORE TYPES OF PLANTING. PLANT (10) #5 CONTAINER SHRUBS; (10) #3 CONTAINER SHRUBS PER 100 SQ.FT. AND MAXIMUM OF 40% GROUNDCOVER, PROVIDE AUTOMATIC IRRIGATION SYSTEM.

SOIL NOTES

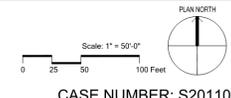
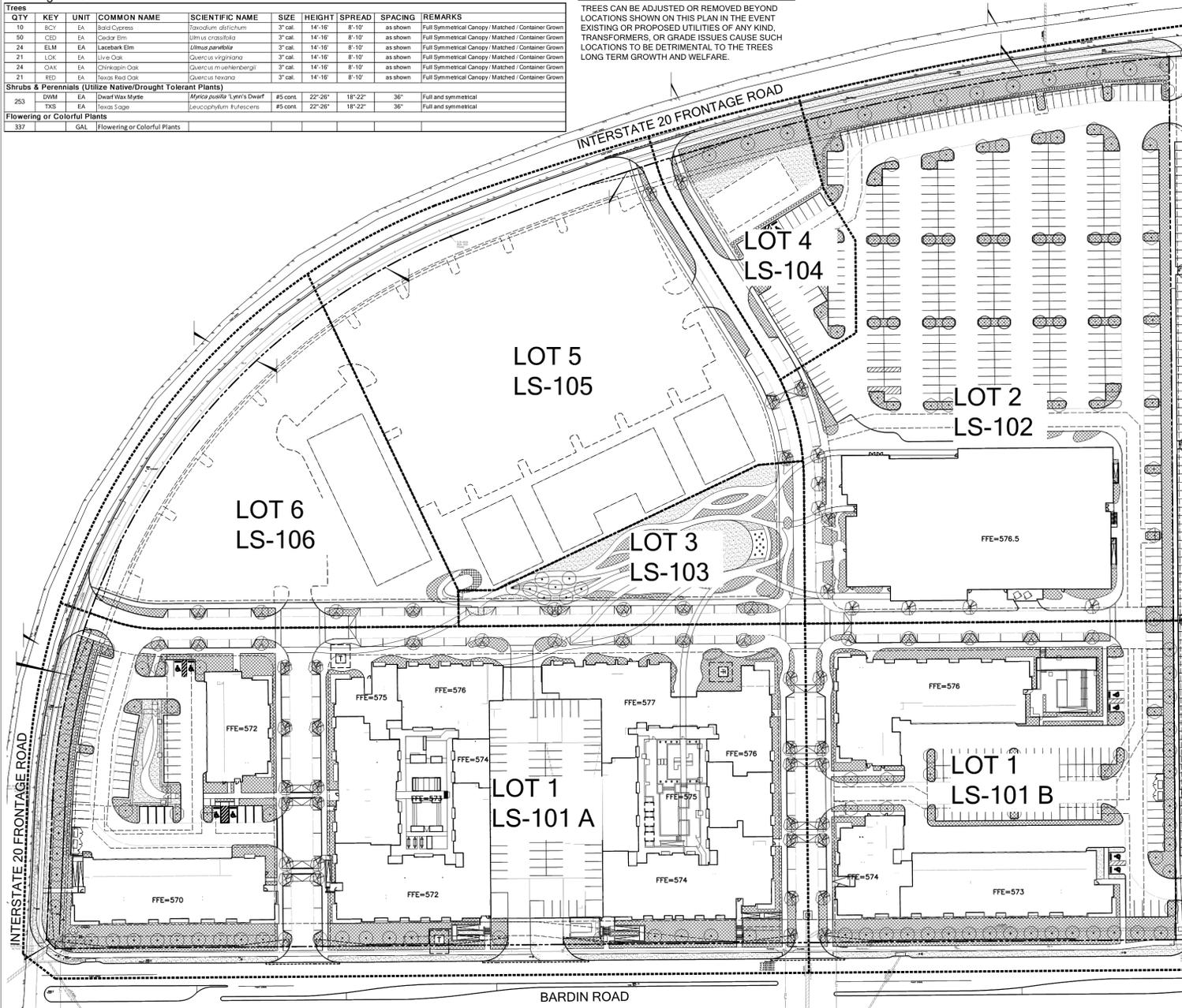
EACH LARGE TREE WILL BE INSTALLED WITH A MINIMUM SOIL DEPTH OF 36 INCHES
EACH LARGE SHRUB OR SMALL TREE WILL BE INSTALLED WITH A MINIMUM DEPTH OF 30 INCHES

TREE MITIGATION NOTES

ALL EXISTING SITE TREES OVER 6" CALIPER INCHES TO BE MITIGATED IN ACCORDANCE WITH GRAND PRAIRIE TREE MITIGATION REQUIREMENTS.

IRRIGATION NOTES

- IRRIGATION INSTALLATION TO BE DESIGN/BUILD BY THE CONTRACTOR / SUBCONTRACTOR
- ALL LAWN SURFACES TO BE FULLY IRRIGATED WITH 100% HEAD TO HEAD COVERAGE. NO ROTOR SPRAY HEADS ARE TO BE USED
- ALL TREES TO BE IRRIGATED WITH MIN. (2) BUBBLERS.
- ALL PLANTER BEDS TO BE IRRIGATED VIA DRIP IRRIGATION.
- SLEEVES TO BE PROVIDED AS NEEDED TO CONNECT IRRIGATION LINES TO ANY PLANTED MEDIANS OR OTHER LANDSCAPE AREAS SEPARATED BY PAVEMENT PRIOR TO PAVEMENT INSTALLATION.
- NO IRRIGATION SPRAY IS TO BE DIRECTED ONTO WALKWAYS OR OTHER PAVEMENT.
- ALL IRRIGATION LINES SHALL BE LEAK-TESTED PRIOR TO BURIAL.
- SPRINKLER HEADS TO BE INSTALLED ONLY AFTER SYSTEM HAS BEEN COMPLETELY FLUSHED.
- ALL IRRIGATION AND RELATED EQUIPMENT INCLUDING (BUT NOT LIMITED TO) PIPING, VALVES, CONTROLLERS, BACKFLOW PREVENTER(S), THRUST BLOCKS, CONTROL WIRE, VALVE BOXES, SPRINKLER HEADS, RISERS, ETC. TO BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- 'AS-BUILT' DRAWINGS FOR ALL IRRIGATION PLUMBING AND EQUIPMENT SHALL BE ACCURATELY MAINTAINED DURING INSTALLATION AND PROVIDED TO OWNER AT TIME OF FINAL ACCEPTANCE.
- IRRIGATION MUST FOLLOW ALL TCEQ 30 TAC 344 REGULATIONS.



CASE NUMBER: S201101

LANDSCAPE

Dallas | Fort Worth | Austin

BARDIN VILLAGE

PHASE 1 UPDATED

GRAND PRAIRIE, TEXAS 75052

SITE PLAN SUBMISSION

THIS DOCUMENT IS NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

A.M. Approved ALEX J. MARTIN
TEXAS LIC NO. 3420

OVERALL SUBMITTAL PLAN

Project No. 20089 00
Date 10.23.2020

LS-100

Category 1: Environmentally-friendly building materials, construction techniques, or other features**Tier I (Pick Three)**

- i. "Smart" technology which automatically controls functions such as lights and thermostat to reduce energy loads during the day or at times of peak energy usage.
- ii. Use of solar or other form of alternative energy to satisfy approximately 25% or more of on-site energy demand.
- iii. Landscaping plan that makes use of native, drought resistant plantings not requiring the use of irrigation. In lieu of sod or turf, drought resistant plantings may be combined with coordinated hardscapes of high design quality and appearance for the purposes of meeting Tier I requirements.
- iv. Reservation of existing natural areas comprising 5% or more of the overall project size, with such areas incorporating quality non-invasive tree stands, habitat or riparian areas, and not including existing floodplain or other areas already protected or inherently unsuitable for development.
- v. Permeable pavement for 10% or more of total paving.
- vi. Electric car charging station (minimum 2).
- vii. High efficiency windows on residential and common buildings.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 100% of irrigation in accordance with section 8.4.1.11.

Tier II (Pick Four)

- i. Integration of commercial/retail/office space or live-work units.
- ii. Permeable pavement for 5% or more of total paving.
- iii. Roofing material with a minimum total solar reflectance of 0.70 and a minimum thermal emittance of 0.75 when measured using ASTM testing methods endorsed by the North Central Texas Council of Governments.
- iv. Significant use of recycled or locally-sourced materials. Locally-sourced is defined as a material having its origin within 50 miles of the project.
- v. Preservation of existing non-invasive trees with a combined canopy square footage area totaling at least 5% of the overall project size (trees can come from any portion of the site other than areas which are already projected or inherently unsuitable for development, such as floodplain).
- vi. Qualified recycling program available to every resident.
- vii. Walking/jogging trails within the development. Where possible, trails should utilize existing natural areas and provide linkages to existing or future area trail networks.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 50% of irrigation in accordance with section 8.4.1.11.

Tier III (Pick Five)

- i. Additional insulation.
- ii. LED or low-wattage lighting.
- iii. Bicycle parking.
- iv. Use of additional native plantings totaling 10% or more of minimum landscape requirements.
- v. Stormwater or grey water reclamation for on-site reuse in accordance with section 8.4.1.11.
- vi. Solar-ready building design.
- vii. Outdoor recreation spaces with communal features such as furniture, landscaping, gardens, televisions, movie screens, BBQ grills, pergolas, areas for fitness or sports activities, and interactive water features, not including standard unheated swimming pools, which are designed for water conservation or reuse.
- viii. Big and small dog parks. (single dog park included in Area C)

Category 2: High-quality features or designs**Tier I (Pick Four)**

- i. Granite countertops or similar in kitchens and bathrooms.
- ii. Upgraded flooring throughout, consisting of masonry tile, such as porcelain or travertine, wood-look tile, true hardwood, stained concrete, or deep pile carpeting.
- iii. Minimum 10 foot ceilings in living areas, kitchen, dining rooms, hallways, bathrooms and bedrooms.
- iv. Upgraded woodwork throughout each unit, such as crown molding, wainscot, chair rails, window and door moldings.
- v. Upgraded cabinetry.

Tier II (Pick Five)

- i. Arched forms separating rooms and living spaces.
- ii. Upgraded light fixtures including recessed lighting or indirect lighting.
- iii. Walk-in closets.
- iv. Jetted bathtubs.
- v. Upgraded bathroom and kitchen hardware, including faucets and sinks.
- vi. Full-size stainless steel major appliances (oven, range, refrigerator, dishwasher, microwave oven).
- vii. 8 foot doors leading to each room of a unit.

Category 3: Technology (Provide All)

- a. Integrated USB ports within all units.
- b. App-enabled functionality for door locks, lighting, thermostat, appliances, or other electronics.
- c. App-enabled communication between residents and management for the reporting of problems related to mechanical failures, safety concerns, or noise issues.
- d. Wi-fi internet access provided to users of common amenities such as clubhouse, pool, walking trails, and fitness area.

Appendix F Menu Items Checklist

The Appendix F Menu Items Checklist intended to help developers organize their Development Request submittal and communicate Menu Items choices to Staff. This checklist is not intended to be used without first reading Appendix F. Developers must select a total of 12 Menu Items. Unless otherwise indicated, each Menu Item counts as 1 Menu Item.

Instructions: Complete checklist by indicating which Menu Items you select. After completing the checklist fill out the Menu Item Summary Table.

Usable Open Space & Pedestrian Linkages		
✓ If Selected	Menu Item	Description
<input checked="" type="checkbox"/>	Enhanced Usable Open Space	Usable Open Space that exceeds the minimum requirements with at least four Tier 1 amenities and three or more Tier 2 amenities. <ul style="list-style-type: none"> Tier 1 Amenities: two types of seating, active water feature, furnished play area, dog park, sculpture, artwork, furnished outdoor game area, or comparable amenity proposed by the developer. Seasonal plantings in decorative planters, textured paving, living wall, mural, decorative lighting, USB charging station, electrical hook-up to allow programming, or a comparable amenity proposed by the developer. → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Above-and-Beyond Usable Open Space (2)	Developers who are able to demonstrate to the Planning and Zoning Commission and City Council that the proposed Usable Open Space goes above-and-beyond the Enhanced Usable Open Space may count the space as two Menu Items. <ul style="list-style-type: none"> * Include project narrative or exhibit that lists the proposed amenities and describes why the space should be considered above-and-beyond Usable Open Space.
<input type="checkbox"/>	Public Art Piece	Dedicate at least 1% of the total project cost to one major public art piece to be centrally located.
<input type="checkbox"/>	Public Art Series	Dedicate at least 1% of the total project cost to multiple public art pieces to be located throughout the development.
Site Design & Building Orientation (Select at Least Two Menu Items)		
✓ If Selected	Menu Item	Description
<input type="checkbox"/>	75% Parking Behind Buildings	Buildings shall be placed towards the street with 75% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	100% Parking Behind Buildings (1.5)	Buildings shall be placed towards the street with 100% of off-street parking located to the side or rear of buildings.
<input type="checkbox"/>	Add Parking Lot Trees	Provide one parking lot tree per five spaces. Parking lot trees should be capable of achieving 30% canopy coverage over the parking area within 10 years of planting.
<input type="checkbox"/>	Rain Gardens	Provide bioretention areas, or rain gardens, between every other row of parking.
<input type="checkbox"/>	Permeable Surface	Use permeable concrete and pavers on 15% of the surface parking lot.
<input type="checkbox"/>	Strategic Parking	Submit one of the following Strategic Parking Plans: <ul style="list-style-type: none"> Parking Reclamation Plan – Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse. Parking Flex Plan – Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.

		<ul style="list-style-type: none"> Phased Parking Plan – Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green spaces until converted to parking spaces. If, after five years, future parking spaces have not been constructed, they shall become permanent green space. <p>→ Circle or highlight selected parking plan.</p>
<input checked="" type="checkbox"/>	Ceremonial Drive	Developments over 20 acres or developments that include multiple lots/buildings shall provide a grand promenade or ceremonial drive with trees planted every 30 feet.
<input type="checkbox"/>	Gateway	Developments over 20 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a gateway, frame usable open space, or create a view corridor with appropriate terminus.
<input checked="" type="checkbox"/>	Park Once Environment (1.5)	<p>Developments over 10 acres or developments that include multiple lots/buildings shall use site layout and building placement to create a park once environment.</p> <ul style="list-style-type: none"> Shared parking agreements between different lots/occupants must be in place.

Building Design (Select at Least Six Menu Items)

<input checked="" type="checkbox"/> If Selected	Menu Item	Description
<input type="checkbox"/>	Materials Mix	A single material, color, or texture shall not exceed 60% of a single facade.
<input type="checkbox"/>	Stone Accent	All four facades shall include a stone accent in a contrasting color and texture from the primary building material. The combined area of the stone accent shall be at least 25% of the vertical surface area of all facades.
<input checked="" type="checkbox"/>	Color Contrast	Each facade shall include at least two contrasting colors.
<input checked="" type="checkbox"/>	Specialty Accent	Color and/or material shall be used to highlight entrances of multi-tenant buildings. Specialty accents should reflect the personality or character of the occupant.
<input type="checkbox"/>	Corner Treatment	Developers shall use at least three architectural elements to emphasize corners of the buildings: corner entrance, accent material, projecting cornice, tower element, enhanced windows, cupolas, gables, dormers, balconies, articulation, or a comparable element chosen by the developer. Corner treatments must be one of the Menu Items for buildings at key intersections. → Circle or highlight the proposed architectural elements.
<input checked="" type="checkbox"/>	Articulated Public Entrance	The primary building entrance shall be visibly prominent from a public street. At least three of the following shall be used: recessed facade, projecting facade, raised canopy, taller door dimensions, double doors, lighting fixtures on either side of the entry, steps or stoops, changes in materials, arches, columns, eave treatment, transom windows, or a comparable element chosen by the developer. → Circle or highlight the proposed elements.
<input type="checkbox"/>	Buildings at Key Intersections	Developers should highlight key intersections by using additional design elements to create gateways or landmarks. Buildings at key intersections shall include at least three of the following features: corner plaza with plantings and seating, corner tower form, cupolas, large window openings, sloped or pitched roof form, richer colors, seasonal plantings, or a comparable element chosen by the developer. → Circle or highlight the proposed features.
<input checked="" type="checkbox"/>	Roof Profile Variation	Developers shall use parapets or another technique to create a distinctive roof profile.
<input checked="" type="checkbox"/>	Articulation Elements	Each facade shall include at least three of the following items every 60 feet: change in roofline, facade modulation, window

we are a single tenant building but we have highlighted the entry

Only the main entry corner has been highlighted

		fenestration patterns, vertical columns, and change in material or texture. → Circle or highlight the proposed items.
<input type="checkbox"/>	Enhanced Windows	All facades with windows shall include at least two types of windows that differ in the style, size, shape, or placement.
<input type="checkbox"/>	Canopy Variation	Facades shall include multiple types of canopies. Changes in shape, color, or material should be used to highlight an architectural feature or particular user while complementing the established design theme. * It is likely that individual tenants will determine the final design of the canopy. If tenants are unknown at this time, submit an exhibit that illustrates variations in shape, color, and material within the intended design theme.
<input type="checkbox"/>	Design Elements	Facades shall include at least three other design elements: trellises, towers, overhang eaves, banding, pilasters, projecting cornices, columns, string courses, rustication, lintels, or a comparable element proposed by the developer. → Circle or highlight the proposed design elements.

Healthy, Smart, and Sustainable Community (Select at Least Two Menu Items)

✓ If Selected	Menu Item	Description
<input type="checkbox"/>	Mature Trees	Provide mature trees for 30% of required trees. The locations of the mature trees should be focused in usable open spaces and along pedestrian paths.
<input type="checkbox"/>	Connect to Parks and/or Trails	Provide a connection to existing or proposed parks and/or trails. The connection should function as a continuation, not just a point of access. The connection shall include appropriate amenities such as bike racks, pet waste disposal stations, water fountains, misting stations, or a comparable amenity proposed by the developer. → Circle or highlight the proposed amenities.
<input type="checkbox"/>	Community Garden	Provide a community garden and participate in the City's community gardens partnership program.
<input type="checkbox"/>	Parking Reclamation Plan	Create a parking reclamation plan that includes specific strategies to reclaim surplus parking spaces to expand structures and usable open spaces or create new ones. Developers should anticipate changes in parking demand and design their site to create opportunities for adaptable reuse.
<input type="checkbox"/>	Parking Flex Plan	Create a parking flex plan that shows how parking spaces can be temporarily used for something other than parking, such as festivals, outdoor dining, community gatherings, and other events. The plan should identify the parking spaces and describe how they will be used.
<input type="checkbox"/>	Phased Parking Plan	Create a phased parking plan and construct parking spaces in phases as demand requires. Areas intended for future parking phases would remain as green space until converted to parking spaces. If, after five years, future parking phases have not been constructed, they shall become permanent green space.
<input type="checkbox"/>	Green Infrastructure	Provide and maintain green infrastructure such as bioretention areas (rain gardens), planter boxes, or vegetated buffer strips consistent with NCTCOG's integrated Stormwater Management (iSWM) Program.
<input type="checkbox"/>	Solar Energy	Use solar energy to satisfy 25% or more of on-site energy demand.
<input type="checkbox"/>	Preserve Open Space	Reserve existing natural areas comprising at least 5% of the overall project size. Such areas should incorporate quality non-invasive tree stands, habitat or riparian areas. Such areas should not include existing floodplain or other areas already protected or inherently unsuitable for development.

<input checked="" type="checkbox"/>	70% Native Plants	Use native and drought tolerant species for at least 70% of planting materials.
<input type="checkbox"/>	Wi-Fi (.5)	Provide Free Wi-Fi in common areas.
<input type="checkbox"/>	USB Charging Stations (.5)	Provide USB charging stations in usable open spaces.
<input type="checkbox"/>	Smart Parking (.5)	Provide web-connected sensors in pavement that help people find and/or reserve a parking space.
<input checked="" type="checkbox"/>	Ride-Sharing Drop-Off (.5)	Provide designated spaces for ride-sharing pick-ups and drop-offs.
<input type="checkbox"/>	Permeable Paving (.5)	Use permeable pavement on 15% of the parking lot.
<input type="checkbox"/>	Green Roofs (.5)	Provide a green roof that is at least 50% of total roof area.
<input type="checkbox"/>	Living Wall (.5)	Provide a living wall that is at least 60% of the area of the facade on which it is constructed.
<input type="checkbox"/>	Recycling Program (.5)	Institute a mandatory recycling program for occupants. Provide recycling bins in addition to trash bins in common areas.
<input type="checkbox"/>	30% Native Plants (.5)	Use native and drought tolerant species for at least 30% of planting materials.
<input checked="" type="checkbox"/>	Pollinator Friendly Flowers (.5)	Use native plants that attract bees, butterflies, moths, and hummingbirds for at least 20% of required landscape materials.

Alternative Compliance

The Menu Items listed do not represent an exhaustive list. Developers may propose a comparable item not listed. If developers are able to prove that the proposed item meets the intent of Appendix F, Staff may recommend that the proposed item be counted as a Menu Item. Indicate the proposed item, identify which of the four elements the proposed item will count towards, and provide a brief description.

<input checked="" type="checkbox"/> If Selected	Proposed Item/Element	Description
<input checked="" type="checkbox"/>	Curbless pedestrian focused streets	Curbless pedestrian focused central street design with a close-able section to create a plaza space
<input type="checkbox"/>		
<input type="checkbox"/>		
<input type="checkbox"/>		

Menu Item Summary Table

Element	# of Menu Items
Usable Open Space & Pedestrian Walkways	
Site Design & Building Orientation	
Building Design	
Healthy, Smart, Sustainable Community	
Alternative Compliance	
Total Menu Items:	



Legislation Details (With Text)

File #: 20-10564 **Version:** 1 **Name:** S200901 - Kalterra Phase 1
Type: Agenda Item **Status:** Items for Individual Consideration
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: S200901 - Site Plan - Kalterra Phase 1 (City Council District 2). Site Plan for a multi-family development of 412 units in four buildings on 11.74 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Site Plan.pdf](#)
[Exhibit C - Landscape Plan.pdf](#)
[Exhibit D - Building Elevations.pdf](#)
[Exhibit E - Appendix W Amenities.pdf](#)
[Exhibit F - Enhanced Screening.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

S200901 - Site Plan - Kalterra Phase 1 (City Council District 2). Site Plan for a multi-family development of 412 units in four buildings on 11.74 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Site Plan for a multi-family development of 412 units in four buildings on 11.74 acres. Tract 7 of the William Reed Survey, Abstract No. 1193 and Tract 1.1 of the Frederick Dohme Survey, Abstract No. 395, City of Grand Prairie, Dallas County, Texas, zoned PD-397, within the SH-161 Corridor Overlay District, and generally located on the northwest corner of SH-161 and Forum Dr.

PURPOSE OF REQUEST:

The applicant intends to construct a multi-family development on 11.74 acres. Site Plan approval by City Council is required for any project involving multi-family use or within a Planned Development District. Development at this location requires City Council approval of a Site Plan because the property is intended for multi-family use and zoned PD-397.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-397	Undeveloped
South	PD-382	Multi-Family Under Construction
	PD-294	Undeveloped
West	PD-397	Undeveloped
East	PD-294D	Undeveloped

PROPOSED USE CHARACTERISTICS AND FUNCTION:

This Site Plan is Phase 1 of a larger horizontal mixed-use development on 55.5 acres. This phase includes 412 multi-family units in four buildings and the associated parking and amenities. The primary entrance for the whole development is off the SH-161 frontage road.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The subject property is zoned PD-397 with a base zoning of Multi-Family Three District; development is subject to the standards for PD-397 and for Multi-Family Three District in the Unified Development Code (UDC). The following table evaluates the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

Table 2: Site Data Summary

Standard	Required	Provided	Meets
Min. Lot Area Sq. Ft.	12,000	511,394	Yes
Min. Lot Width (Ft.)	100	100	Yes
Min. Lot Depth (Ft.)	120	120	Yes
Front Setback (Ft.)	30	30	Yes
Rear Setback (Ft.)	0	45	Yes
Max. Height (Ft.)	60	52	Yes
Max. Density (DUA)	40	35.09	Yes
Max. One Bedroom (%)	70	60	Yes

Parking

The table below evaluates the parking requirements. The proposal meets the required parking, garages, and carports.

Table 3: Parking Requirements

Standard	Required	Provided	Meets
Total Parking Spaces	536	536	Yes
Garage	10%	20%	Yes
Carport	20%	20%	Yes

Landscape and Screening

The property is subject to landscape and screening requirements in Appendix W of the UDC. The table below summarizes these requirements. The proposal meets the landscape and screening requirements.

Table 4: Landscape & Screening Requirements

Standard	Required	Provided	Meets
Landscape Area (Sq. Ft.)	76,724	148,966	Yes
Trees	154	154	Yes
Shrubs	1,534	1,550	Yes
Dumpster Enclosure	Masonry Enclosure	Masonry Enclosure	Yes

Exterior Building Materials

The exterior finish materials include brick, stucco, and fiber cement siding. The proposed building elevations also meet the recommended design and building materials in Appendix W.

Appendix W Amenities

Appendix W requires a certain number of amenities from categories such as environmentally friendly building materials, construction techniques, or other features, high quality features or design, and technology. The proposal meets the requirements for amenities.

VARIANCES:

- Perimeter Fence and Gated Entry - Appendix W requires that multi-family developments contain security gates at all entrances to the complex. The proposal does not include a perimeter fence with gated entry. As an alternative, the applicant is proposing to secure individual buildings and fence of internal courtyards.

ANALYSIS:

The Site Plan includes changes from the approved Concept Plan that revises the internal street layout and may affect development walkability.

- The reconfigured buildings will not fully enclose and screen surface parking from the internal street as shown on the concept plan.
- There are two parallel drives between each building that breaks off the consistent street edge and may increase potential conflicts between traffic and people on foot.

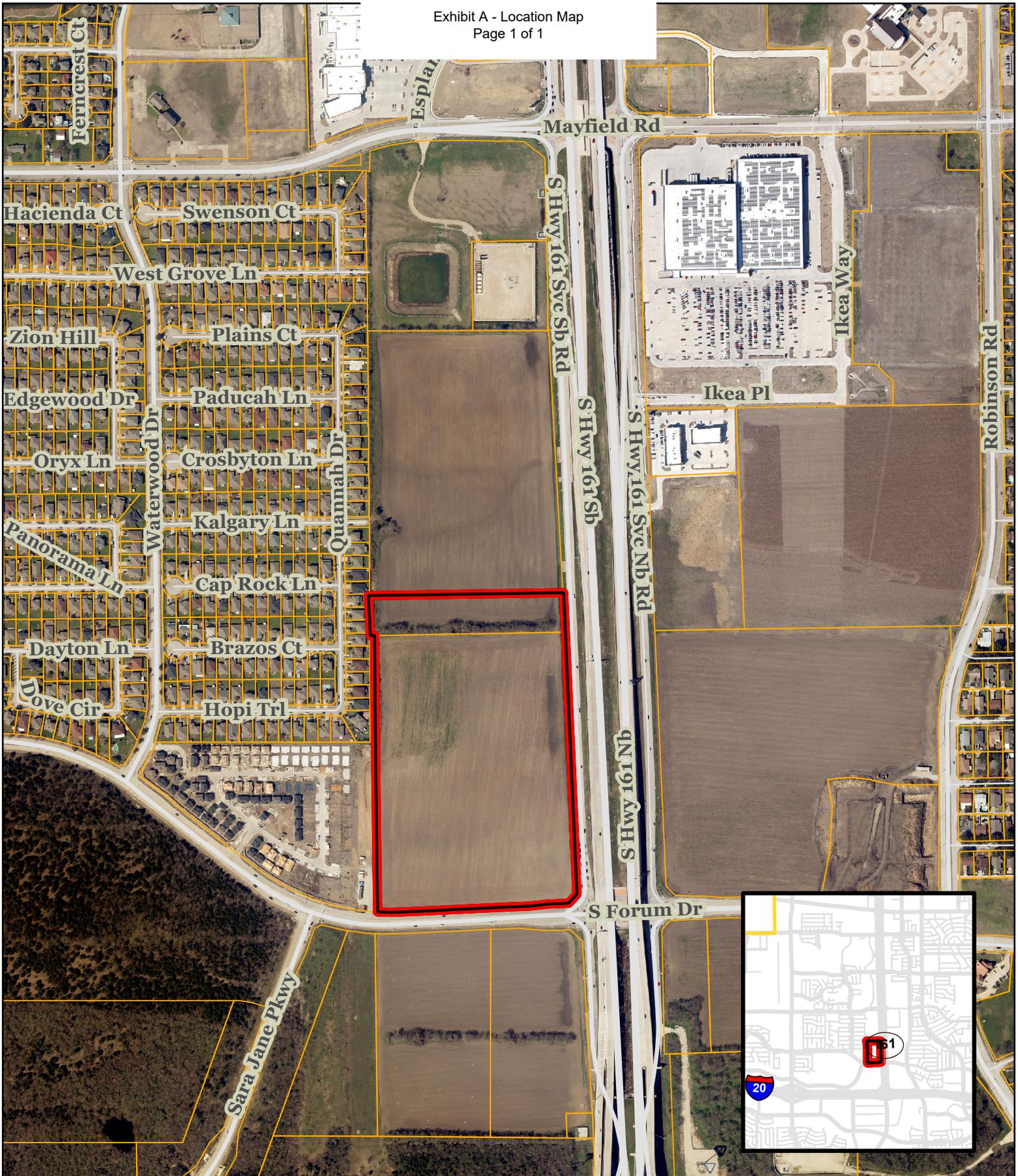
The applicant has remedied the changes by proposing enhanced plantings and decorative metal walls to screen parking and extend the building edge. Staff believes the plantings and screening should assist to resolve some

of the noted design issues.

RECOMMENDATION:

Staff is generally in support of the proposal. Although the layout is revised, the applicant has made changes to make the site plan more in line with the Concept Plan intent. Staff recommends approval with the following conditions:

1. The applicant shall coordinate with the designated representative of the City of Grand Prairie Police Department to finalize the plan to secure individual buildings and courtyard areas; and
2. The location, design, and character of the enhanced screening (landscape and metal screening walls) along the internal street shall be consistent with what is depicted on the site plan and Exhibit F - Enhanced Screening, as determined by the Director of Planning and Development or designee.



CASE LOCATION MAP

Site Plan - S200901

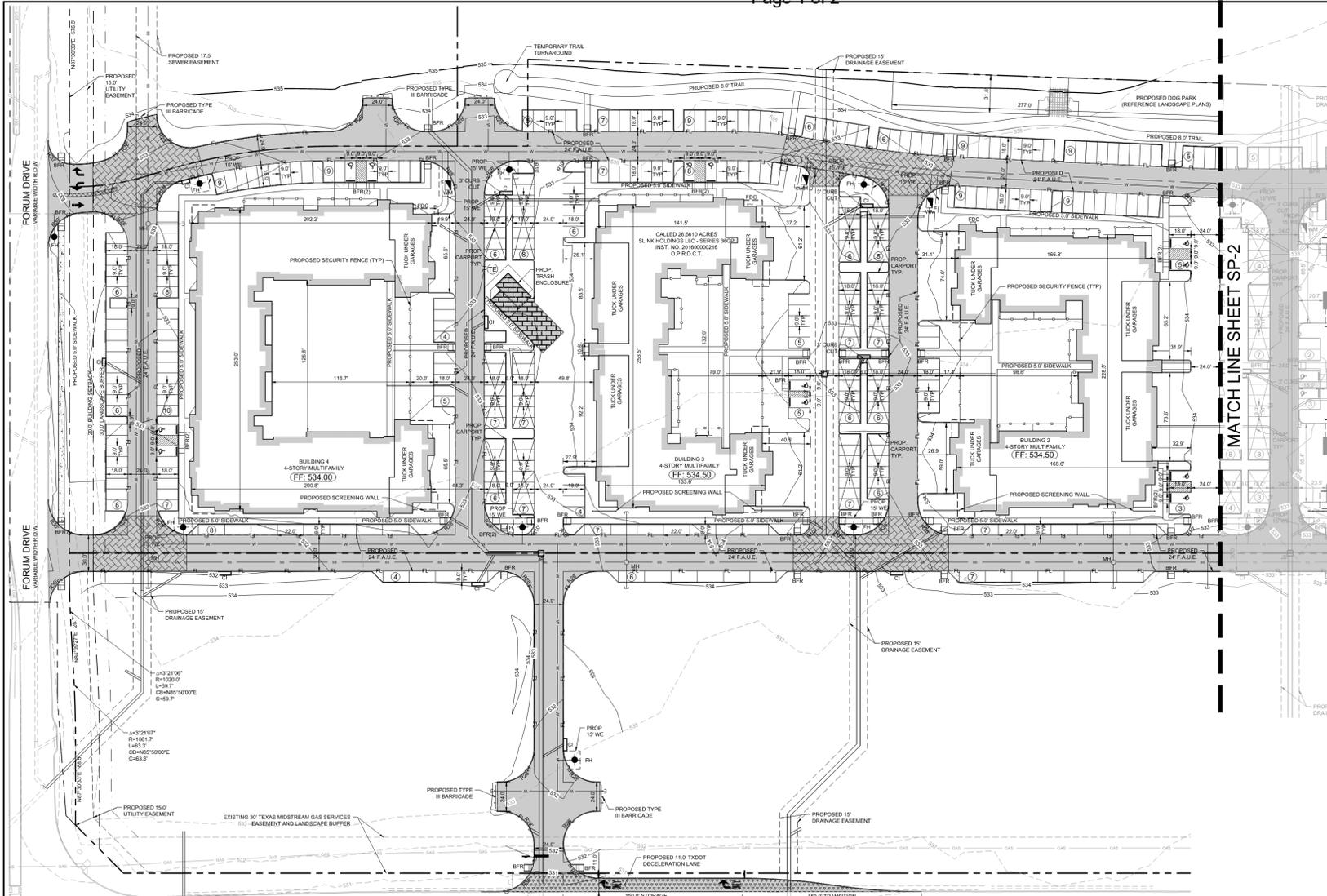
Kalterra Phase 1



City of Grand Prairie
Development Services

(972) 237-8255

www.gptx.org



BENCH MARK LIST

BM #50 CITY OF GRAND PRAIRIE GPS MONUMENT 39 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 39" SET IN A WELL WITH AN ALUMINUM ACCESS COVER FLUSH WITH GROUND LOCATED BETWEEN A SIDEWALK AND CURB, APPROX. 18 FEET SOUTH OF THE SOUTHEAST CORNER OF THE INTERSECTION OF WARRIOR TRAIL AND CARRIER PARKWAY, 59 FEET WEST OF BUILDING CORNER AND 28 FEET NORTHWEST FROM A 10' INCH ELM TREE.
ELEV. = 526.54

BM #51 CITY OF GRAND PRAIRIE GPS MONUMENT 38 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 38" SET IN A WELL WITH AN ALUMINUM ACCESS COVER (MISSING) FLUSH WITH GROUND LOCATED APPROX. 85 FEET EAST OF THE CENTERLINE OF WATERWOOD DRIVE AND APPROX. 42 FEET NORTH OF THE CENTERLINE OF MAYFIELD ROAD.
ELEV. = 564.65

BM #52 CITY OF GRAND PRAIRIE GPS MONUMENT 37 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 37" SET IN A WELL WITH AN ALUMINUM ACCESS COVER FLUSH WITH GROUND LOCATED APPROX. 275 FEET SOUTH OF THE CENTERLINE INTERSECTION OF WARRIOR TRAIL AND GREAT SOUTHWEST PARKWAY ON THE WEST SIDE OF GREAT SOUTHWEST PARKWAY, 3.8 FEET INSIDE THE FENCE OF THE GRAND PRAIRIE AIRPORT AND 29.5 FEET NORTHWEST FROM A POWER POLE.
ELEV. = 577.94

V. = 538.67

NOTE: REFERENCE THE TOPOGRAPHIC SURVEY PREPARED BY KIMLEY HORN AND ASSOCIATES ON APRIL 2020 FOR ADDITIONAL BENCHMARKS.

GENERAL SITE DATA

LOT AREA (SQUARE FEET AND ACRES)	511,384.55 / 11.74 AC
ZONING	PD ORD. NO. 10723-2019
EX LAND USE	VACANT
PROP LAND USE	MULTIFAMILY
BUILDING HEIGHT (STORIES)	4
RESIDENTIAL UNITS	432
RESIDENTIAL DENSITY	35.09 UNITS/ AC
ACRES WITHIN 100 YEAR FLOODPLAIN	N/A
PERCENTAGE OF SITE LANDSCAPING	

PARKING

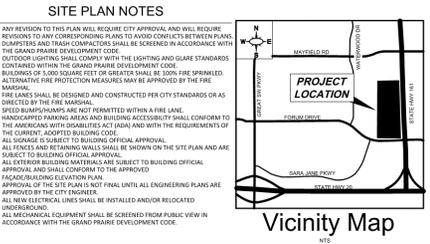
TOTAL SPACES REQUIRED	536
TOTAL SPACES PROVIDED	537
GARAGES REQUIRED (20% OF TOTAL)	54
GARAGES PROVIDED	59
CARPOTS REQUIRED (20% OF TOTAL)	108
CARPOTS PROVIDED	137

UNIT MIX

1 BED	237
2 BED	127

SITE PLAN NOTES

- ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- SWIMPOOLS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE GRAND PRAIRIE DEVELOPMENT CODE.
- OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS COORDINATED WITH THE GRAND PRAIRIE DEVELOPMENT CODE.
- BUILDINGS OF 1,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE MARSHAL.
- FIRE LANS SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS OR AS DIRECTED BY THE FIRE MARSHAL.
- SPEED BREAKPHONES ARE NOT PERMITTED WITHIN A FIRE LANE.
- HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT ADOPTED BUILDING CODE.
- ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
- APPROVAL OF THIS SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE CITY ENGINEER.
- ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE GRAND PRAIRIE DEVELOPMENT CODE.



OVERALL SITE PLAN
OF
THE **FOUNDRY**
11.74 ACRES

FREDERICK DOHME SURVEY, ABSTRACT NO. 395 & WILLIAM REED SURVEY, ABSTRACT NO. 1993
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS
CITY CASE NUMBER: S200901
SUBMITTED: AUGUST 4, 2020
RESUBMITTED: OCTOBER 23, 2020

DEVELOPER:
Kalterra Construction, LLC
1701 N. Market Street
Dallas, TX 75202
Contact: Chase Wood
Phone: 953-365-1706

ARCHITECT:
Cross Network, PLLC
878 Junction Drive
Allen, TX 75013
Contact: Gabriel Northington
Phone: 469-382-1156

ENGINEER:
KIMLEY HORN AND ASSOCIATES, INC.
13405 North Loop
Two Galleria Office Tower, Suite 1700
Dallas, Texas 75240
Tel. No. 972-770-1370
Contact: Jonathan C. Kerley, P.E.

Kimley»Horn
© 2020 KIMLEY HORN AND ASSOCIATES, INC.
13405 NORTH LOOP, DALLAS, TEXAS 75240
TEXAS REGISTERED ENGINEERING FIRM #208

PROJECT NO.: 20200801
DATE: OCT 2020
SCALE: AS SHOWN
DESIGNED BY: P.H.
DRAWN BY: R.C.
CHECKED BY: C.F.

SITE PLAN

KALTERRA PHASE 1
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

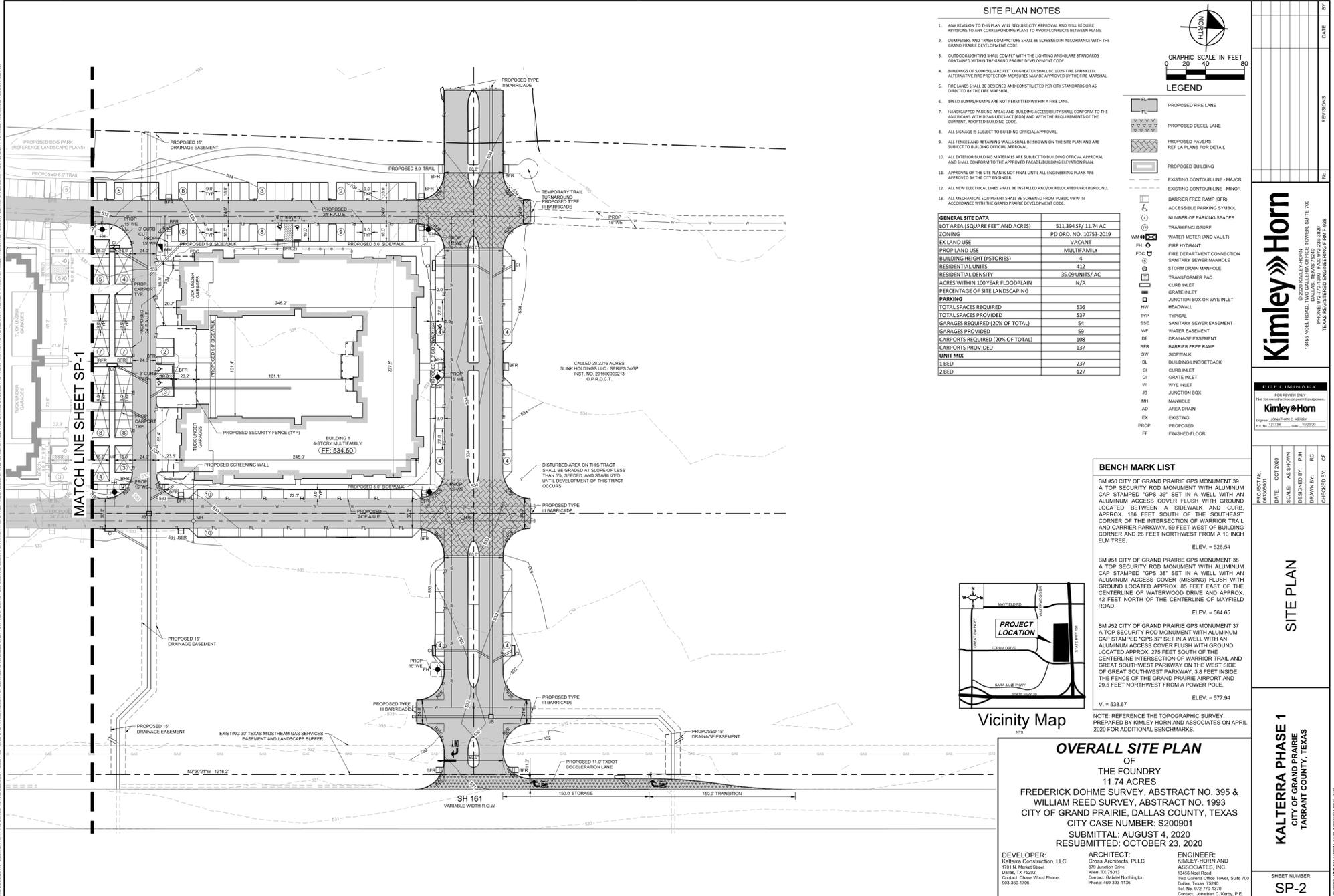
SHEET NUMBER
SP-1

DATE

REVISIONS

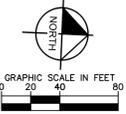
No.	DATE	DESCRIPTION
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SITE PLAN NOTES

1. ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
2. DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE GRAND PRAIRIE DEVELOPMENT CODE.
3. OUTDOOR LIGHTING SHALL COMPLY WITH THE LIGHTING AND GLARE STANDARDS CONTAINED WITHIN THE GRAND PRAIRIE DEVELOPMENT CODE.
4. BUILDINGS OF 5,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE MARSHAL.
5. FIRE LANES SHALL BE DESIGNATED AND CONSTRUCTED PER CITY STANDARDS OR AS DIRECTED BY THE FIRE MARSHAL.
6. SPEED BUMPS/HUMPS ARE NOT PERMITTED WITHIN A FIRE LANE.
7. HANDICAPPED PARKING AREAS AND BUILDING ACCESSIBILITY SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT (ADA) AND WITH THE REQUIREMENTS OF THE CURRENT, ADOPTED BUILDING CODE.
8. ALL SIGNAGE IS SUBJECT TO BUILDING OFFICIAL APPROVAL.
9. ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING OFFICIAL APPROVAL.
10. ALL EXTERIOR BUILDING MATERIALS ARE SUBJECT TO BUILDING OFFICIAL APPROVAL AND SHALL CONFORM TO THE APPROVED FACADE/BUILDING ELEVATION PLAN.
11. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED BY THE CITY ENGINEER.
12. ALL NEW ELECTRICAL LINES SHALL BE INSTALLED AND/OR RELOCATED UNDERGROUND.
13. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW IN ACCORDANCE WITH THE GRAND PRAIRIE DEVELOPMENT CODE.



LEGEND

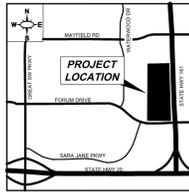
FL	PROPOSED FIRE LANE
FL	PROPOSED DECEL LANE
FL	PROPOSED PAVERS REF. PLANS FOR DETAIL
FL	PROPOSED BUILDING
---	EXISTING CONTOUR LINE - MAJOR
---	EXISTING CONTOUR LINE - MINOR
□	BARRIER FREE RAMP (BFR)
□	ACCESSIBLE PARKING SYMBOL
○	NUMBER OF PARKING SPACES
□	TRASH ENCLOSURE
WM	WATER METER (AND VAULT)
FD	FIRE HYDRANT
FD	FIRE DEPARTMENT CONNECTION
○	SANITARY SEWER MANHOLE
○	STORM DRAIN MANHOLE
□	TRANSFORMER PAD
□	CURB INLET
□	GRATE INLET
□	JUNCTION BOX OR WYE INLET
HW	TYPICAL
SSE	SANITARY SEWER EASEMENT
WE	WATER EASEMENT
DE	DRAINAGE EASEMENT
BFR	BARRIER FREE RAMP
SW	SIDEWALK
BL	BUILDING EASEMENT
CI	CURB INLET
GI	GRATE INLET
WI	WYE INLET
JB	JUNCTION BOX
MH	MANHOLE
AD	AREA DRAIN
PR	PROPOSED
EX	EXISTING
FF	FINISHED FLOOR

GENERAL SITE DATA

LOT AREA (SQUARE FEET AND ACRES)	511,394 SF / 11.74 AC
ZONING	PD ORD. NO. 10753-2019 VACANT
ISLAND USE	MULTIFAMILY
PROP LAND USE	MULTIFAMILY
BUILDING HEIGHT (STORIES)	4
RESIDENTIAL UNITS	412
RESIDENTIAL DENSITY	35.09 UNITS/AC
ACRES WITHIN 100 YEAR FLOODPLAIN	N/A
PERCENTAGE OF SITE LANDSCAPING	
PARKING	
TOTAL SPACES REQUIRED	536
GARAGES REQUIRED (20% OF TOTAL)	54
GARAGES PROVIDED	59
CARPORIS REQUIRED (20% OF TOTAL)	138
CARPORIS PROVIDED	137
UNIT MIX	
1 BED	237
2 BED	127

BENCH MARK LIST

- BM #50 CITY OF GRAND PRAIRIE GPS MONUMENT 39 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 39" SET IN A WELL WITH AN ALUMINUM ACCESS COVER FLUSH WITH GROUND LOCATED BETWEEN A SIDEWALK AND CURB, APPROX. 188 FEET SOUTH OF THE SOUTHEAST CORNER OF THE INTERSECTION OF WARRIOR TRAIL AND CARRIER PARKWAY, 59 FEET WEST OF BUILDING CORNER AND 26 FEET NORTHWEST FROM A 10 INCH ELM TREE. ELEV = 526.54
- BM #51 CITY OF GRAND PRAIRIE GPS MONUMENT 38 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 38" SET IN A WELL WITH AN ALUMINUM ACCESS COVER (MISSING) FLUSH WITH GROUND LOCATED APPROX. 85 FEET EAST OF THE CENTERLINE OF WATERWOOD DRIVE AND APPROX. 42 FEET NORTH OF THE CENTERLINE OF MAYFIELD ROAD. ELEV = 564.65
- BM #52 CITY OF GRAND PRAIRIE GPS MONUMENT 37 A TOP SECURITY ROD MONUMENT WITH ALUMINUM CAP STAMPED "GPS 37" SET IN A WELL WITH AN ALUMINUM ACCESS COVER FLUSH WITH GROUND LOCATED APPROX. 275 FEET SOUTH OF THE CENTERLINE INTERSECTION OF WARRIOR TRAIL AND GREAT SOUTHWEST PARKWAY ON THE WEST SIDE OF GREAT SOUTHWEST PARKWAY, 3.8 FEET INSIDE THE FENCE OF THE GRAND PRAIRIE AIRPORT AND 29.5 FEET NORTHWEST FROM A POWER POLE. ELEV = 577.94



Vicinity Map

NOTE: REFERENCE THE TOPOGRAPHIC SURVEY PREPARED BY KIMLEY HORN AND ASSOCIATES ON APRIL 2020 FOR ADDITIONAL BENCHMARKS.

OVERALL SITE PLAN

OF THE FORNDRY
11.74 ACRES
FREDERICK DOHME SURVEY, ABSTRACT NO. 395 & WILLIAM REED SURVEY, ABSTRACT NO. 1993
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS
CITY CASE NUMBER: S200901
SUBMITTAL: AUGUST 4, 2020
RESUBMITTED: OCTOBER 23, 2020

DEVELOPER: Kalterra Construction, LLC 17011 N. Market Street Dallas, TX 75228 Contact: Chase Wood Phone: 953-885-1706	ARCHITECT: Kimley-Horn and Associates, PLLC 878 Junction Drive 12825 North Loop Dallas, Texas 75246 Contact: Gabriel Northington Phone: 469-393-1138	ENGINEER: Kimley-Horn and Associates, Inc. 12825 North Loop The Galleria Office Tower, Suite 700 Dallas, Texas 75246 Tel No. 972-770-1370 Contact: Jonathan C. Kirby, P.E.
--	---	---

NO.	REVISIONS	DATE

Kimley»Horn
13400 KOLE ROAD, TYVO DALLAS OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75246
PHONE: 972-770-1300 FAX: 972-238-3800
HEAD OFFICE: 12825 NORTH LOOP, SUITE 700, DALLAS, TEXAS 75246
PHONE: 972-770-1300 FAX: 972-238-3800

Kimley»Horn
12825 NORTH LOOP, SUITE 700, DALLAS, TEXAS 75246
PHONE: 972-770-1300 FAX: 972-238-3800

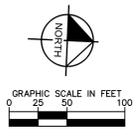
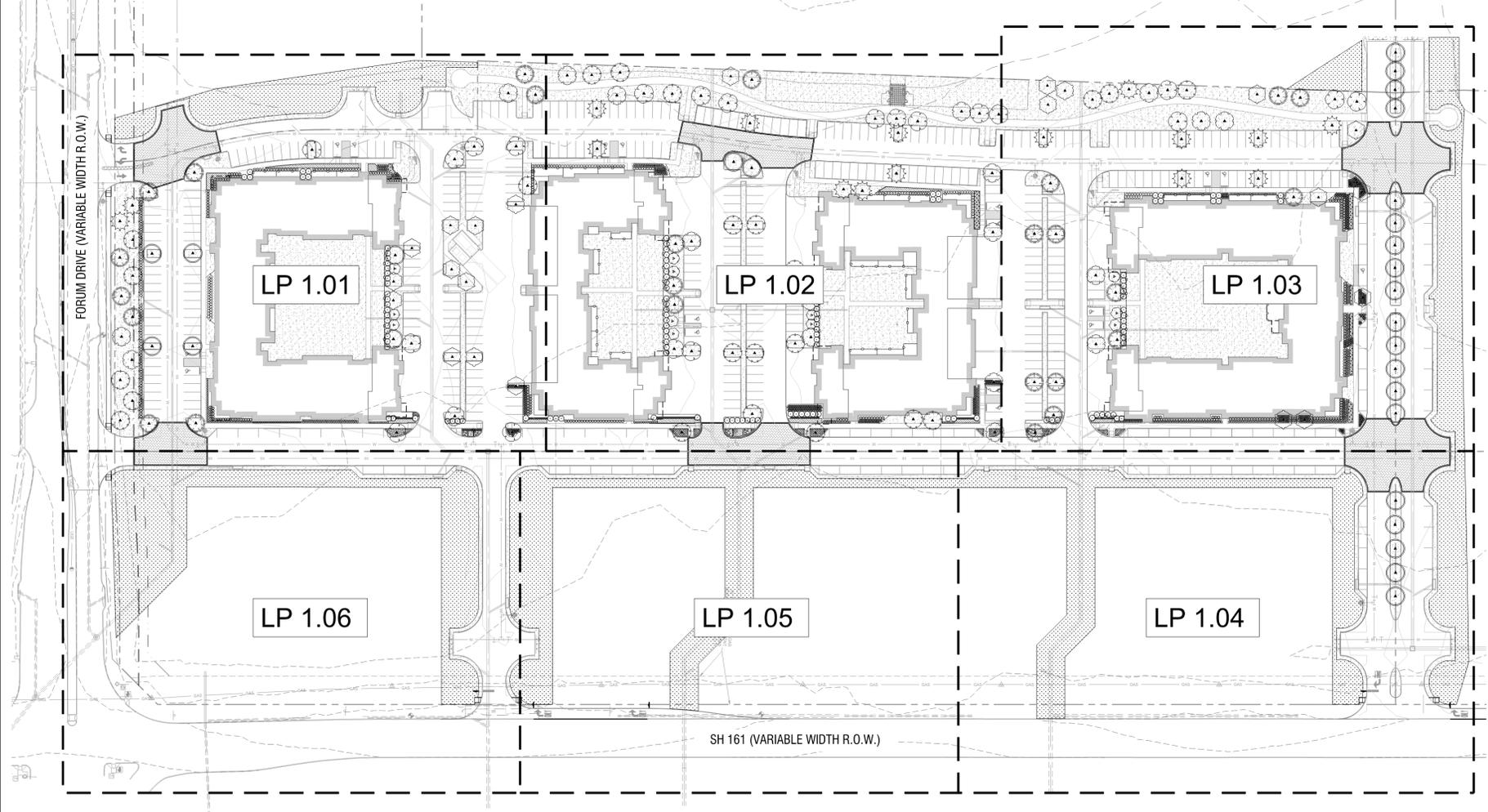
SITE PLAN

PROJECT NO.	081300001
DATE	OCT 2020
SCALE	AS SHOWN
DESIGNED BY	PJM
DRAWN BY	RCH
CHECKED BY	CF

KALTERRA PHASE 1
CITY OF GRAND PRAIRIE
TARRANT COUNTY, TEXAS

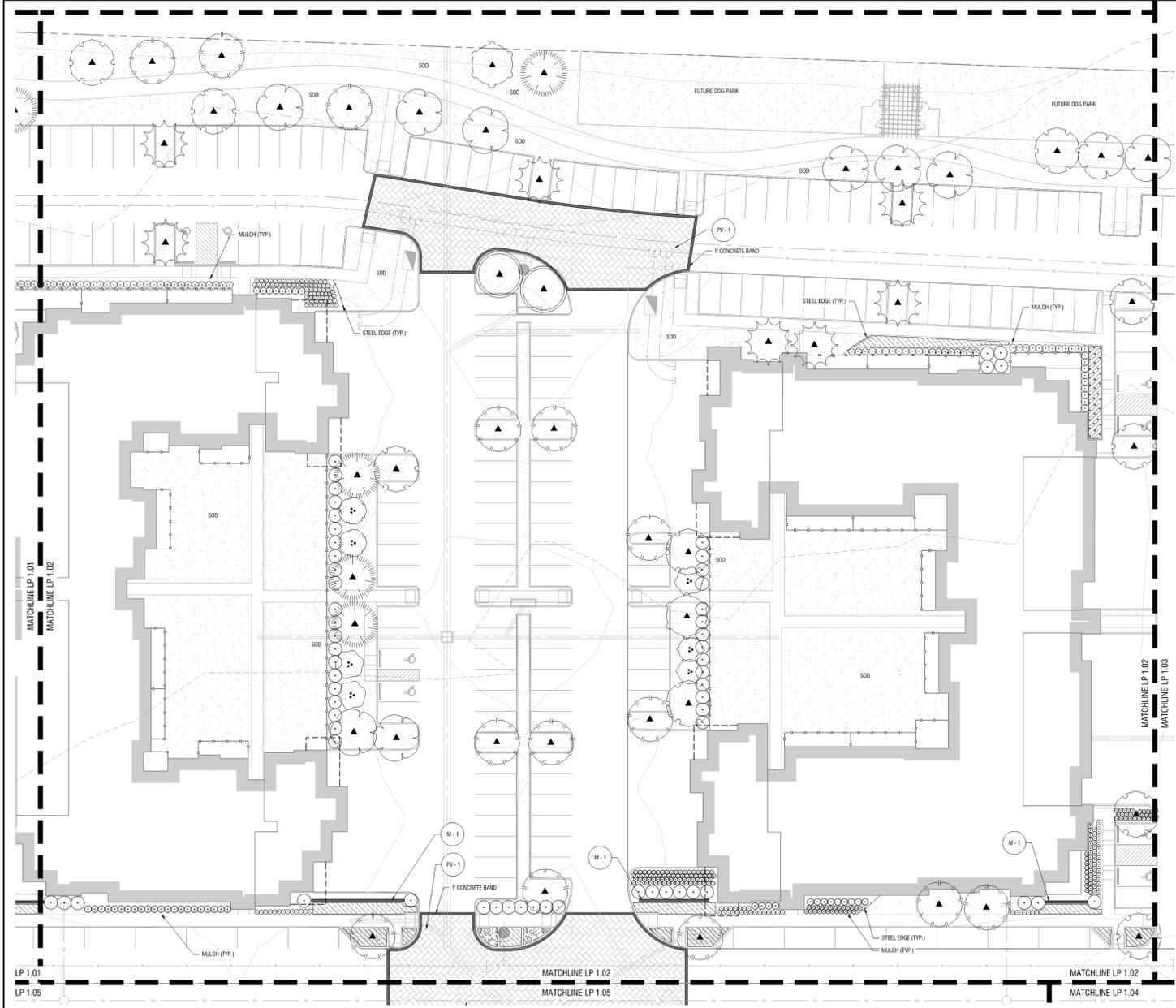
SHEET NUMBER
SP-2

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SEE PLAN SHEET 01-100001 FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT AUTHORIZATION AND ASSUMPTION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
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 PROJECT NO. 01-100001
 DATE: SEPT 2020
 SCALE: AS SHOWN
 DESIGNED BY: M.S.
 DRAWN BY: M.S.
 CHECKED BY: A.S.P.

KALTERRA CITY OF GRAND PRAIRIE TARRANT COUNTY, TEXAS	OVERALL SITE PLAN	Kimley»Horn 1345 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 100 FORT WORTH, TEXAS 76104 PHONE 817.370.1300 FAX 817.370.3820 TEXAS REGISTERED ENGINEERING FIRM #268
SHEET NUMBER LC 1.02	PROJECT NO. 01-100001	DATE: SEPT 2020
SCALE: AS SHOWN	DESIGNED BY: M.S.	DRAWN BY: M.S.
CHECKED BY: A.S.P.	PREPARED BY: M.S.	DATE: 09/20/20

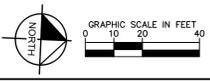


PLANT SCHEDULE

TREES		
CODE	QTY	COMMON NAME
AC	23	Caddo Sugar Maple
PC	23	Chinese Pistache
GB	25	Shumard Red Oak
OV	18	Southern Live Oak
TD	16	Bald Cypress
UC	22	Cedar Elm
UP	27	Lacark Elm
ORNAMENTAL TREE		
CODE	QTY	COMMON NAME
CH	4	Desert Willow
IM	3	Yapoon Holly
VC	6	Chaeta Tree
SHRUBS		
CODE	QTY	COMMON NAME
ADC	90	Compact Abelia
LCIS	132	Compact Texas Sage
LFF	89	Purple Diamond Fringe Flower
ML	126	Dwarf Southern Magnolia
MFR	286	Dwarf Wax Myrtle
RHA	193	Indian Hawthorn
SG	397	Cherry Sage
GRASSES		
CODE	QTY	COMMON NAME
MLH	479	Pink Muhly
SHRUB AREAS		
CODE	QTY	COMMON NAME
NP	458	Mexican Feathergrass
GROUND COVERS		
CODE	QTY	COMMON NAME
AE	538	Seasonal Color
CDS	804	Berkley Sedge
SS2	273	Pink Skullcap
VER	155	Verbena
MISC		
CODE	QTY	COMMON NAME
SOD	TBD	Common Bermuda
SEED	TBD	Common Bermuda
MULCH	TBD	Shredded Hardwood Mulch
STEEL EDGE	TBD	Steel Edging

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



NO.	REVISIONS	DATE	BY

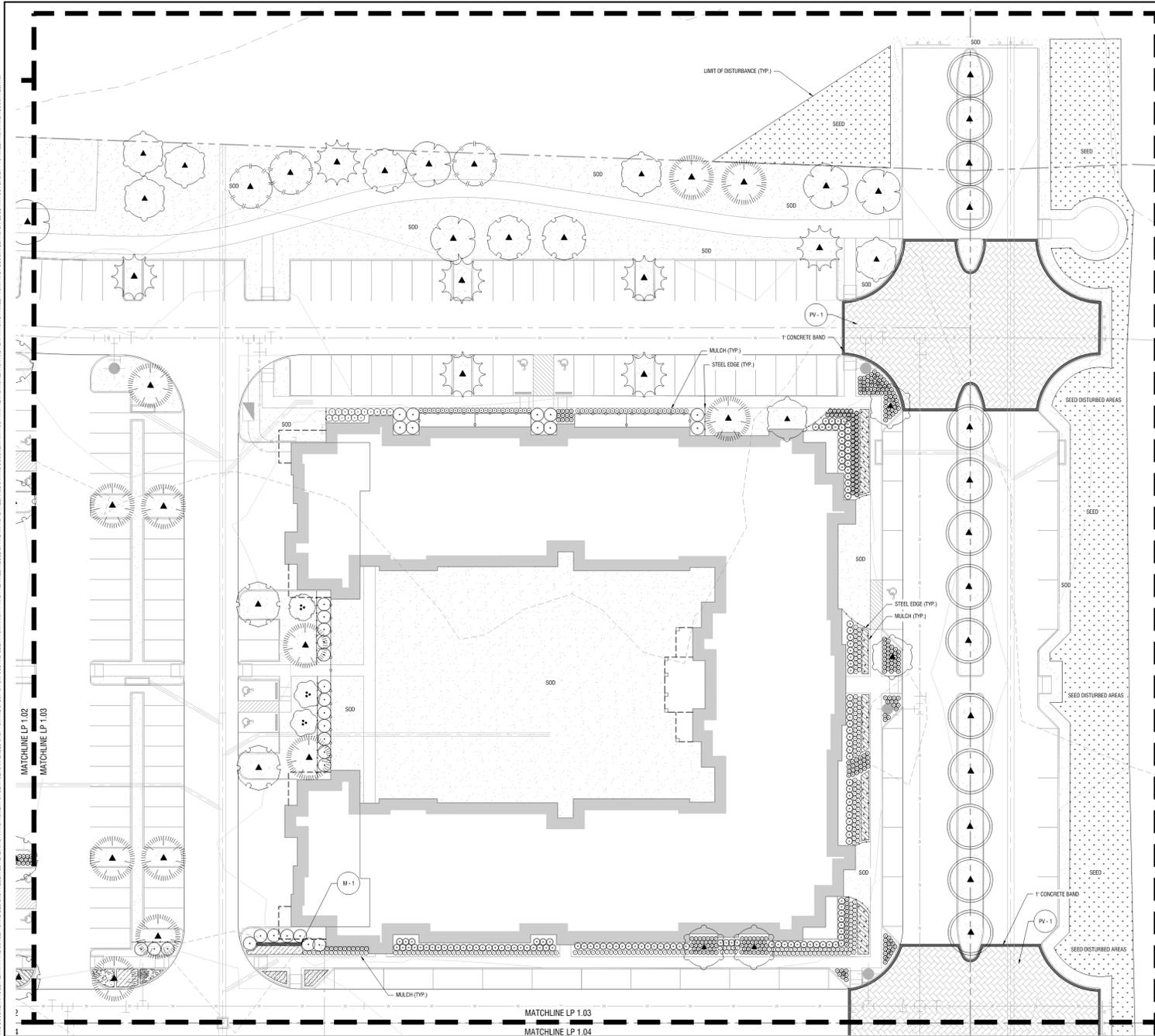
Kimley»Horn
 CONSULTING ENGINEERS
 13445 NOEL ROAD, TWO WALLERIA OFFICE TOWER, SUITE 700
 WALLERIA, TEXAS 76786
 PHONE: 817.271.3300 FAX: 817.273.3200
 TEXAS REGISTERED ENGINEERING FIRM # 608

PROJECT No. 2019-000000000000
 DATE: SEPT 2020
 SCALE: AS SHOWN
 DESIGNED BY: MLC
 DRAWN BY: MLC
 CHECKED BY: MLC

LANDSCAPE PLAN

KALTERRA
 CITY OF GRAND PRAIRIE
 TARRANT COUNTY, TEXAS

SHEET NUMBER
LP 1.02

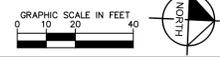


PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME
	AC	23	Caddo Sugar Maple
	PC	23	Chinese Pistache
	QS	25	Shumard Red Oak
	QV	18	Southern Live Oak
	TD	16	Bald Cypress
	UC	22	Cedar Elm
	UP	27	Lacinate Elm
ORNAMENTAL TREE	CODE	QTY	COMMON NAME
	CH	4	Desert Willow
	IM	3	Yaupon Holly
	VC	6	Chaste Tree
SHRUBS	CODE	QTY	COMMON NAME
	AOC	90	Compact Abelia
	LCS	132	Compact Texas Sage
	LPF	89	Purple Diamond Fringe Flower
	ML	128	Dwarf Southern Magnolia
	MVR	286	Dwarf Wax Myrtle
	RHA	153	Indian Hawthorn
	SG	397	Cherry Sage
GRASSES	CODE	QTY	COMMON NAME
	MUH	479	Pink Muhly
SHRUB AREAS	CODE	COMMON NAME	
	NP	458 Mexican Feathergrass	
GRASSLAND COVERS	CODE	QTY	COMMON NAME
	AE	538	Seasonal Color
	CDS	804	Berkeley Sedge
	SSZ	273	Pink Skullcap
	VER	155	Verbena
MISC	CODE	QTY	COMMON NAME
	SOD	TBD	Common Bermuda
	SEED	TBD	Common Bermuda
	MULCH	TBD	Shredded Hardwood Mulch
	STEEL EDGE	TBD	Steel Edging

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

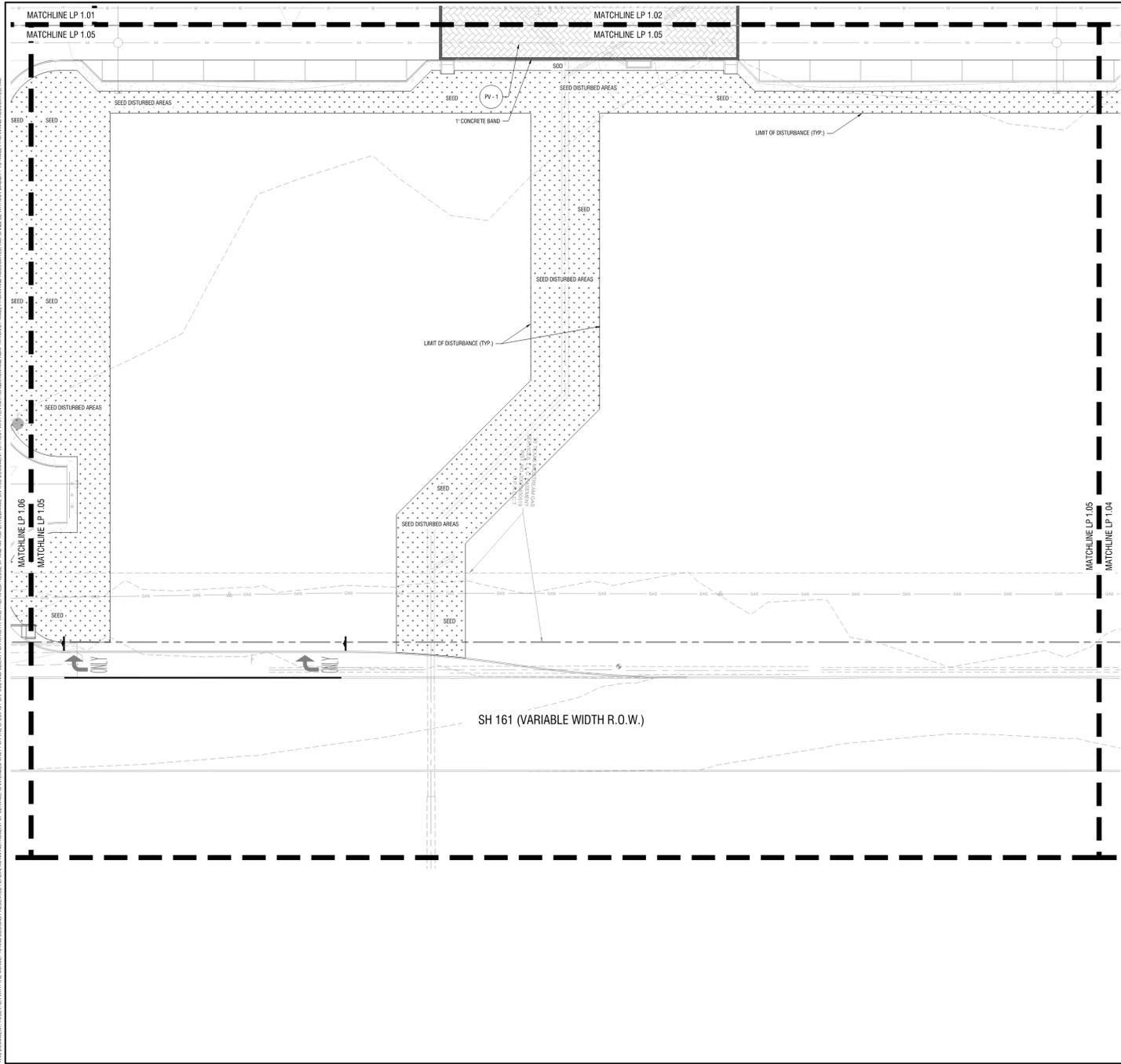
NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



		PROJECT No. _____ DATE: SEPT. 2020 SCALE: AS SHOWN DESIGNED BY: TMS DRAWN BY: MLS CHECKED BY: KLP
LANDSCAPE PLAN		SHEET NUMBER LP 1.03
KALTERRA CITY OF GRAND PRAIRIE TARRANT COUNTY, TEXAS		REVISIONS No. _____ DATE _____ BY _____

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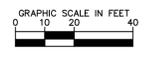


PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME
	AC	23	Caddo Sugar Maple
	PC	23	Chinese Pistache
	QS	25	Shumard Red Oak
	OV	18	Southern Live Oak
	TD	16	Bald Cypress
	UC	22	Cedar Elm
	UP	27	Lacebark Elm
ORNAMENTAL TREE	CODE	QTY	COMMON NAME
	CH	4	Desert Willow
	IM	3	Yaupon Holly
	VC	6	Chaste Tree
SHRUBS	CODE	QTY	COMMON NAME
	ADC	90	Compact Abelia
	LCS	132	Compact Texas Sage
	LPF	89	Purple Diamond Fringe Flower
	ML	126	Dwarf Southern Magnolia
	MYR	286	Dwarf Wax Myrtle
	PRA	193	Indian Hawthorn
	SG	397	Cherry Sage
GRASSES	CODE	QTY	COMMON NAME
	MSH	479	Pink Muhly
SHRUB AREAS	CODE	QTY	COMMON NAME
	NP	458	Mexican Feathergrass
GROUND COVERS	CODE	QTY	COMMON NAME
	AE	538	Seasonal Color
	CDS	804	Berkley Sedge
	SSR	273	Pink Skutumpah
	VER	155	Verbena
MISC	CODE	QTY	COMMON NAME
	SOD	TBD	Common Bermuda
	SEED	TBD	Common Bermuda
	MULCH	TBD	Shredded Hardwood Mulch
	STEEL EDGE	TBD	Steel Edging

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

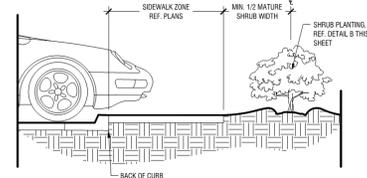
NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



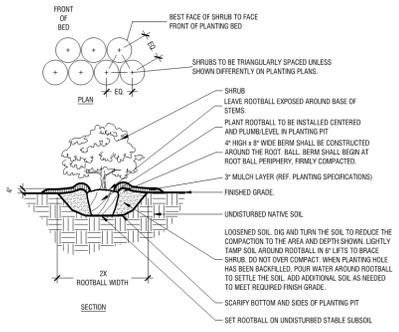
<p>© 2020 KIMLEY-HORN 15455 NICHEL ROAD, TWO GALLENS OFFICE TOWER, SUITE 700 PHOENIX, AZ 85024-3000 FAX: 972-278-3829 TEXAS REGIST. ENGINEERING FIRM # 252</p>	<p>KALTERRA CITY OF GRAND PRAIRIE TARRANT COUNTY, TEXAS</p>
<p>PROJECT No. 06190001 DATE: SEPT 2020 SCALE: AS SHOWN DESIGNED BY: MLS DRAWN BY: MLS CHECKED BY: MRP</p>	<p>LANDSCAPE PLAN</p>
<p>PROJECT No. 06190001 DATE: SEPT 2020 SCALE: AS SHOWN DESIGNED BY: MLS DRAWN BY: MLS CHECKED BY: MRP</p>	<p>SHEET NUMBER LP 1.05</p>

SHEET NUMBER: 06190001-05
 DATE: 09/15/2020
 PROJECT: 06190001
 DRAWN BY: MLS
 CHECKED BY: MRP
 DESIGNER: MLS
 SCALE: AS SHOWN
 DATE: SEPT 2020
 PROJECT: 06190001
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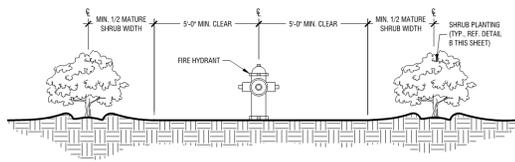
- NOTES:**
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING LAYOUT.
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEGS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



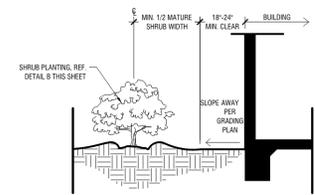
Shrub Planting at Sidewalk F
Scale: NTS



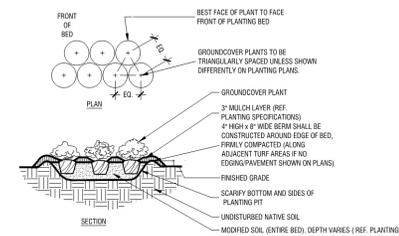
Typical Shrub Planting B
Scale: NTS



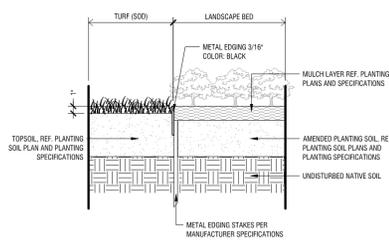
Shrub Planting at Fire Hydrant E
Scale: NTS



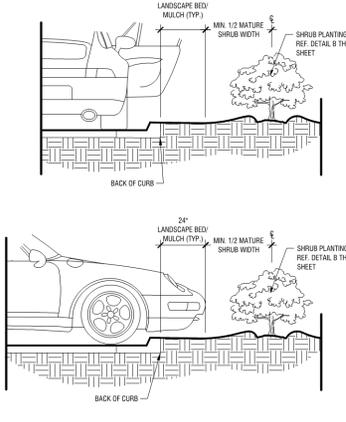
Shrub Planting at Building Edge D
Scale: NTS



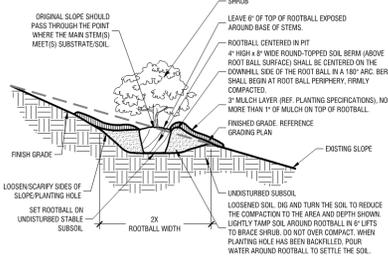
Typical Groundcover Planting A
Scale: NTS



METAL EDGING (AT TURF & LANDSCAPE BED) H
Scale: 1 1/2\"/>



Shrub Planting at Curb G
Scale: NTS



Shrub Planting On 5-50% (20:1 TO 2:1) Slope C
Scale: NTS

PROJECT No. 00130001		DATE: 08/13/2020		SCALE: AS SHOWN		DESIGNED BY: MLS		DRAWN BY: MLS		CHECKED BY: RJP	
LANDSCAPE DETAILS											
KAL TERRA CITY OF GRAND PRAIRIE TARRANT COUNTY, TEXAS											
SHEET NUMBER LP 3.02											

Kimley»Horn

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TELEPHONE: 972.382.2200
WWW.KIMLEY-HORN.COM

Kimley»Horn

FOR REVIEW ONLY
KIMLEY-HORN AND ASSOCIATES, INC.
15405 HOTEL ROAD, DALLAS, TEXAS 75244
TEL: 972.382.2200 FAX: 972.382.2201

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03 BUILDING '1' INSIDE WEST ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING '1' INSIDE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '1' INSIDE EAST ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING 1

LOC APPLICABILITY: BUILDING 1
TOTAL FACADE AREA: 46,168 S.F.
TOTAL FACADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS: 15,638 S.F.
PROPOSED BUILDING HEIGHT: 31' 6 1/2'

BRICK MATERIALS	NORTH		EAST		WEST		SOUTHWEST		SOUTHWEST		INSIDE EAST		INSIDE WEST		INSIDE SOUTH		TOTALS
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	
BRICK	41,020	88.9%	3,847	8.3%	3,847	8.3%	3,847	8.3%	3,847	8.3%	3,847	8.3%	3,847	8.3%	3,847	8.3%	23,724
STUCCO	1,784	3.9%	4,330	9.4%	4,330	9.4%	4,330	9.4%	4,330	9.4%	4,330	9.4%	4,330	9.4%	4,330	9.4%	20,050
FIBER CEMENT SIDING	549	1.2%	488	1.1%	488	1.1%	488	1.1%	488	1.1%	488	1.1%	488	1.1%	488	1.1%	1,017
TOTALS	46,353	100%	4,765	10.3%	4,765	10.3%	4,765	10.3%	4,765	10.3%	4,765	10.3%	4,765	10.3%	4,765	10.3%	24,791

BRICK SELECTION	NORTH		EAST		WEST		SOUTHWEST		SOUTHWEST		INSIDE EAST		INSIDE WEST		INSIDE SOUTH		
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	
OFF-WHITE	340	7.3%	0	0%	0	0%	0	0%	0	0%	0	0%	0	0%	0	0%	340
DARK GRAY	83	1.8%	470	10.0%	470	10.0%	470	10.0%	470	10.0%	470	10.0%	470	10.0%	470	10.0%	1,883
GRAY	1,238	26.8%	747	15.7%	747	15.7%	747	15.7%	747	15.7%	747	15.7%	747	15.7%	747	15.7%	3,206
RED	2,010	44.1%	2,010	42.3%	2,010	42.3%	2,010	42.3%	2,010	42.3%	2,010	42.3%	2,010	42.3%	2,010	42.3%	8,030
TOTALS	4,171	90%	2,227	47.0%	2,227	47.0%	2,227	47.0%	2,227	47.0%	2,227	47.0%	2,227	47.0%	2,227	47.0%	10,606



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GRAND PRAIRIE, TEXAS

DATE: 09/09/2020
PROJECT NUMBER: 20053
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SHEET NUMBER
A03
BLDG. '1' EXTERIOR ELEVATIONS
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CASE NUMBER
S200901

BUILDING 2		BUILDING 2									
S.D.C. APPLICABILITY:		S2007 S.F.									
TOTAL FACADE AREAS:		12000.00 S.F.									
PROPOSED BUILDING HEIGHT: 37'-2 1/2"											
BRICK MATERIALS		NORTH	EAST	WEST	SOUTHEAST	SOUTHWEST	INSIDE EAST	INSIDE WEST	INSIDE SOUTH	TOTALS	
		S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%
BRICK		3366.00	28.05%	2511.00	20.92%	1702.00	14.18%	2965.00	24.62%	12644.00	105.77%
STUCCO		2772.00	23.10%	2229.00	18.57%	2717.00	22.64%	885.00	7.37%	8603.00	71.68%
FIBER CEMENT STONE		444.00	3.70%	288.00	2.40%	337.00	2.81%	93.00	0.77%	1362.00	11.35%
TOTAL		6082.00	50.85%	4628.00	38.89%	3356.00	27.93%	3743.00	31.18%	12000.00	100.00%

BRICK SELECTION		NORTH		EAST		WEST		SOUTHEAST		SOUTHWEST		INSIDE EAST		INSIDE WEST		INSIDE SOUTH	
		S.F.	%	S.F.	%												
OFF WHITE		1300	11.67%	600	5.45%	500	4.57%	1000	9.10%	500	4.57%	500	4.57%	2500	22.73%	1300	11.67%
DARK GRAY		800	7.27%	525	4.78%	500	4.57%	440	4.00%	260	2.36%	800	7.27%	320	2.91%	1375	12.27%
GRAY		700	6.36%	400	3.67%	700	6.36%	1200	10.91%	1200	10.91%	1400	12.73%	1400	12.73%	1100	9.91%
RED		1144	10.42%	2511	22.92%	3533	32.14%	440	4.00%	0	0.00%	2700	24.55%	0	0.00%	0	0.00%
TOTAL		3844	35.11%	3536	32.14%	4733	43.43%	3040	27.93%	2760	25.55%	3700	34.18%	3700	34.18%	1100	10.00%



02 BUILDING '2' EAST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '2' NORTH ELEVATION
SCALE: 1/8" = 1'-0"



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**THE FOUNDRY
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DATE: 09/09/2020

PROJECT NUMBER: 20053

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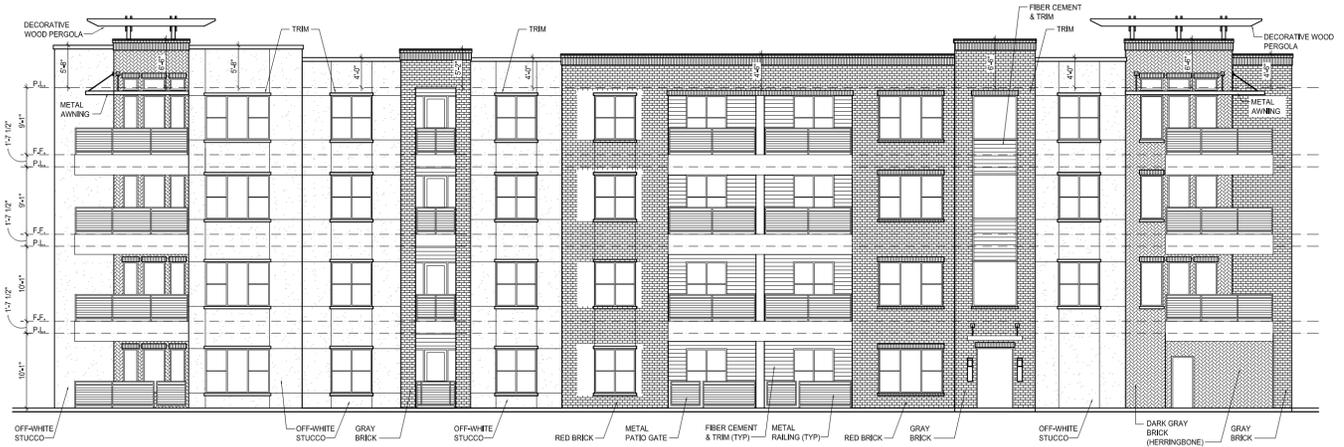
A04
BLDG. '2'
EXTERIOR ELEVATIONS

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CASE NUMBER
S200501

BUILDING 2													
S.C. APPLICATION: BUILDING 2												10000.00 S.F.	
TOTAL FACADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS:													
PROPOSED BUILDING HEIGHT: 50' 2 1/2"													
BASIC MATERIALS	NORTH			EAST			WEST			SOUTHWEST			TOTALS
	S.F.	%											
BRICK	3360.00	34.8%	3511.00	36.4%	3390.00	35.2%	3660.00	38.2%	3660.00	38.2%	3660.00	38.2%	14681.00
STUCCO	2272.00	23.7%	2229.00	23.2%	2712.00	28.5%	881.00	9.2%	881.00	9.2%	881.00	9.2%	8775.00
FIBER CEMENT (TYP)	444.00	4.6%	340.00	3.5%	333.00	3.5%	4.00	0.0%	4.00	0.0%	4.00	0.0%	1121.00
TOTAL	6076.00	63.1%	6180.00	64.1%	6435.00	67.2%	4545.00	47.4%	4545.00	47.4%	4545.00	47.4%	24006.00

BUILDING 2													
BRICK SELECTION												1195.00	
BRICK SELECTION	NORTH			EAST			WEST			SOUTHWEST			TOTALS
	S.F.	%											
OFF-WHITE	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00
DARK GRAY	895.00	75.1%	575.00	47.9%	566.00	47.0%	440.00	36.8%	440.00	36.8%	440.00	36.8%	1760.00
GRAY	766.00	64.3%	893.00	73.9%	761.00	63.8%	1200.00	100.0%	1200.00	100.0%	1200.00	100.0%	3660.00
RED	2145.00	180.2%	2215.00	184.9%	2203.00	184.7%	0.00	0.0%	0.00	0.0%	0.00	0.0%	6563.00
TOTAL	3906.00	325.5%	3683.00	302.7%	3570.00	296.5%	1640.00	136.8%	1640.00	136.8%	1640.00	136.8%	6563.00



03 BUILDING '2' WEST ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING '2' SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '2' SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



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THE FOUNDRY
GRAND PRAIRIE, TEXAS

DATE: 09/09/2020

PROJECT NUMBER: 20053

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SHEET NUMBER

A05
BLDG. '2' EXTERIOR ELEVATIONS

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Exhibit D - Building Elevations
Page 6 of 12

BUILDING 2

SOC APPLICABILITY: BUILDING 2
TOTAL FACER AREA: 52,037 S.F.
TOTAL FACER AREA EXCLUDING OPENINGS, WINDOWS AND DOORS: 13,000.0 S.F.
PROPOSED BUILDING HEIGHT: 50'-2 1/2"

BLDG MATERIALS	NORTH		EAST		WEST		SOUTHWEST		SOUTHEAST		INSIDE EAST		INSIDE WEST		INSIDE SOUTH		TOTALS	
	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%		
BRICK	3394.00	64.7%	2511.00	50.4%	2392.00	45.2%	3560.00	68.2%	3660.00	69.2%	3886.00	73.2%	1731.00	33.8%	1196.00	23.2%	3653.00	70.0%
STUCCO	2221.00	42.7%	2221.00	44.1%	2221.00	42.2%	185.00	3.6%	889.00	17.1%	1462.00	28.1%	2001.00	38.5%	1721.00	33.2%	4250.00	81.0%
FIBER CEMENT SIDING	64.00	1.2%	240.00	4.6%	337.00	6.3%	0.00	0.0%	0.00	0.0%	306.00	5.7%	288.00	5.5%	575.00	10.9%	684.00	13.0%
TOTALS	52037.00		4980.00		5400.00		3400.00		4549.00		4454.00		3978.00		3592.00		13000.00	

BRICK SELECTION	NORTH		EAST		WEST		SOUTHWEST		SOUTHWEST		INSIDE EAST		INSIDE WEST		INSIDE SOUTH	
	S.F.	%														
OFF-WHITE	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	14.94	0.4%	0.00	0.0%
DARK GRAY	394.00	7.6%	520.00	10.4%	330.00	6.1%	440.00	8.1%	440.00	8.1%	800.00	15.6%	1070.00	20.1%	0.00	0.0%
GRAY	749.00	14.4%	800.00	16.1%	310.00	5.7%	1010.00	18.9%	390.00	7.3%	1140.00	22.5%	1370.00	26.4%	1370.00	26.4%
RED	2144.00	41.2%	2511.00	50.4%	2092.00	39.9%	2160.00	40.3%	2160.00	40.3%	1266.00	24.5%	1000.00	19.1%	1000.00	19.1%
TOTALS	3000.00		3631.00		2632.00		3610.00									



03 BUILDING '2' INSIDE WEST ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING '2' INSIDE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '2' INSIDE EAST ELEVATION
SCALE: 1/8" = 1'-0"

09/09/2020

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DATE: 09/09/2020
PROJECT NUMBER: 20053
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SHEET NUMBER: **A06**
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BUILDING 3																
DOC APPLICABILITY:		BUILDING 3														
TOTAL FACADE AREA:		4781 S.F.														
TOTAL FACADE AREAS EXCLUDING OPENINGS, WINDOWS AND DOORS:		31225.96 S.F.														
PROPOSED BUILDING HEIGHT:		39' 2 1/2"														
BUILDING MATERIALS	SOUTH	EAST	WEST	NORTHEAST	NORTHWEST	INSIDE EAST	INSIDE WEST	INSIDE NORTH	TOTALS							
BRICK	4135.00	54.50%	2073.00	45.91%	2050.00	46.17%	945.00	44.60%	945.00	50.74%	1386.00	48.26%	2407.00	50.40%	2445.00	49.46%
STUCCO	1854.00	37.08%	2254.00	48.81%	2100.00	46.86%	1775.00	37.60%	1175.00	25.00%	4640.00	48.76%	1750.00	37.04%	1500.00	31.06%
FIBER CEMENT SIDING	804.00	8.76%	273.00	5.81%	220.00	4.81%	0.00	0.00%	0.00	0.00%	92.00	3.76%	302.00	6.32%	462.00	9.66%
TOTALS	7934.00	100%	4500.00	100%	4466.00	100%	1220.00	100%	1220.00	100%	962.00	100%	974.00	100%	4914.00	100%

BRICK SELECTION	SOUTH	EAST	WEST	NORTHEAST	NORTHWEST	INSIDE EAST	INSIDE WEST	INSIDE NORTH	TOTALS	
S.F.	%	S.F.	%	S.F.	%	S.F.	%	S.F.	%	
OFF-WHITE	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%	0.00	0.0%
DARK GRAY	306.00	32.0%	230.00	52.7%	184.00	42.2%	0.00	0.0%	0.00	0.0%
GRAY	744.00	77.1%	599.00	134.7%	547.00	124.7%	450.00	47.4%	303.00	31.2%
RED	1244.00	64.9%	1138.00	254.7%	1134.00	254.7%	0.00	0.0%	0.00	0.0%
TOTALS	1304.00	100%	2073.00	100%	2050.00	100%	945.00	100%	945.00	100%



03 BUILDING '3' EAST ELEVATION
SCALE: 1/8" = 1'-0"



02 BUILDING '3' NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



01 BUILDING '3' NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



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**THE FOUNDRY
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DATE: 09/09/2020

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A07

BLDG. '3'
EXTERIOR
ELEVATIONS

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S200901

Category 1: Environmentally-friendly building materials, construction techniques, or other features**Tier I (Pick Three)**

- i. "Smart" technology which automatically controls functions such as lights and thermostat to reduce energy loads during the day or at times of peak energy usage.
- ii. Use of solar or other form of alternative energy to satisfy approximately 25% or more of on-site energy demand.
- iii. Landscaping plan that makes use of native, drought resistant plantings not requiring the use of irrigation. In lieu of sod or turf, drought resistant plantings may be combined with coordinated hardscapes of high design quality and appearance for the purposes of meeting Tier I requirements.
- iv. Reservation of existing natural areas comprising 5% or more of the overall project size, with such areas incorporating quality non-invasive tree stands, habitat or riparian areas, and not including existing floodplain or other areas already protected or inherently unsuitable for development.
- v. Permeable pavement for 10% or more of total paving.
- vi. Electric car charging station (minimum 2).
- vii. High efficiency windows on residential and common buildings.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 100% of irrigation in accordance with section 8.4.1.11.

Tier II (Pick Four)

- i. Integration of commercial/retail/office space or live-work units.
- ii. Permeable pavement for 5% or more of total paving.
- iii. Roofing material with a minimum total solar reflectance of 0.70 and a minimum thermal emittance of 0.75 when measured using ASTM testing methods endorsed by the North Central Texas Council of Governments.
- iv. Significant use of recycled or locally-sourced materials. Locally-sourced is defined as a material having its origin within 50 miles of the project.
- v. Preservation of existing non-invasive trees with a combined canopy square footage area totaling at least 5% of the overall project size (trees can come from any portion of the site other than areas which are already projected or inherently unsuitable for development, such as floodplain).
- vi. Qualified recycling program available to every resident.
- vii. Walking/jogging trails within the development. Where possible, trails should utilize existing natural areas and provide linkages to existing or future area trail networks.
- viii. Stormwater or grey water reclamation for on-site reuse equivalent to a minimum 50% of irrigation in accordance with section 8.4.1.11.

Tier III (Pick Five)

- i. Additional insulation.
- ii. LED or low-wattage lighting.
- iii. Bicycle parking.
- iv. Use of additional native plantings totaling 10% or more of minimum landscape requirements.
- v. Stormwater or grey water reclamation for on-site reuse in accordance with section 8.4.1.11.
- vi. Solar-ready building design.
- vii. Outdoor recreation spaces with communal features such as furniture, landscaping, gardens, televisions, movie screens, BBQ grills, pergolas, areas for fitness or sports activities, and interactive water features, not including standard unheated swimming pools, which are designed for water conservation or reuse.
- viii. Big and small dog parks.

Category 2: High-quality features or designs**Tier I (Pick Four)**

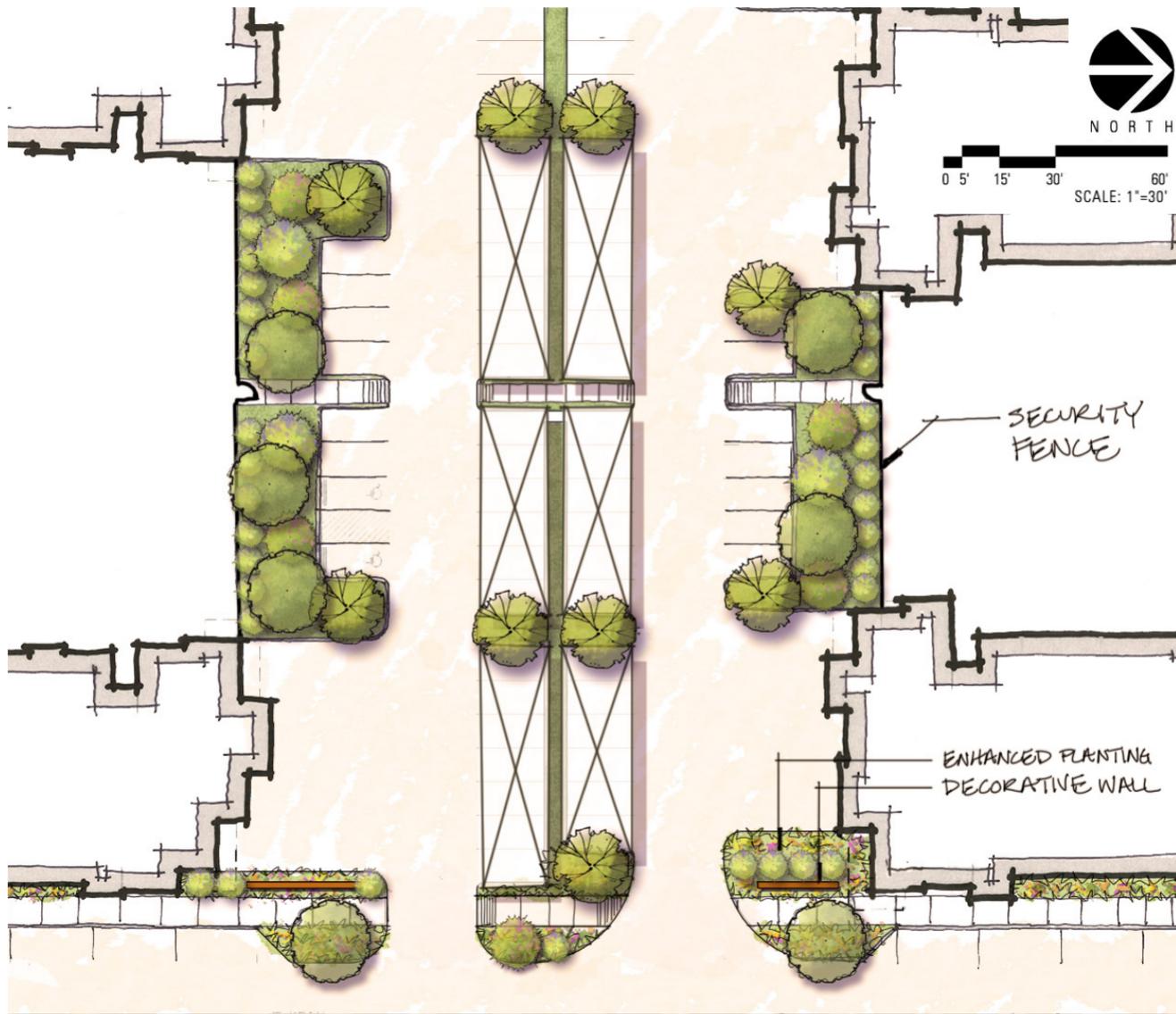
- i. Granite countertops or similar in kitchens and bathrooms.
- ii. Upgraded flooring throughout, consisting of masonry tile, such as porcelain or travertine, wood-look tile, true hardwood, stained concrete, or deep pile carpeting.
- iii. Minimum 10 foot ceilings in living areas, kitchen, dining rooms, hallways, bathrooms and bedrooms.
- iv. Upgraded woodwork throughout each unit, such as crown molding, wainscot, chair rails, window and door moldings.
- v. Upgraded cabinetry.

Tier II (Pick Five)

- i. Arched forms separating rooms and living spaces.
- ii. Upgraded light fixtures including recessed lighting or indirect lighting.
- iii. Walk-in closets.
- iv. Jetted bathtubs.
- v. Upgraded bathroom and kitchen hardware, including faucets and sinks.
- vi. Full-size stainless steel major appliances (oven, range, refrigerator, dishwasher, microwave oven).
- vii. 8 foot doors leading to each room of a unit.

Category 3: Technology (Provide All)

- a. Integrated USB ports within all units.
- b. App-enabled functionality for door locks, lighting, thermostat, appliances, or other electronics.
- c. App-enabled communication between residents and management for the reporting of problems related to mechanical failures, safety concerns, or noise issues.
- d. Wi-fi internet access provided to users of common amenities such as clubhouse, pool, walking trails, and fitness area.



THE FOUNDRY

GRAND PRAIRIE SITE CONCEPT: ENHANCEMENT

THIS GRAPHIC IS CONCEPTUAL. THE INFORMATION SHOWN IS BASED ON THE BEST INFORMATION AVAILABLE AND IS SUBJECT TO CHANGE.



Legislation Details (With Text)

File #: 20-10565 **Version:** 1 **Name:** S200603 - Hunter Ferrell Logistics Park
Type: Agenda Item **Status:** Items for Individual Consideration
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: S200603 - Site Plan - Hunter Ferrell Logistics Park (City Council District 1). Site Plan for Hunter Ferrell Logistics Park, a development with a 210,856 sq. ft. warehouse building on 13.62 acres. Tracts 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 2400 W Hunter Ferrell Rd.

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Site Plan.pdf](#)
[Exhibit C - Landscape Plan.pdf](#)
[Exhibit D - Building Elevations.pdf](#)
[Exhibit E - Site Lines.pdf](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Monica Espinoza, Executive Assistant

Title

S200603 - Site Plan - Hunter Ferrell Logistics Park (City Council District 1). Site Plan for Hunter Ferrell Logistics Park, a development with a 210,856 sq. ft. warehouse building on 13.62 acres. Tracts 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 2400 W Hunter Ferrell Rd.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Site Plan for Hunter Ferrell Logistics Park, a development with a 210,856 sq. ft. warehouse building on 13.62 acres. Tracts 14.2, Isreal Jennings Survey, Abstract No. 679, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial, and addressed as 2400 W Hunter Ferrell Rd.

PURPOSE OF REQUEST:

The applicant intends to construct a 210,856 sq. ft. warehouse on 13.62 acres. Site Plan approval by City Council is required for any project involving industrial use. Development at this location requires City Council approval of a Site Plan because the property is intended for industrial use.

The purpose of site plan approval is to ensure that development meets requirements in the Unified Development Code (UDC), provides adequate circulation, and uses quality site planning techniques. The UDC identifies criteria for evaluating proposed developments. Criteria include density and dimensional standards, landscaping and screening requirements, and architectural design for special districts.

Project Update

The Planning and Zoning Commission tabled this item on June 22, 2020 to allow the applicant and staff additional time to coordinate with the City of Irving. Since then, the applicant has reduced the project area from 33 acres to 13.62 acres, eliminated the second warehouse, and reconfigured the site so that the driveways align with the existing median cuts as required by the City of Irving.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	City of Irving	Mobile Home Park
South	Light Industrial	Undeveloped, Floodway
West	Light Industrial	Park Trailhead, Undeveloped
East	Light Industrial	Auto Related Use, Undeveloped

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The 13.2-acre site is accessible by two points on W Hunter Ferrell Rd. The proposed warehouse building is 210,856 sq. ft. and has a loading dock on the north side of the building with 40 dock doors. The site plan includes 184 parking spaces and 45 trailer parking spaces. The parking area west of the building is designated as future auto or trailer parking and includes 194 auto parking spaces. The proposed development is speculative, which means that the future tenant is unknown. The future tenant’s need will determine the timing of construction and configuration of the future parking area.

The proposal includes an open space amenity with trails, benches, and an active water feature on the west side of the property. The trail will connect to the existing trail at the Lone Star Trailhead to the west and the regional trail along Hunter Ferrell Rd.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

Development is subject to the Light Industrial standards in the UDC. The tables below evaluate the density and dimensional standards of the proposed development. The proposal meets the density and dimensional requirements.

Table A: Site Data Summary

Standard	Required	Provided	Meets
----------	----------	----------	-------

Min. Lot Area (Sq. Ft.)	15,000	593,127	Yes
Min. Lot Width (Ft.)	100	1,253	Yes
Min. Lot Depth (Ft.)	150	508.97	Yes
Front Setback (Ft.)	25	30	Yes
Side Setback (Ft.)	30	30	Yes
Max. Height (Ft.)	50	46.5	Yes
Max. Floor Area Ratio	1:1	0.35:1	Yes

Landscape and Screening

The property is subject to landscape and screening requirements in Article 8 and Appendix X of the UDC. The proposal substantially complies with landscape and screening requirements.

Table 3: Landscape & Screening Requirements

Standard	Required	Provided	Meets
Area (Sq. Ft.)	59,312	98,969	Yes
Trees	131	182	No
Shrubs	1,186	1,705	Yes
Foundation Plantings	Along Primary Facades	Along Primary Facades	No
Entrance Plantings	At Building Entrance	At Building Entrance	Yes

Building Materials and Design

Industrial buildings greater than 50,000 sq. ft. are subject to the requirements in Appendix X of the UDC. Appendix X requires that primary facades include at least three design elements and secondary facades include at least two design elements. The proposed building elevations meet the design requirements.

Table 4: Building Design Elements

Facade Type	a.	b.	c.	d.	e.	f.	g.	h.	i.	Total El	Meets
North Primary	x				x	x				3	Yes
South Secondary	x			x						2	Yes
West Primary	x				x	x				3	Yes
East Primary	x				x	x				3	Yes

Table 4: Summary of Building Design Elements

Letter	Primary Facades Element	Secondary Facades Element
a.	Masonry Accents	Masonry Accent
b.	Glass - 15%	Cornice Projection
c.	Awning	Windows - 30%
d.	Cornice Projection	Articulation
e.	Articulation	
f.	Accent Lighting	
g.	Colonnade	
h.	Wing Wall	
i.	Windows - 30%	

VARIANCES:

City Council may approve variances to Appendix X if the applicant demonstrates that the proposal meets the intent of the ordinance and that the alternative design or measure provides an equal or greater level of quality and standard of development as mandated by the regulations. As a part of this Site Plan, the applicant is requesting the variances listed below.

1. Truck Docks Location - Truck docks are prohibited along any primary facade.
2. Row of Parking Between the Street and Building - No more than two rows of vehicle parking shall be allowed between a street and building facade.
3. Parking/Storage of Heavy Trucks or Trailers Along Hunter Ferrell - Parking of heavy trucks or areas intended for parking/storage of trailers shall not be located adjacent to a primary building facade or street.
4. Parking/Storage of Trailers in Future Parking Area - Areas intended for parking/storage of trailers shall not be located adjacent to a primary building facade.
5. Tree Preservation Requirements - Appendix X requires that developers submit a tree survey and preserves a minimum of 30% of the total existing caliper inches. The applicant has not submitted a tree survey.

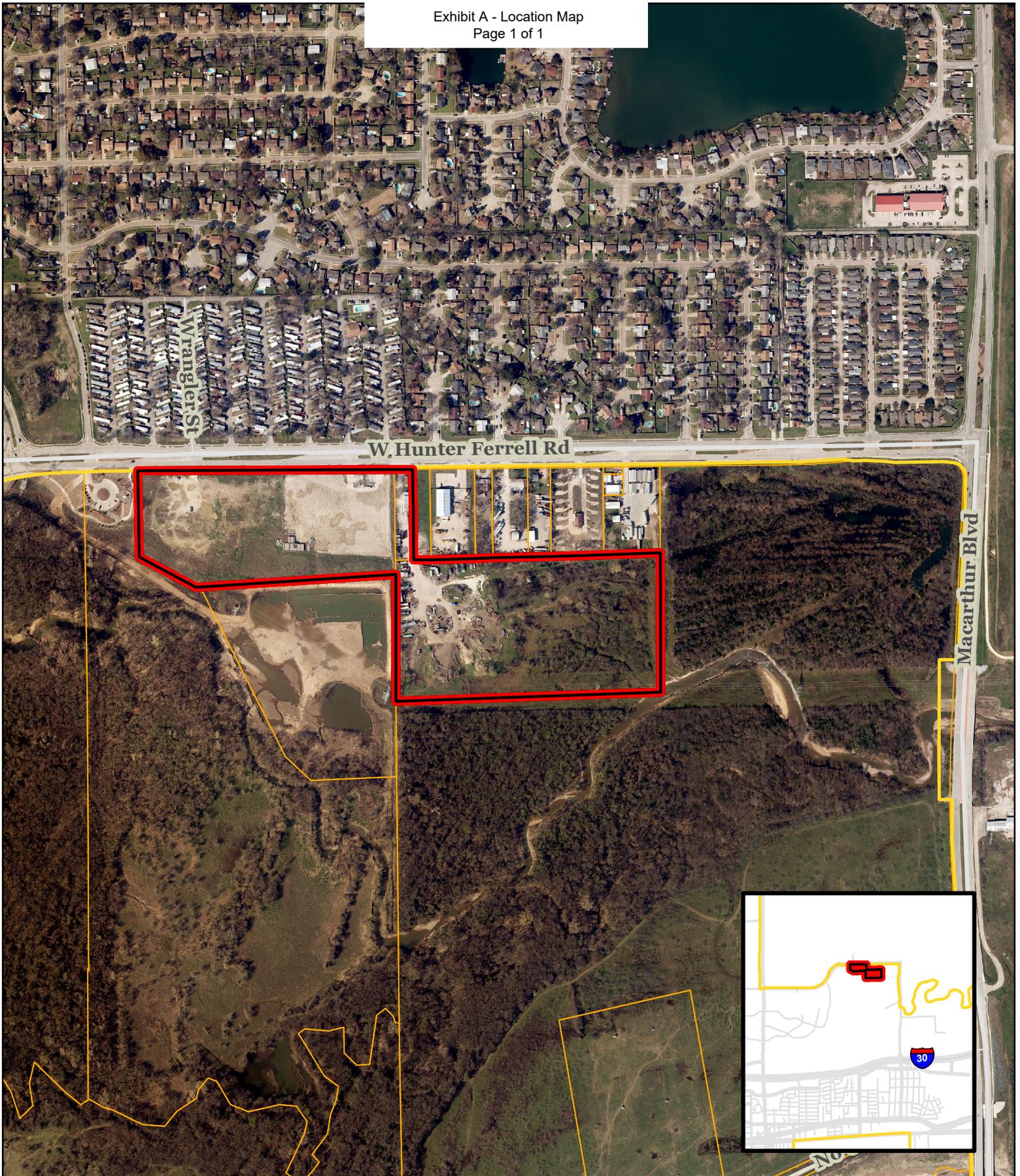
In the applicant's original proposal, the truck dock doors and trailer parking were located south of the building and would not have been visible from Hunter Ferrell Rd. The City of Irving requires the driveways to align with existing median cuts. In order to comply with this requirement, the applicant reconfigured the site and relocated the truck docks and trailer parking area to the north of the building.

The applicant is providing a double row of street trees along the street, an enhanced planting area, and a masonry screening wall. The additional row of trees and additional plantings are intended to serve as a compensatory measure for the variances requested.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval with the following conditions:

1. The applicant shall coordinate with the Parks Department to connect the proposed walking trails to the existing trail west of the property. The design of the connection, including the materials, shall meet the Parks, Arts, and Recreation Department's requirements. The applicant shall construct this connection in conjunction with the proposed trail and activation feature.
2. The future parking area shall not be used for parking/storing trailers.
3. All construction shall comply with the latest adopted building codes, specifically the required distance between the building and property line. This can be accomplished by establishing a no-build easement to the south on City property or by reducing the building and/or reconfiguring the site. Before applying for a building permit, the applicant shall resolve this issue.



CASE LOCATION MAP

Case Number S200603

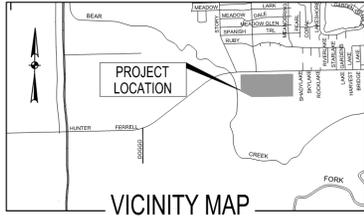
Hunter Ferrell Logistics Park



**City of Grand Prairie
Development Services**

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PARKING ANALYSIS
 DIMENSIONS = 9' x 18'
 7,750 SF OFFICE (75) = 8 SPACES
 20,348 SF BLDG = 41 SPACES + 8 SPACES = 49 SPACES
 TOTAL PARKING REQUIRED = 68 SPACES
 TOTAL PARKING PROVIDED = 194 SPACES
 (INCLUDING 150 ALL-WAY ACCESSIBLE)
 TOTAL # OF DOOR DOORS = 40

FUTURE PARKING ANALYSIS
 DIMENSIONS = 9' x 18'
 TOTAL PARKING PROVIDED = 194 SPACES

**HUNTER FERRELL DEVELOPMENT
SITE ANALYSIS**
 PROPOSED USE: OFFICE & WAREHOUSE
 EXISTING ZONING: LL/LOUT INDUSTRIAL
 SITE AREA: 13.62
 BUILDING AREA: 210,856 SF
 PROPOSED LOT COVERAGE: 63.7%
 FLOOR AREA RATIO: 6.47 to 1

SPECIAL WARRANTY DEED
 GRANITE CHARRON MEADOWS, LLC
 CALLED 22.02 ACRES
 DOC. NO. 201900143601
 O.P.R.D.C.T.

ARCHITECT
 ADMINV ARCHITECTURE, INC
 JOHN TAYLOR
 10228 E NORTHWEST HWY, BOX 66
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 jttaylor@adminv.com

DEVELOPER
 CHI ACQUISITIONS, L.P.
 CROWN HOLDINGS INDUSTRIAL
 HILL WOODCHURCH
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 DALLAS, TEXAS 75219
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 (214) 461-3333 BUSINESS FAX
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 woodchur@chipart.com

OWNER
 LINCOLN PROPERTY COMPANY
 MICHELE A. PENNINO, OWNER
 2000 MCKINNEY AVE, SUITE 1000
 DALLAS, TEXAS 75201
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 mpennino@lpc.com
 LCH #13049

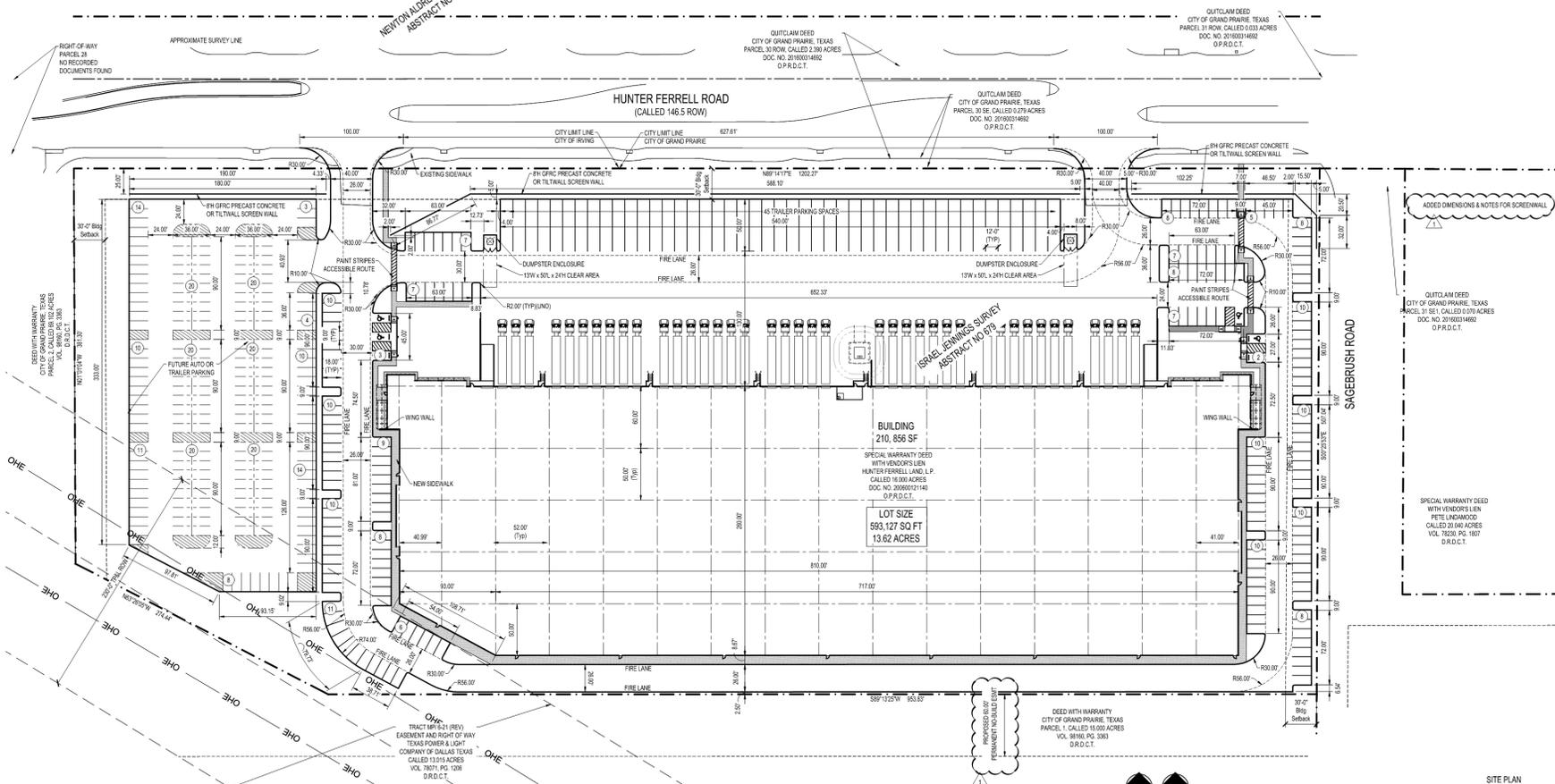
UDC Appendix X Summary
 Note: Site complies with and/or exceeds UDC Appendix X.
Building Design Standards
 Note: The Building is 100% Masonry including Glass and Canopy Structures. Standard not Utilizing Painted Concrete Tiltwall.
 Primary Facade (North, East and West) requires 3 elements.
 Standard met using:
 a. Two Masonry Materials comprising 50% of facade. Achieved by use of Cultured Stone and Tiltwall Concrete with Minimum 2" reveal.
 b. Articulation of at least 2 distinct areas of Vertical and Horizontal Offset.
 c. Accent lighting totaling a minimum of at least 50% of the facade length.
 Secondary Facade (South) requires 2 elements.
 Standard met using:
 a. Masonry accent material or color comprising 10% to 20% of the facade area. Achieved by use of Form Liner and Tiltwall Concrete with Minimum 2" reveal.
 b. Articulation of at least 2 areas of vertical offset.
 Refer to Sheet A2.100 for detailed Materials Table, Articulation Table and Articulation Diagrams.

Base Landscape Requirements:
 10% of the site to be landscaped area - 58,693 sq ft (16.6%) landscape area provided
 120 trees are required, 127 trees are proposed.
 1,188 shrubs are required, 1,200 shrubs are proposed.
 2,265 sq ft of annual, perennial or native grasses are required, 1,120 sq ft are proposed.
 26 parking lot trees are required, 53 trees are proposed.

Coordinated Open Space Requirements:
 66 acres of open space is required, 70 acres is proposed
 680 sq ft of walking trails is required, 521 sq ft are proposed
 11 seats are required, 48 seats are proposed
 4 water features is proposed
 7,232 sq ft of garden area is required, 7,538 sq ft of garden area is proposed.

Variance Request
 The City of Irving requires that the existing median and driveway openings be maintained. Due to this requirement the building had to be flipped and we therefore request variances on the following:
 • Allow truck docks along a primary facade.
 • Allow more than one row of vehicle parking between the street and building facade.
 • Allow parking of heavy trucks or buses intended for parking/storage of trailers to be located adjacent to a primary building facade or street.

AZIMUTH:
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 Dallas, Texas 75226
 214.261.9060
 www.azimutha.com



01 OVERALL SITE PLAN
 Scale: 1" = 50'-0"

HUNTER FERRELL

CLIENT: JOB # 2609

1	05.12.20	DRC Submittal
2	06.05.20	DRC Response
3	10.02.20	DRC Submittal
4	10.21.20	△ DRC Comments
5		
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REVISIONS:

SHEET CONTENTS:
 OVERALL SITE PLAN

DATE: October 21, 2020
 SHEET: **A1.00**

SITE PLAN
 HUNTER FERRELL INDUSTRIAL
 GRAND PRAIRIE, TEXAS
 DALLAS COUNTY
 14.62 ACRES
 BUILDING: 210,856 SF
 CASE NO. 2020060

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TRUE PLAN NORTH

HUNTER FERRELL
BUILDING A

2609

CLIENT: HUNTER FERRELL

1	10.19.2020	DRC Submittal
2		
3		
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REVISIONS:

PROGRESS PRINT
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CONSTRUCTION

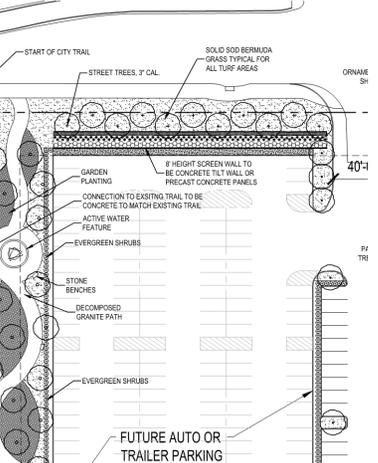
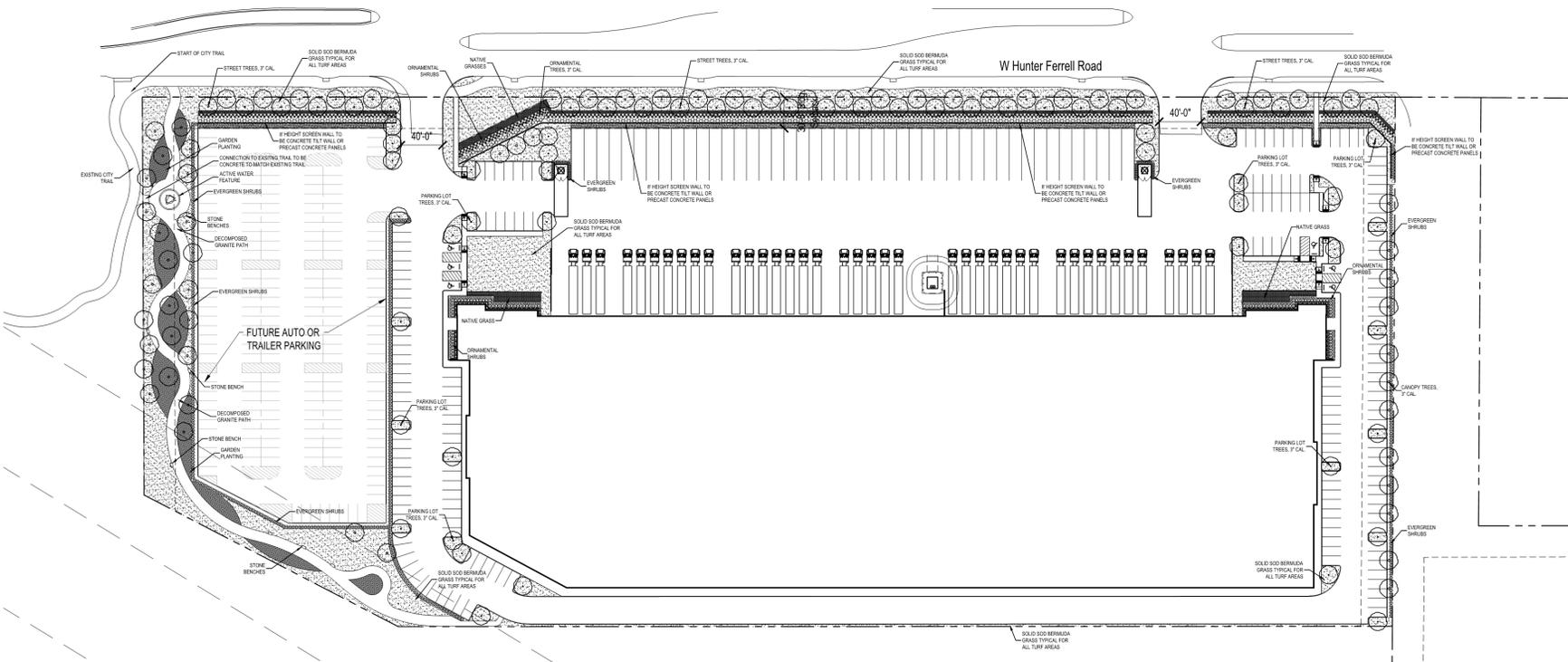
SEAL:

SHEET CONTENTS:
LANDSCAPE PLAN

DATE: OCTOBER 20, 2020

SHEET:
L1.01

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PLANT LEGEND

	SHADE TREES - 3\"/> CALIPER
	ORNAMENTAL SHRUBS - 5 GAL. MIN.
	NATIVE GRASS, PERENNIALS AND SEASONAL COLOR PLANTING
	GARDEN AREA
	BERMUDA GRASS HYDRO MULCH

LANDSCAPE TABULATIONS

BASE LANDSCAPE REQUIREMENTS: SITE AREA - 593,089 S.F. BUILDING AREA - 216,476 S.F.	
10% OF THE SITE TO BE LANDSCAPE AREA	PROVIDED
(1) 3\"/> CALIPER TREE PER 500 S.F. OF REQUIRED LANDSCAPE AREA SINCE THE BUILDING PROVIDED AT LEAST THREE ELEMENTS LISTED IN SECTION 4.2 ON EACH PRIMARY FACADE AND AT LEAST TWO ELEMENTS LISTED IN SECTION 4.4 ON EACH SECONDARY FACADE	98,969 S.F. OF LANDSCAPE AREA (128) PROPOSED 3\"/> CALIPER TREE (17,705) SHRUBS - 5 GAL. MIN. 4,154 S.F. OF ANNUALS, PERENNIALS OR NATIVE GRASSES
(1) SHRUB - 5 GAL. MIN. FOR EACH 50 S.F. OF REQUIRED LANDSCAPE AREA	PROVIDED
1% OF OVERALL BUILDING DIMENSION SHALL BE PROVIDED AS ANNUALS, PERENNIALS OR NATIVE GRASSES	99,307 S.F. OF LANDSCAPE AREA (119) 3\"/> CAL TREES (17,895) SHRUBS - 5 GAL. MIN. 2,105 S.F. OF ANNUALS, PERENNIALS OR NATIVE GRASSES
LANDSCAPE TABULATIONS	PROVIDED
COORDINATED OPEN SPACE REQUIREMENTS: SITE AREA - 593,089 S.F. BUILDING AREA - 216,476 S.F.	98,969 S.F. OF LANDSCAPE AREA (128) PROPOSED 3\"/> CALIPER TREE (17,705) SHRUBS - 5 GAL. MIN. 4,154 S.F. OF ANNUALS, PERENNIALS OR NATIVE GRASSES
1 ACRE OF COMMON OPEN SPACE FOR EACH 20 ACRES TO BE DEVELOPED AT BUILDOUT. 1,000 FEET OF PAVED WALKING TRAIL FOR EACH ACRE OF REQUIRED OPEN SPACE. SEATING WITHIN A SHADED TREE (1) SEAT PER 20,000 OF PROPOSED BUILDING AREA. AN ACTIVE WATER FEATURE. 1 S.F. OF GARDEN FOR EVERY 50 S.F. OF BUILDING AREA	PROVIDED
REQUIRED	PROVIDED
6.68 ACRES OF OPEN SPACE	6.70 ACRES OF OPEN SPACE
881 L.F. OF WALKING TRAIL	732 L.F. OF WALKING TRAIL
11 SEATS	24 SEATS - 12 LIMESTONE BLOCKS (24\"/>X24\"/>X48\"/> LENGTH)
WATER FEATURE PROVIDED	7,518 S.F. OF GARDEN AREA
4,210 S.F. OF GARDEN AREA	
PARKING LOT LANDSCAPING REQUIREMENTS: 379 PARKING SPACES TREES PLANTED AT THE END OF EACH PARKING ROW	PROVIDED
(1) TREE PER 13 PARKING SPACES	(28) 3\"/> CAL TREES
ALL PARKING SPACES TO BE WITH IN 100 L.F. OF A TREE	
REQUIRED	PROVIDED
(26) 3\"/> CAL TREES	(84) 3\"/> CAL TREES



Exhibit D - Building Elevations
Page 1 of 1

BUILDING MATERIALS TABLE										
Direction	Total Area	Total Openings	Total Canopy	Canopy %	Total Glass	Glass %	Stone Veneer	Stone %	Tiltwall w/ 2' Reveals	Principal Masonry Meets
North	38,420	4,151	67	0.2%	1,550	4.0%	1,715	4.5%	30,937	100.00% YES
South	36,228	215	-	0.0%	-	0.0%	-	0.0%	36,013	100.00% YES
East	13,528	48	81	0.6%	868	6.4%	1,627	12.0%	10,954	100.00% YES
West	13,413	48	81	0.7%	868	6.4%	1,627	14.3%	8,789	100.00% YES

HORIZONTAL ARTICULATION TABLE							
Articulation Zone	Building Height (Ft)	Facade Length (Ft)	Min Depth Horizontal Articulation (Bldg Ht x 5%)	Provided Horizontal Articulation	Min Span Horizontal Articulation (Facade Length x 15%)	Provided Span Horizontal Articulation	Meets
North A1	47.50	834.33	2.38	11.33	125.15	77.50	**NO
North A2	47.50	834.33	2.38	11.33	125.15	77.50	**NO
East D1	47.50	271.33	2.38	3.17	40.70	60.00	YES
East D2	47.50	271.33	2.38	11.83	40.70	53.50	YES
West F1	47.50	221.33	2.38	11.83	33.20	53.50	YES
West F2	47.50	221.33	2.38	3.17	33.20	60.00	YES

* Length of horizontal articulation is 62% compliant. 100% compliance encumbers functionality of the truck court. The depth of the horizontal articulation exceeds requirement by 476%.

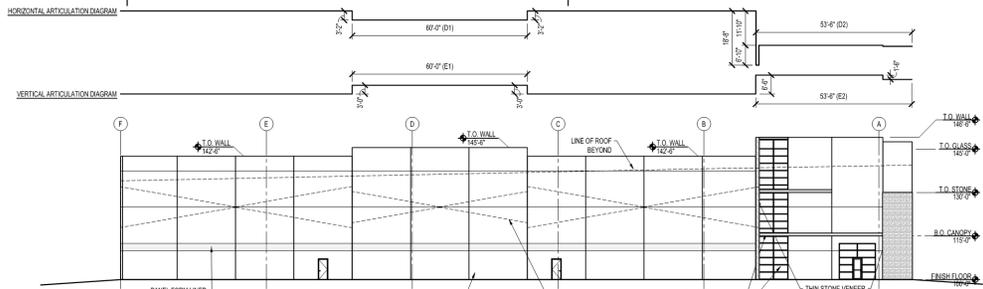
VERTICAL ARTICULATION TABLE							
Articulation Zone	Building Height (Ft)	Facade Length (Ft)	Min Ht Vertical Articulation (Bldg Ht x 5%)	Provided Vertical Articulation	Min Span Vertical Articulation (Facade Length x 15%)	Provided Vertical Articulation Span	Meets
North B1	47.50	834.33	2.38	7.33	125.15	131.67	YES
North B2	47.50	834.33	2.38	7.33	125.15	131.67	YES
South C1	47.50	810.00	2.38	3.00	121.50	122.58	YES
South C2	47.50	810.00	2.38	3.00	121.50	140.00	YES
South C3	47.50	810.00	2.38	3.00	121.50	120.00	**NO
East E1	47.50	271.33	2.38	3.00	40.70	60.00	YES
East E2	47.50	271.33	2.38	3.00	40.70	53.50	YES
West G1	47.50	221.33	2.38	6.50	33.20	53.50	YES
West G2	47.50	221.33	2.38	3.00	33.20	60.00	YES

**Third articulation element not required for secondary facade.

BUILDING DETAIL ELEMENTS												
Facade	Type	a	b	c	d	e	f	g	h	i	Total Elements	Meets
North	Primary	Y	N	N	N	Y	Y	N	N	N	3	***YES
South	Secondary	Y	N	N	Y	Y	N	N	N	N	2	YES
West	Primary	Y	N	N	N	Y	Y	N	N	N	3	YES
East	Primary	Y	N	N	Y	Y	Y	N	N	N	3	YES

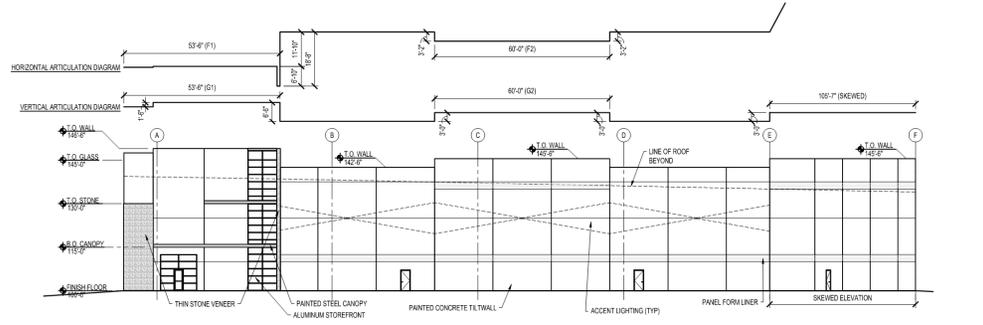
*** Length of horizontal articulation is 62% compliant. 100% compliance encumbers functionality of the truck court. The depth of the horizontal articulation exceeds requirement by 476%.

Primary Facade		Secondary Facade	
a	Masonry	a	Masonry
b	Curtain Wall	b	Cornice
c	Awnings	c	Windows along 30%
d	Cornice	d	Articulation
e	Articulation	e	Articulation
f	Accent lighting	f	Articulation
g	Colonnade	g	Articulation
h	Wing Wall	h	Articulation
i	Windows	i	Articulation



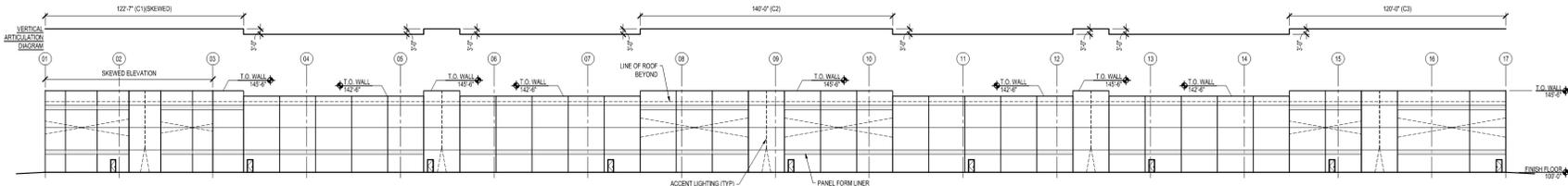
04 EXTERIOR BUILDING ELEVATION - EAST

Scale: 1" = 20'-0"



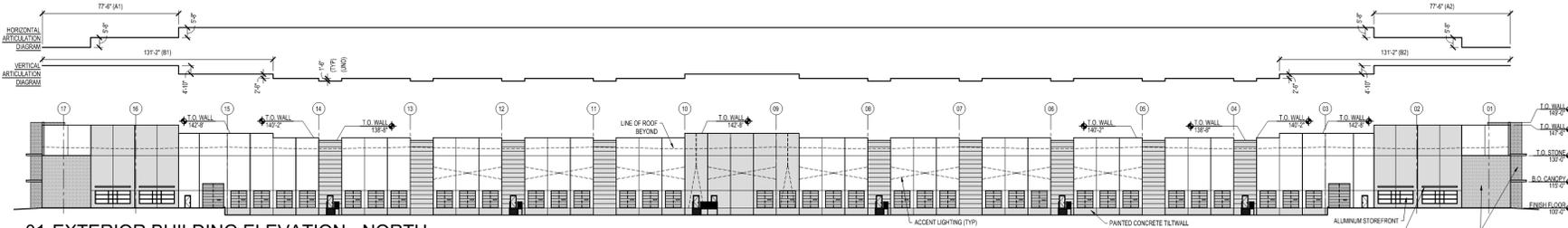
03 EXTERIOR BUILDING ELEVATION - WEST

Scale: 1" = 20'-0"



02 EXTERIOR BUILDING ELEVATION - SOUTH

Scale: 1" = 30'-0"



01 EXTERIOR BUILDING ELEVATION - NORTH

Scale: 1" = 30'-0"

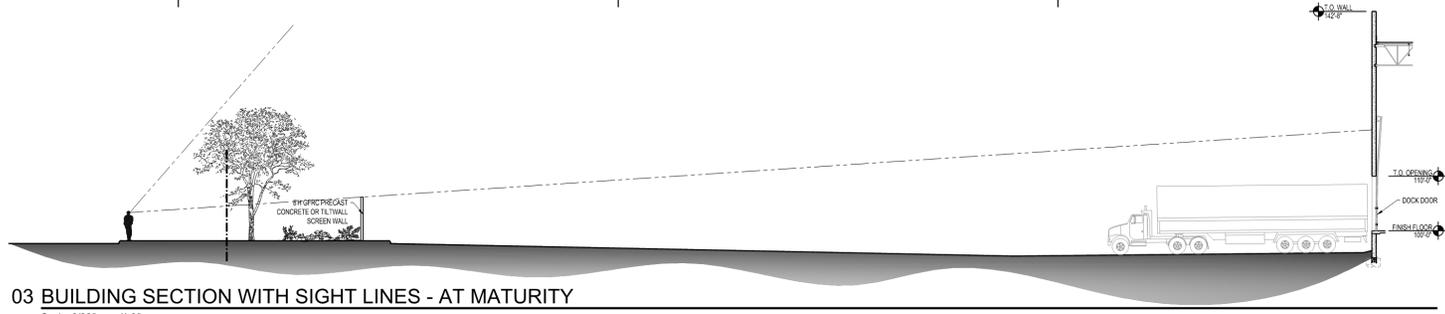
AZIMUTH:
architecture
10228 E Northwest Hwy
Box 66
Dallas, Texas 75226
214.261.9060
www.azimutharch.com

HUNTER FERRELL
CLIENT: HUNTER FERRELL

2609
1 05.12.20 DRC Submittal
2 06.05.20 DRC Response
3 10.02.20 DRC Submittal
4 10.21.20 DRC Comments
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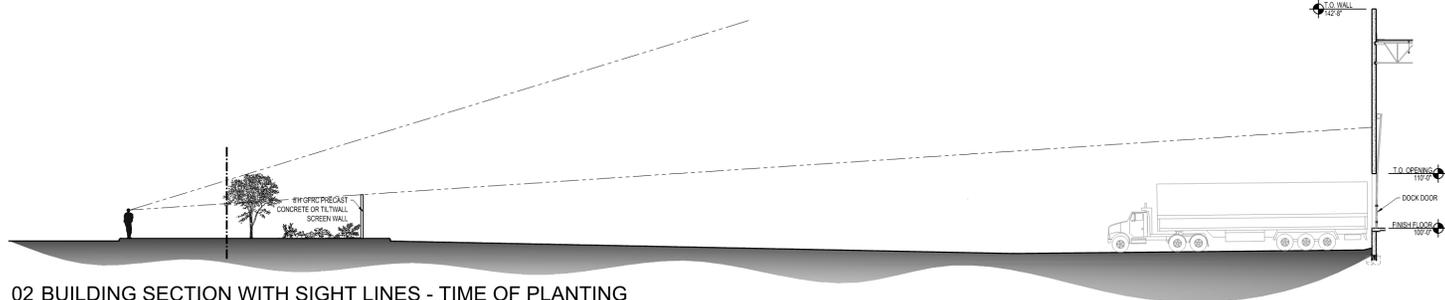
STATE OF TEXAS ARCHITECT
THE SEAL APPROVED BY THE BOARD OF ARCHITECTURE WAS AFFIXED BY MICHAEL J. HILLER, ARCHITECT #18418
DORIS DE JESU, CURATOR/COMMISSIONER
ATTENTION TO THE REGISTRAR OF ARCHITECTURE
SHEET CONTENTS:
EXTERIOR ELEVATIONS BLDG A
DATE: October 21, 2020
SHEET: A7.00
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SITE PLAN
HUNTER FERRELL INDUSTRIAL
GRAND PRAIRIE, TEXAS
DALLAS COUNTY
13.62 ACRES
BUILDING: 215,896 SF
CASE NO. 2009603



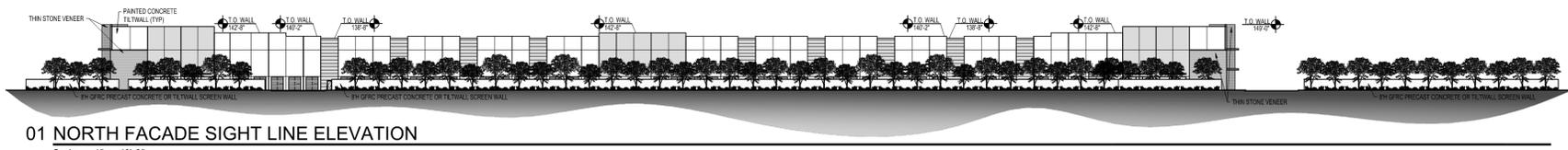
03 BUILDING SECTION WITH SIGHT LINES - AT MATURITY

Scale: 3/32" = 1'-0"



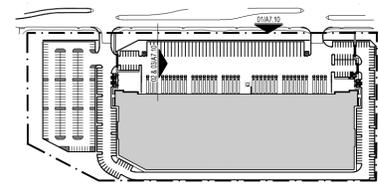
02 BUILDING SECTION WITH SIGHT LINES - TIME OF PLANTING

Scale: 3/32" = 1'-0"



01 NORTH FACADE SIGHT LINE ELEVATION

Scale: 1" = 40'-0"



JOB # | CLIENT | REVISIONS:

1	05.12.20	DRC Submittal
2	06.05.20	DRC Response
3	10.02.20	DRC Submittal
4	10.21.20	△ DRC Comments
5		
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THE SEAL REPRESENTS THAT THIS DOCUMENT WAS AUTHORIZED BY MEASURING AND VERIFYING ARCHITECTS IN 2002. October 21, 2020 Computational Documents ALTERNATIVE TO REGISTERED DOCUMENTS ARCHITECTURE PROGRAM IDENTIFICATION TO THE ARCHITECTURAL ARCHITECT AS AN OFFENSE UNDER THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS.

SHEET CONTENTS:
SIGHT LINE ANALYSIS

DATE: October 21, 2020

SHEET: A7.10



Legislation Details (With Text)

File #: 20-10566 **Version:** 1 **Name:** CP200801 - Cottages at Dechman
Type: Ordinance **Status:** Public Hearing
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: CP200801 - Concept Plan - Cottages at Dechman (City Council District 2). Concept Plan for the Cottages at Dechman, a multi-family development with a mixture of attached and detached units on 15.91 acres. Tract 2 of Leonidas O'Gwinn Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, and generally located at the northwest corner of Dechman Dr and the IH-20 frontage road.

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Concept Plan.pdf](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Monica Espinoza, Executive Assistant

Title

CP200801 - Concept Plan - Cottages at Dechman (City Council District 2). Concept Plan for the Cottages at Dechman, a multi-family development with a mixture of attached and detached units on 15.91 acres. Tract 2 of Leonidas O'Gwinn Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, and generally located at the northwest corner of Dechman Dr and the IH-20 frontage road.

Presenter

Savannah Ware , AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Concept Plan for the Cottages at Dechman, a multi-family development with a mixture of attached and detached units on 15.91 acres. Tract 2 of Leonidas O'Gwinn Survey, Abstract No. 1105, City of Grand Prairie, Dallas County, Texas, zoned PD-20, within the IH-20 Corridor Overlay District, and generally located at the northwest corner of Dechman Dr and the IH-20 frontage road.

PURPOSE OF REQUEST:

The applicant intends to construct a multi-family development on 15.91 acres. The Unified Development Code

(UDC) requires City Council approval of a Concept Plan for Planned Development Districts. The subject property is zoned PD-20 which was approved without a Concept Plan. Concept Plans are designed to expedite the development process by working out site design issues prior to design of a project and assuring compliance with the Comprehensive Plan,

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-20	Fish Creek Forrest Preserve
South	PD-26	Commercial, Undeveloped
	PD-210	Single Family Residential
West	PD-20	Fish Creek Forrest Preserve
East	PD-19	Multi-Family Residential

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The proposal is an example of Hybrid Housing, also known as build-to-rent homes, which combines elements of traditional single family and multi-family development. Hybrid Housing includes a mixture of detached and attached units on a single lot. Maintenance of individual units, common areas, and landscaping is the responsibility of a single entity.

The Concept Plan depicts 142 units at a density of 8.9 dwelling units per acre. The 15.91-acre site is accessible by a single point off Dechman Drive. The office, fitness center, and pool are located at the entrance.

ZONING REQUIREMENTS:

Density and Dimensional Requirements

The subject property is zoned PD-20 and will be developed under the Multi-Family One (MF-1) District standards. City Council approval of a Site Plan is required.

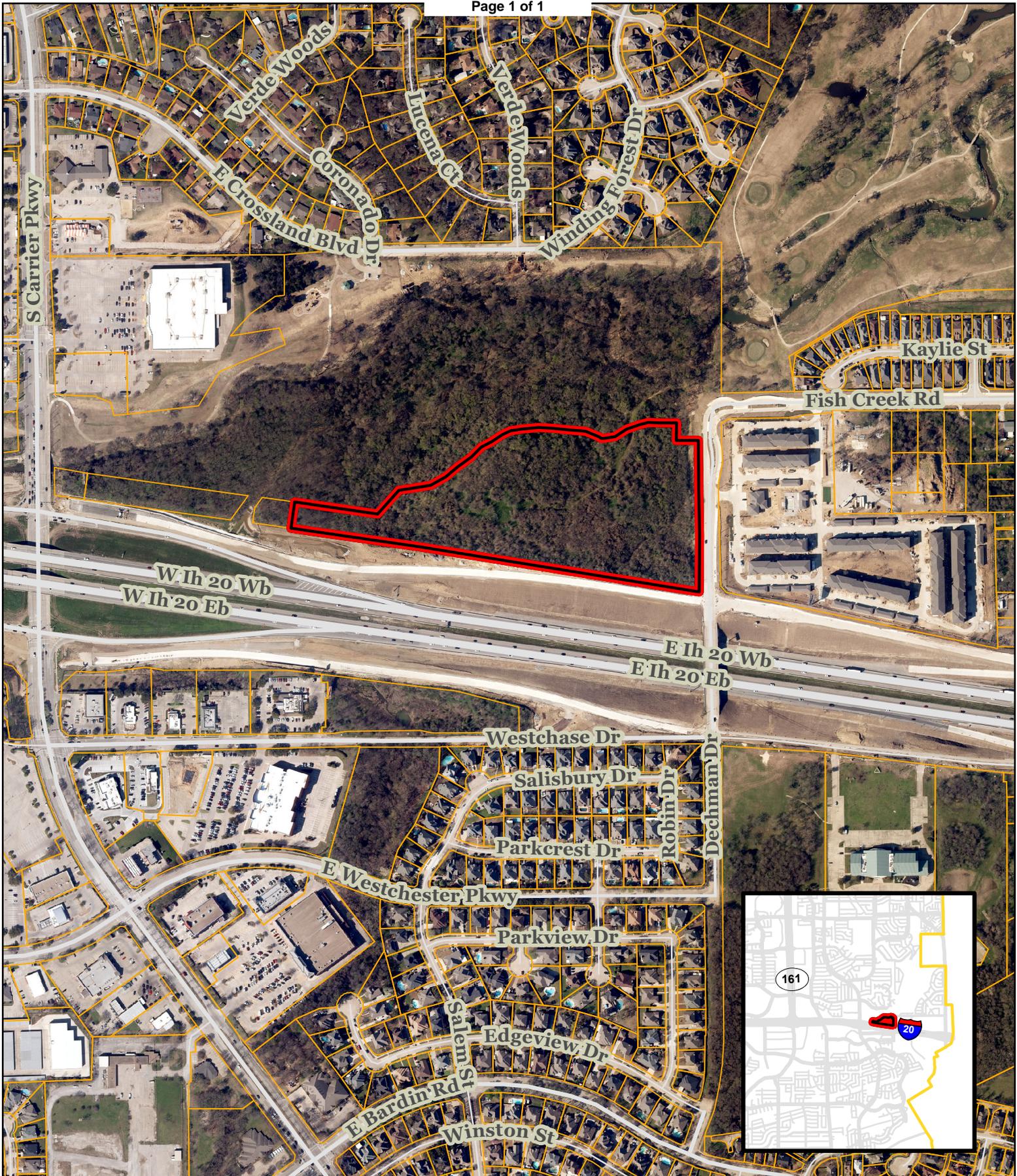
As configured, the site layout may require a variance from the UDC minimum emergency access and gated entry requirements at the site plan stage. The Development Review Committee (DRC) is generally amenable to this variance if individual units are sprinklered. DRC will include this as a recommended condition of site plan approval.

ANALYSIS:

The City of Grand Prairie does not have standards in place for this type of housing product. Staff and the City Council Development Committee (CCDC) discussed possible opportunities to regulate Hybrid Housing and address concerns with design, building orientation of units along the right-of-way, screening, and parking. These discussions took place during the July 21, 2020 and September 21, 2020 CCDC meetings. On October 26, 2020, the Planning and Zoning Commission recommended approval of a text amendment to Appendix W to address Hybrid Housing. Since the applicant submitted the Concept Plan request before the text amendment has been approved by City Council, the new standards will not apply to this development.

RECOMMENDATION:

Staff suggested that the applicant try to adhere to the upcoming hybrid housing requirements if at all possible. The applicant has submitted the attached concept plan. Noting the applicants vested rights, the Development Review Committee (DRC) generally supports the request.



CASE LOCATION MAP

Case Number CP200801

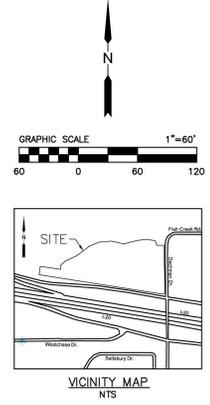
Cottages at Dechman



City of Grand Prairie
Development Services

(972) 237-8255

www.gptx.org



PROJECT DESCRIPTION
CASITA 2-BEDROOM AND DUPLEX 1-BEDROOM
SINGLE STORY RENTAL PROPERTY

PROJECT DATA

TOTAL AREA:	15.91 ACRES	
IMPERVIOUS AREA:	7.66 ACRES (48%)	
CURRENT ZONING:	PD-20	
PROPOSED ZONING:	PD-20	
PROPOSED USE:	RESIDENTIAL RENTAL	
MIN. UNIT SEPARATION:	10'	
UNIT TYPE	YIELD	MIX %
1-BEDROOM	44	31
2-BEDROOM	98	69
TOTAL UNITS	142	100

PARKING REQUIRED:
1.25 SPACES PER 1-BEDROOM UNIT
2 SPACES PER 2-BEDROOM UNIT

1 BEDROOM UNITS -	44
PARKING REQ.	55 SPACES
2 BEDROOM UNITS -	98
PARKING REQ.	196 SPACES
TOTAL REQUIRED	251 SPACES
TOTAL PARKING SHOWN	273 SPACES
GARAGE PARKING	40 SPACES
CARPORIT PARKING	154 SPACES
UNCOVERED PARKING	79 SPACES
ADA PARKING ONSITE	6 SPACES
ADA SPACES ARE EXCESS OF 251 REQ.	
LEASING OFFICE	6 REG. 2 ADA
LEASING SPACES ARE EXCESS OF 251 REQ.	
PARKING STALL DIMENSIONS	9'x20'

- NOTES**
- All units will be sprinklered in accordance with NFPA 130.
 - Fire hydrants to be spaced at a maximum of 600 feet.
 - Standard Private Rear Yard is 8 feet and will be fenced and turfed.
- SETBACKS FOR MF-1 ZONING**
- | | |
|-------------------|---|
| FRONT | 30 FT |
| REAR | 45 FT + 1 FT FOR EVERY FOOT OVER 35 FT IN BUILDING HEIGHT |
| INTERIOR SIDE | 45 FT + 1 FT FOR EVERY FOOT OVER 35 FT IN BUILDING HEIGHT |
| SIDE ON STREET | 30 FT |
| BETWEEN BUILDINGS | 15 FT |

- LEGEND**
- GARAGE PARKING (40 TOTAL) - 28% OF UNITS CAN RENT GARAGES
 - 4 BAYS
 - CARPORIT PARKING (154 TOTAL)- 100% OF UNITS GET 1 COVERED SPACE
 - 4 STALL
 - 6 STALL
 - DUMPSTERS

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2121 Midway Road
Suite 300
Carrollton, Texas 75006
972.248.7676
TBPE No. F-438
TBPLS No. 10076000

CONCEPT PLAN		PROJECT NO. TMR003
COTTAGES AT DECHMAN City of Grand Prairie, Texas		SHEET NO. CP-1



Legislation Details (With Text)

File #: 20-10567 **Version:** 1 **Name:** MTP200801 - Cottages at Dechman
Type: Ordinance **Status:** Public Hearing
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: MTP200801 - Amendment to Thoroughfare Plan - Cottages at Dechman (City Council District 2). Amendment to the Master Thoroughfare Plan to remove an unnamed collector from the Master Thoroughfare Plan. The unnamed collector creates an additional connection from Fish Creek Rd/Dechman Dr to the Interstate 20 WB Frontage Rd.

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

MTP200801 - Amendment to Thoroughfare Plan - Cottages at Dechman (City Council District 2). Amendment to the Master Thoroughfare Plan to remove an unnamed collector from the Master Thoroughfare Plan. The unnamed collector creates an additional connection from Fish Creek Rd/Dechman Dr to the Interstate 20 WB Frontage Rd.

Presenter

Savannah Ware, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Amendment to the Master Thoroughfare Plan to remove an unnamed collector from the Master Thoroughfare Plan. The unnamed collector creates an additional connection from Fish Creek Rd/Dechman Dr to the Interstate 20 WB Frontage Rd.

PURPOSE OF REQUEST:

The purpose of the request is to remove an unnamed collector from the Master Thoroughfare Plan.

ANALYSIS:

The Master Thoroughfare Plan (MTP) identifies an unnamed Collector which creates an additional connection from Fish Creek Rd./ Dechman Dr. to the Interstate 20 WB Frontage Road. This segment is located along the

border of the Dallas County floodway and a vacant lot within PD-20.

The Collector is being addressed due to developer interest in the vacant lot. The roadway is not necessary for the site's operation and, therefore, is not being considered for construction by the developer. Moreover, the developer is not wishing to dedicate the required 70' right-of-way necessary to build the roadway.

As required by the Unified Development Code, the developer of the vacant lot has provided a traffic impact analysis (TIA) identifying operations of the site and nearby intersections at buildout of the property. The TIA found that there would be no significant impact to the existing roadways and intersections following construction of the new development without the unnamed Collector.

Data was collected for the TIA included detoured traffic from the ongoing I-20 frontage road construction. Once the intersections of the I-20 Frontage and Carrier Parkway are completed, traffic volumes are anticipated to be reduced.

The recommendation of the TIA is that the roadway be removed from the MTP and that the project moves forward. City staff agrees with the recommendation.

Staff does not believe that the unnamed Collector would create additional development potential in the area. The parcel on the opposite side of the proposed development is Dallas County-owned floodway. There would be a considerable cost to acquire and develop this land with potentially significant impact to the existing floodway.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



Legislation Details (With Text)

File #: 20-10568 **Version:** 1 **Name:** Z200401A - Heritage Towne Amendment
Type: Ordinance **Status:** Public Hearing
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: Z200401A - Zoning Change - Heritage Towne Amendment (City Council District 6). A Planned Development Amendment for Heritage Towne, a development on 76.96 acres which includes single-family, multi-family, commercial, and open space uses. The purpose of the request is to add additional commercial zoning along Davis Road. Tracts 186713 and 186714, J Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas. Zoned PD-399 and addressed as 2925 Davis Drive. Generally located north of Hwy 287, and east of HWY 360.

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Boundary Description.pdf](#)
[Exhibit B - Zoning Exhibit.pdf](#)
[Exhibit C - Conceptual Renderings.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

Z200401A - Zoning Change - Heritage Towne Amendment (City Council District 6). A Planned Development Amendment for Heritage Towne, a development on 76.96 acres which includes single-family, multi-family, commercial, and open space uses. The purpose of the request is to add additional commercial zoning along Davis Road. Tracts 186713 and 186714, J Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas. Zoned PD-399 and addressed as 2925 Davis Drive. Generally located north of Hwy 287, and east of HWY 360.

Presenter

Jonathan Tooley, Planner

Recommended Action

Approve

Analysis

SUMMARY:

A Planned Development Amendment for Heritage Towne, a development on 76.96 acres which includes single-family, multi-family, commercial, and open space uses. The purpose of the request is to add additional commercial zoning along Davis Road. Tracts 186713 and 186714, J Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, Texas. Zoned PD-399 and addressed as 2925 Davis Drive. Generally located

north of Hwy 287, and east of HWY 360.

PURPOSE OF REQUEST:

The purpose of the request is to amend Planned Development 399 to reduce the amount of land zoned for multi-family and increase the amount of land zoned for commercial along Davis Drive.

Table 1: Zoning Comparison of PD-399 and PD-39'

Base Zoning	District	Existing Acreage	Proposed Acreage	Change
General Retail		3.81	6.6	+ 2.79
Multi-Family		32.93	30.14	- 2.79
Single Family		37.21	37.21	-
Agriculture		0	0	-
Open Space		3.01	3.01	-

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 2: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-322A	Gas Wells, Single-Family
South	Agriculture; ETJ	Residential, Commercial, Cemetery
West	Agriculture	Undeveloped
East	Agriculture	Undeveloped

HISTORY:

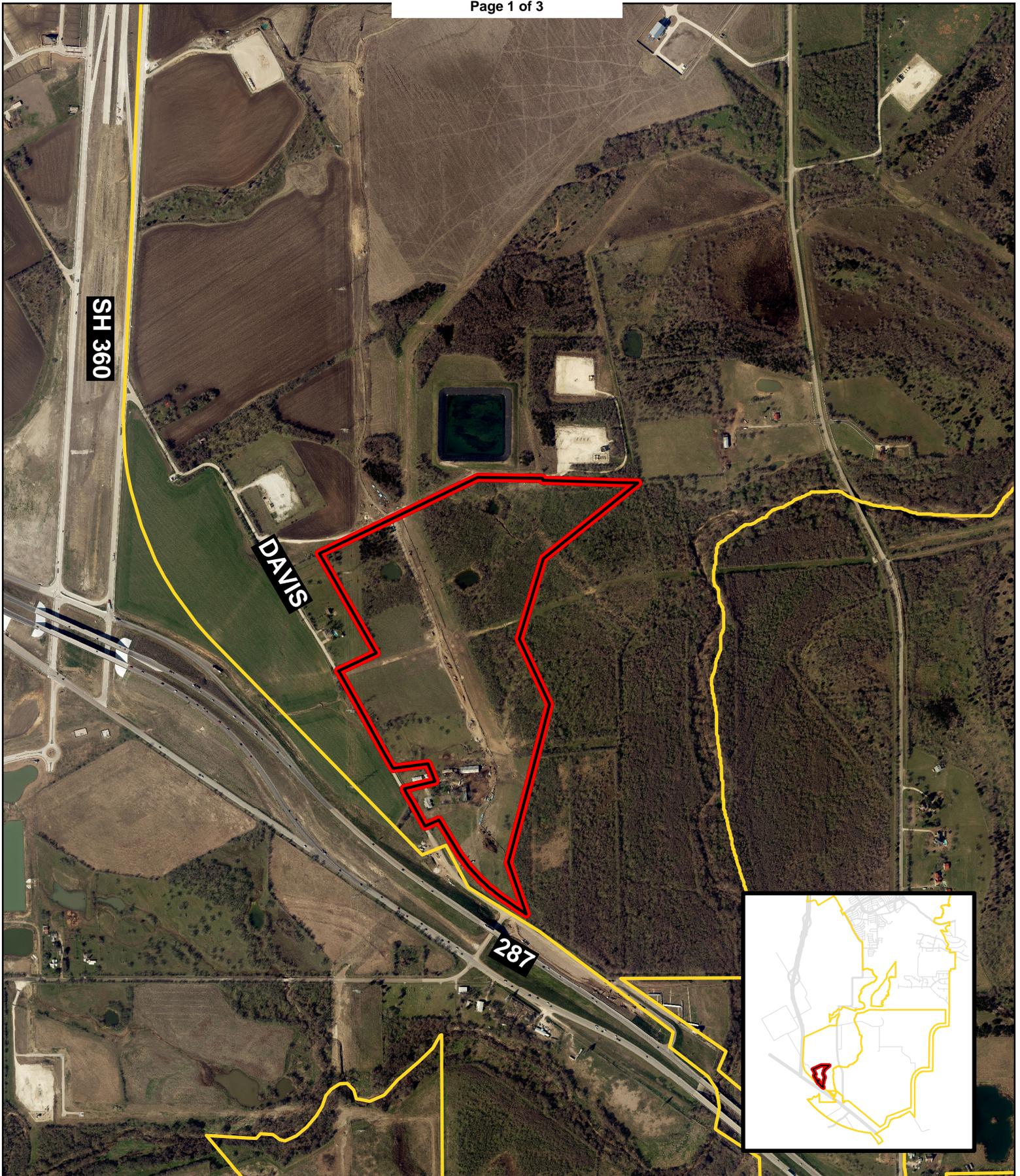
- April 21, 2020: City Council approved a zoning change for Planned Development 399 - Heritage Towne, a single-family, multi-family, and commercial development located on 76.96 acres (Case Number Z200401).
- September 16, 2008: City Council approved a zoning change (Case Number Z080701) which created Planned Development-328 District Single Family Detached Residential, Multi-Family, General Retail, and Mixed Use for Architecturally Integrated Residential above Retail uses.

ANALYSIS:

The addition of General Retail along the Davis Drive frontage will help create more opportunities for commercial development along the SH-360 Corridor. Additionally, the applicant wishes to donate one lot to the City for the future expansion of a fire station that will service the southern sector of the City. Staff supports the Planned Development amendment believing that the addition of commercial will bring extra tax base and commercial opportunities to the area.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



CASE LOCATION MAP
Case Number Z200401A



City of Grand Prairie
Development Services

(972) 237-8255
www.gptx.org

LEGAL LAND DESCRIPTION:

BEING 76.960 acres (3,352,391 square feet) of land in the Joseph Lawrence Survey, Abstract Number 616, City of Grand Prairie, Ellis County, Texas; said 76.960 acres (3,352,391 square feet) of land described in a Warranty Deed to Ellis Joint Venture (hereinafter referred to as Ellis Joint Venture tract), as recorded in Instrument Number 21141507, Official Public Records, Ellis County, Texas (O.P.R.E.C.T.), and being all of that certain tract of land described in a General Warranty Deed to Ellis Joint Venture (hereinafter referred to as Ellis Joint Venture 2 tract), as recorded in Volume 2805, Page 577, Deed Records, Ellis County, Texas (D.R.E.C.T.) and being all of that certain tract of land described in a Special Warranty Deed to Ellis Joint Venture (hereinafter referred to as Ellis Joint Venture 3 tract), Volume 2564, Page 281, D.R.E.C.T.; said 76.960 acres (3,352,391 square feet) of land being more particularly described, by metes and bounds, as follows:

BEGINNING at a concrete monument found for the Northwesterly corner of the said Ellis Joint Venture tract, same being the Northerly corner of the William Telford, and wife, Kay Telford (hereinafter referred to as Telford tract), as recorded in Volume 738, Page 371, Deed Records, Ellis County, Texas (D.R.E.C.T.), same also being in the Southerly line of TEXDEVCO GP, LLC, (hereinafter referred to as TEXDEVCO tract), as recorded in Instrument Number 1900187, O.P.R.E.C.T.;

THENCE North 64 degrees 23 minutes 15 seconds East with the common line between said Ellis Joint Venture tract and said TEXDEVCO tract, passing at a distance of 424.28 feet, the Southeasterly corner of said TEXDEVCO tract, same being the Southwesterly corner of that certain tract of land described in a Special Warranty Deed to WM SUB GT, LP (hereinafter referred to as WM SUB GT tract), as recorded in Volume 2805, Page 57, D.R.E.C.T., continue with said course and the common line between said Ellis Joint Venture tract and said WM SUB GT tract for a total distance of 707.27 feet to a five-eighths inch iron rod with a plastic cap stamped "RPLS 4838" set;

THENCE North 64 degrees 53 minutes 00 seconds East with the common line between said Ellis Joint Venture tract and said WM SUB GT tract, same being a corner for said WM SUB GT tract, for a distance of 581.99 feet to a five eighths inch capped iron rod stamped "MYCOSKIE" found for corner;

THENCE South 88 degrees 32 minutes 15 seconds East with a common line between said Ellis Joint Venture Tract and WM SUB GT tract, passing at distance of 459.30 feet, the Southeasterly corner of said WM SUB GT tract, same being the Southwesterly corner of that certain tract of land described in a Special Warranty Deed to Nehemiah Partners, L.P. (hereinafter referred to as Nehemiah tract), as recorded in Volume 1661, Page 104, D.R.E.C.T., from which a one-half inch capped iron rod found stamped "RPLS 5857" bears South 11 degrees 23 minutes 30 seconds East a distance of 0.57 feet, and continue with said course and the common line between said Ellis Joint Venture tract and said Nehemiah tract for a total distance of 1150.28 feet to a concrete monument stamped "826-3" found for corner;

THENCE South 51 degrees 10 minutes 45 seconds West for a distance of 887.19 feet with a common line between Ellis Joint Venture and that certain tract of land described in a General Warranty Deed to the United States of America (hereinafter referred to as USA tract) as recorded in Volume 676, Page 506, Deed Records, Ellis County, Texas, to a concrete monument stamped "826-4" found for corner;

THENCE South 16 degrees 29 minutes 04 seconds West with a common line between said Ellis Joint Venture tract and said USA tract for a distance of 639.32 feet to a concrete monument stamped "826-5" found for corner;

THENCE South 25 degrees 05 minutes 36 seconds East with a common line between said Ellis Joint Venture tract and said USA tract for a distance of 532.26 feet to a concrete monument stamped "826-6" found for corner;

THENCE South 15 degrees 22 minutes 38 seconds West with a common line between said Ellis Joint Venture tract and said USA tract for a distance of 1151.24 feet to a concrete monument stamped "826-7" found for corner;

THENCE South 18 degrees 09 minutes 07 seconds East with a common line between said Ellis Joint Venture tract and said USA tract for a distance of 461.40 feet to a Texas Department of Transportation monument on the Northeasterly line of that certain tract of land described in a deed to the State of Texas (hereinafter referred to as State of Texas R.O.W.), Volume 809, Page 981, D.R.E.C.T., from which a one-half inch capped iron rod stamped "AREA SURVEYING" found, bears South 77 degrees 03 minutes 36 seconds East, a distance of 3.62 feet;

THENCE North 55 degrees 36 minutes 03 seconds West with a common line between said Ellis Joint Venture tract and said State of Texas R.O.W., a distance of 441.91 feet to a one-half inch iron rod found at the beginning of a non-tangent curve to the right, whose chord bears North 42 degrees 29 minutes 40 seconds West, a distance of 303.95 feet, from which a one-half inch iron rod found bears North 83 degrees 02 minutes 32 seconds East, a distance of 4.93 feet;

THENCE Northwesterly with the common line between said Ellis Joint Venture and said State of Texas R.O.W. and with said non-tangent curve to the right having a radius of 670.00 feet, through a central angle of 26 degrees 13 minutes 14 seconds, for an arc distance of 306.61 feet a five-eighths inch iron rod with a plastic cap stamped "RPLS 4838" set for corner;

THENCE North 29 degrees 23 minutes 03 seconds West with a common line between said Ellis Joint Venture tract and said State of Texas R.O.W., a distance of 204.43 feet to a Texas Department of Transportation monument, from which a one-half inch capped iron rod stamped "AREA SURVEYING" found bears North 67 degrees 52 minutes 02 seconds East, a distance of 6.69 feet;

THENCE South 60 degrees 19 minutes 57 seconds West with a common line between said Ellis Joint Venture tract and said State of Texas R.O.W., a distance of 44.88 feet to a mag nail set for corner, same being the Southeast corner of that certain tract of land described in a deed to Joe Bowers and Jeff Hansen (hereinafter referred to as Bowers tract), as recorded in Volume 2399, Page 2279, D.R.E.C.T., same also being in Davis Road, previously known as St. Paul Britton Road (variable width right-of-way);

THENCE North 29 degrees 25 minutes 56 seconds West with a common line between said Ellis Joint Venture Tract and said Bowers tract and with said Davis Road, a distance of 103.37 feet to a mag nail set, same being the Southeasterly corner of the aforesaid Ellis Joint Venture 2 tract, from which a one-half inch capped iron rod stamped "AREA SURVEYING" found bears North 74 degrees 34 minutes 55 seconds East, a distance of 19.83 feet;

THENCE North 29 degrees 26 minutes 34 seconds West with the common line between said Ellis Joint Venture 2 tract and said Bowers tract and with said Davis Road, pass at a distance of 142.26 feet, the Northeast corner of said Bowers tract, same being an angle point in the Easterly line of that certain tract of land described in a deed to James Edmund Kemp, Jr., Judy Anne Kemp Amonett, Carolyn Kemp Wittenbraker and John Stacy Kemp, Beneficiaries under the Will of Kames E. Kemp, deceased (hereinafter referred to as Kemp tract), as recorded in Volume 2171, Page 510, D.R.E.C.T. and continue with said course and the common line between said Ellis Joint Venture 2 tract and said Kemp tract and with said Davis Road for a total distance of 275.05 feet to a mag nail set for the Northwesterly corner of said Ellis Joint Venture 2 tract, same being the Southwesterly corner of that certain tract of land described in a General Warranty Deed to Carlo Restrepo, (hereinafter referred to as Restrepo tract), as recorded in Volume 2805, Page 570, D.R.E.C.T.,

THENCE North 75 degrees 00 minutes 04 seconds East, departing said Davis Road and said Kemp tract and with the common line between said Ellis Joint Venture 2 tract and Restrepo tract, pass at a distance of 21.38 feet a one-half inch iron rod with plastic cap found and continue with said course and continue with the common line between said Ellis Joint Venture 2 tract and Restrepo tract for a total distance of 254.19 feet to a one-half inch iron rod found for the Southeasterly corner of said Restrepo tract, same being a Westerly line of said Ellis Joint Venture Tract;

THENCE North 29 degrees 25 minutes 05 seconds West with a common line between said Ellis Joint Venture tract and said Restrepo tract, a distance of 177.07 feet to a one-half inch iron rod found for corner, same being the Northeastly corner of said Restrepo tract;

THENCE South 75 degrees 03 minutes 13 seconds West with a common line between said Ellis Joint Venture tract and said Restrepo tract, from which a one-half inch iron rod found a distance of 232.37 feet, and continue on said course for a total distance of 254.28 feet to a mag nail set for corner in a Easterly line of said Kemp tract, and in Davis Road, same being the Northwesterly corner of said Restrepo tract;

THENCE North 29 degrees 26 minutes 40 seconds West with a common line between said Ellis Joint Venture tract and said Kemp tract, a distance of 534.95 feet to a mag nail set for corner, same being the Southwesterly corner said Ellis Joint Venture 3 tract, from which a one-half inch capped iron rod found bears North 64 degrees 06 minutes 46 seconds East a distance of 21.97 feet,

THENCE North 29 degrees 30 minutes 55 seconds West with the common line between said Ellis Joint Venture 3 tract and said Kemp tract, a distance of 279.24 feet to a mag nail set for corner, same being the Northwesterly corner of said Ellis Joint Venture 3 tract, same being the Southwesterly line of said Telford tract;

THENCE North 64 degrees 05 minutes 22 seconds East, departing the Easterly line of said Kemp tract and departing said Davis Road and with the common line between said Ellis Joint Venture 3 tract and said Telford tract, pass at a distance of 22.64 feet, a concrete monument found and continue with said course and the common line between said Ellis Joint Venture 3 tract and said Telford tract for a total distance of 312.95 feet to a five-eighths inch iron rod with a plastic cap stamped "RPLS 4838" set for corner;

THENCE North 29 degrees 26 minutes 50 seconds West with a common line between said Ellis Joint Venture tract and said Telford tract a distance of 823.38 feet to the **PLACE OF BEGINNING**, and containing a calculated area of 76.960 acres (3,352,391 square feet) of land.

SURVEYORS CERTIFICATE TO:

Ellis Joint Venture, AeroFirma and/or Assigns, Alliant National Title Insurance Company, and their affiliated entities, successors and assigns;

This is to certify that this map or plat and the survey on which it is based, were made in accordance with 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys jointly established and adopted by ALTA and NSPS 2016.
The field work was completed on November 27, 2019.

 12/19/19

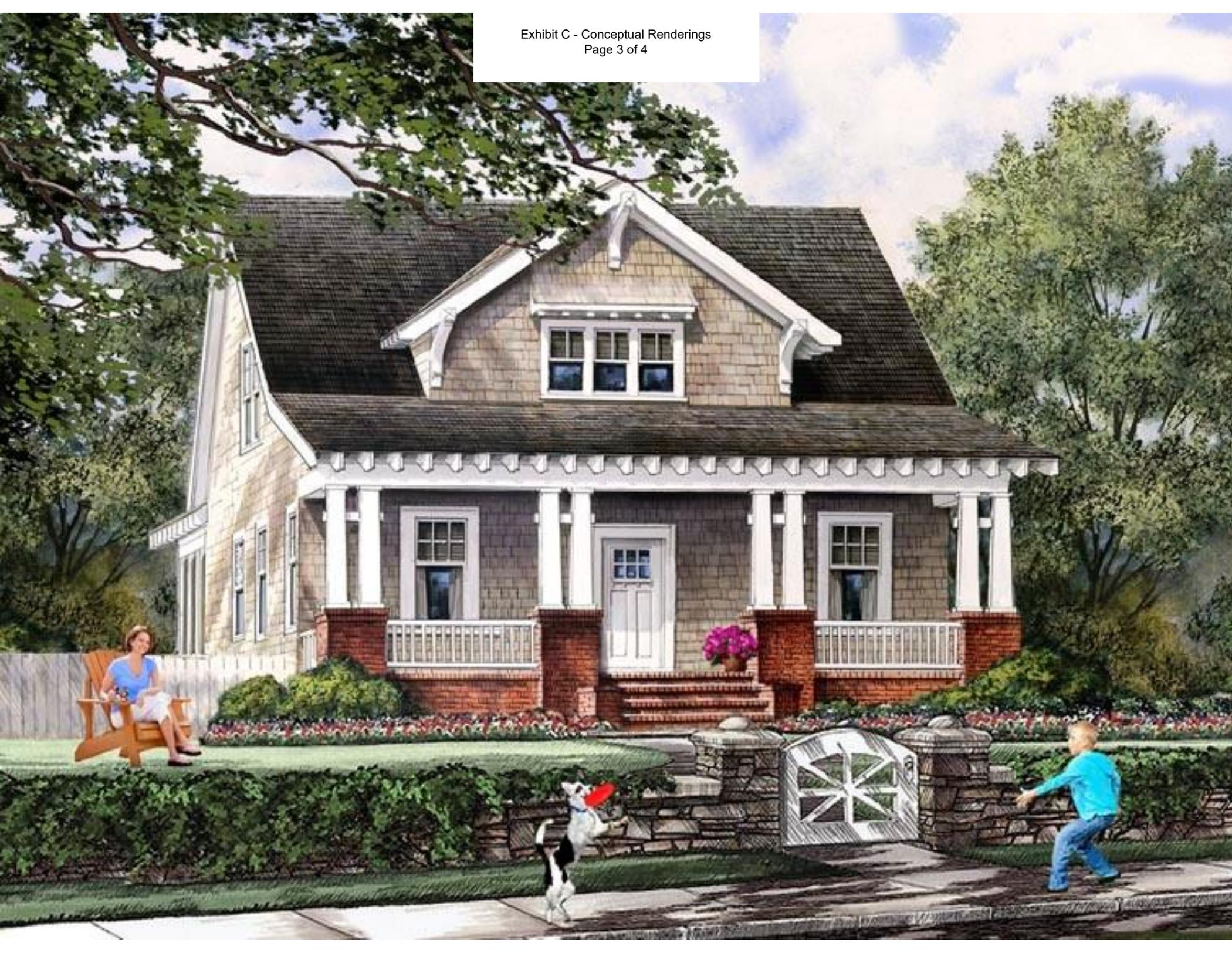
Michael Dan Davis DATE:
— Registered Professional Land Surveyor No. 4838
BANNISTER ENGINEERING, LLC
T.B.P.L.S. REGISTRATION NO. 10193823
240 NORTH MITCHELL ROAD
MANSFIELD, TEXAS 76063
Office (817) 842-2094



REVISED: December 19, 2019 / Revised Easement Label.
REVISED: December 11, 2019 / Addressed updated title commitment.









Legislation Details (With Text)

File #: 20-10569 **Version:** 1 **Name:** SU201101 - Impound Lot at 2409 E Main St
Type: Ordinance **Status:** Public Hearing
File created: 11/2/2020 **In control:** Planning and Zoning Commission
On agenda: 11/9/2020 **Final action:**
Title: SU201101 - Specific Use Permit/Site Plan - Impound Lot at 2409 E Main St (City Council District 5). Specific Use Permit & Site Plan request for Auto Impound uses on four industrial lots. 1.402 acres out of the Thomas Collins Survey, Abstract 308, being Westover Place Addition, Block A, Lots 3,4,7 & 8, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) District and designated Specific Use Permit-814A, located in CBD No. 4, generally located southeast of E. Main Street and Bagdad Road, and addressed as 2409 E. Main Street.

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A Location Map SU201101](#)
[Exhibit B Site Plan SU201101](#)
[Exhibit C Elevations SU201101](#)
[Exhibit D Operational Plan SU201101](#)
[Exhibit E Legal Descript SU201101](#)

Date	Ver.	Action By	Action	Result
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From

Monica Espinoza, Executive Assistant

Title

SU201101 - Specific Use Permit/Site Plan - Impound Lot at 2409 E Main St (City Council District 5). Specific Use Permit & Site Plan request for Auto Impound uses on four industrial lots. 1.402 acres out of the Thomas Collins Survey, Abstract 308, being Westover Place Addition, Block A, Lots 3,4,7 & 8, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) District and designated Specific Use Permit-814A, located in CBD No. 4, generally located southeast of E. Main Street and Bagdad Road, and addressed as 2409 E. Main Street.

Presenter

Charles Lee, AICP, CBO, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

SU200701/S200701 -Specific Use Permit/Site Plan -Impound Lot at 2409 E. Main St. Rudy’s- Auto Sales (City Council District 5). A request to consider amending Specific Use Permit-814A (S-814A) to allow for Auto Impound Lot use on a portion of the property. The 1.402-acres property is out of the Thomas Collins Survey, Abstract 308, being Westover Place Addition, Block A, Lots 3,4,7 & 8, City of Grand Prairie, Dallas County, Texas, zoned Light Industrial (LI) District and designated Specific Use Permit-814A, located in CBD No. 4, generally located southeast of E. Main Street and Bagdad Road, addressed as 2409 E. Main Street.

PURPOSE OF THE REQUEST:

This request was prompted by using portions of the property for on-site impound and storage of inoperable vehicles. As a result, the operator has received citations and fines for code violations in storing inoperable and wrecked vehicles on the property. In response, the operator is seeking to amend S-814A and site plan to allow for auto impound ‘yard’ uses on the property.

Auto Impound ‘Yard’ Use is defined as a facility used for temporary impound and/or storage of abandoned or inoperable automotive vehicles prior to being reclaimed, repaired or transported. An auto impound use require the approval of Specific Use Permit (SUP) within the LI zoning district.

HISTORY:

The property was used for miscellaneous outside storage of trucks and trailers prior to the current used car dealership.

- March 2009, City Council authorized SUP-814A allowing for used auto sales (Del Norte Motors aka, Rudy’s Auto Sales).
- February 2010, an additional Certificate of Occupancy was issued for (Tejano Truck Sales)
- April 2011, City Council review and renew granting permanent authorization for SUP-814.

Both dealerships, and a finance division of the businesses are currently housed out of an 840 sq. ft. masonry office building. The office building is located on the western portion of the property. The site provides of approximately 124 parking spaces for car and truck sales inventory.

ADJACENT LAND USES AND ACCESS:

Direction	Zoning	Existing Land Use
North	Planned Development-237 (PD-237) District	Vacant
East	Planned Development-237 (PD-237) District	Lito Auto Sales
West	Light Industrial (LI) District	Dario Auto Sales
South	Light Industrial (LI) District	Auto Related Business

Access to the site is from an existing commercial driveway located on the eastern portion of the site connecting to E. Main Street and extending to the southern portion of the property. The site is secured with an 8’ wrought-iron fence along the property’s perimeter and a matching 8’ wrought iron gate securing entry during non-business hours.

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The existing used car dealerships function and operate within the accepted standards and practices regarding the placement of sales inventory, customer and employee parking spaces. The operator proposes to set aside

approximately 40 spaces (gated) for repossessed vehicles, as shown on the updated site exhibit.

CODE VIOLATIONS:

Storing of inoperable and wrecked vehicles continue to occur on the site resulting in fines and citations in violation of Article XX-Automotive Related Business Regulations, Section 29-138 referenced below.

Sec. 29-138. - Outside storage of inoperable vehicles and auto parts.

(a) It shall be unlawful for any materials used in repair, inoperable vehicles, vehicle parts or any other related materials to be stored outside an enclosed building at a body shop, auto repair shop or used car lot, unless the business has a duly issued certificate of occupancy that specifically allows such storage or use.

(b) The practice of storing salvaged parts of such vehicles and/or the salvaging of any used parts of such vehicles is specifically prohibited except for at a duly licensed and legally operated salvage yard.

(Ord. No. 5679, § 3, 10-15-96; Ord. No. 7746, § 1, 3-4-08)

CONFORMANCE WITH COMPREHENSIVE PLAN:

The subject property is designated as appropriate for Commercial Retail & Office uses on the Future Land Use Map (FLUM). Commercial, Office and Retail typically include commercial uses appropriate for retail and office environments. The proposal is inconsistent with the FLUM.

Objective 15: Policy 11 of the Comprehensive Plan addresses Auto Related Business (ARB) by advocating for SUP requirement with conditions and standards when considered.

APPLICABLE DEVELOPMENT STANDARDS:

This site shall conform to the Auto-Related Business (ARB) Standards including no outside repair and/or storage of parts and materials, this includes junked, wrecked and salvaged vehicles. Parking of vehicles shall be on designated areas.

RECOMMENDATION:

DRC Staff cannot support the request for an impound yard within the Light Industrial district and due to the continuing efforts made by:

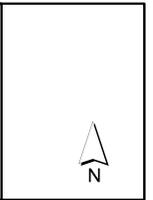
- Adoption of Auto-Related Business Ordinance (Updated)
- Ongoing collaboration of ongoing Code Enforcement, Environmental Services and Planning Department efforts in securing environmentally safe, viable, well maintained auto related business sector of Grand Prairie's Central Business District utilizing acceptable best practices, for promoting the health, safety, welfare and overall aesthetics of Grand Prairie's (CBD) Central Business District.
- Setting a precedent for other auto-related businesses in the practice of storing repossessed and wrecked/salvaged inventory.

If considered for approval DRC staff recommends the operator comply with the following conditions:

Provide a log and/or a valid record for all repossessed vehicles located on the premises. The log/ledger shall be created upon receipt and release of said vehicle on the premises. The log/ledger shall include the Vehicle Identification Number (VIN), owner name and date the vehicle arrived on the premises. Loading and unloading of vehicles done on-site, not permitted within public's rights-of-way. Nonrepairable Motor Vehicles and Salvage Motor Vehicles are prohibited from being on-site longer than seven (7) calendar days.

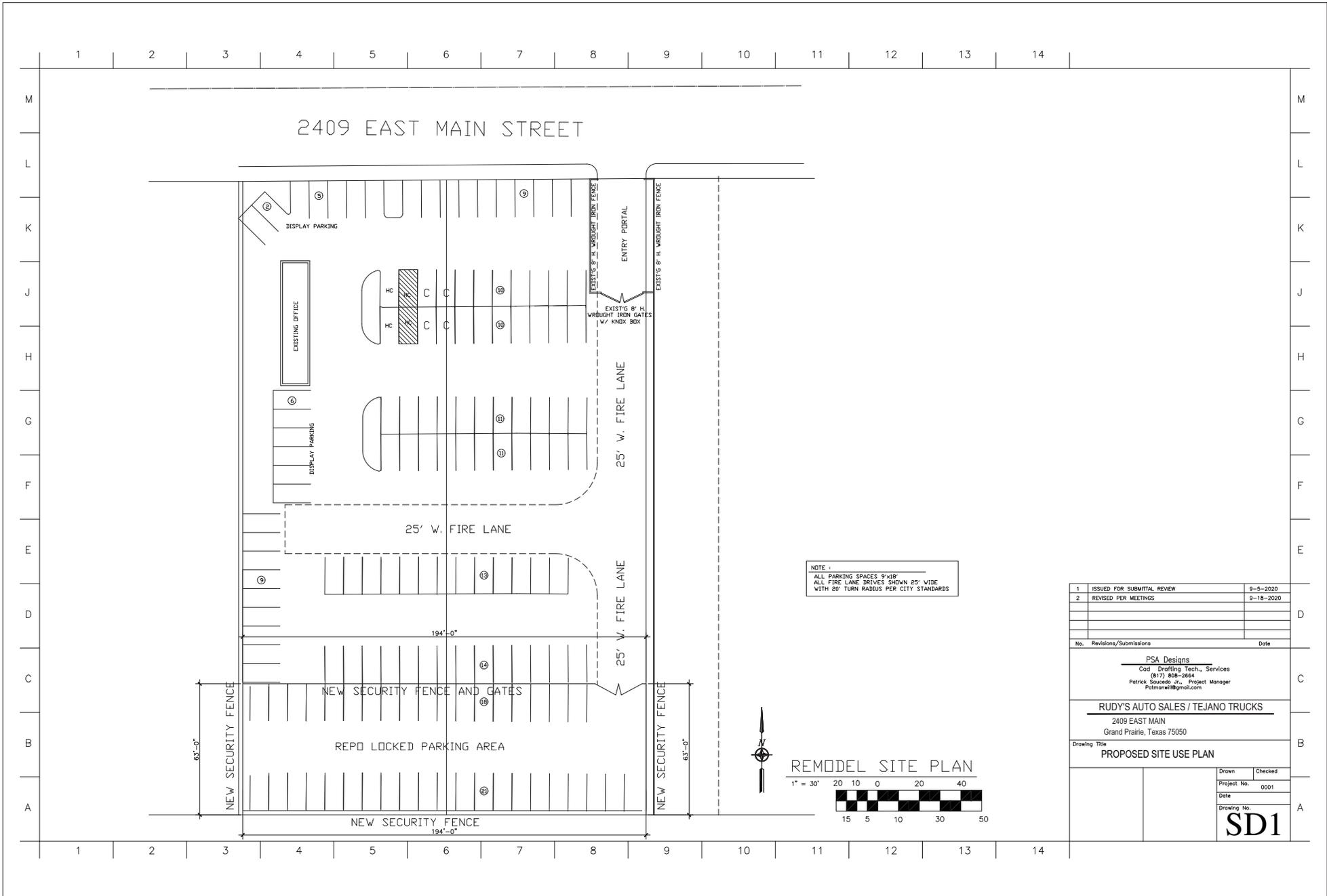


CASE LOCATION MAP
SU201101 - Specific Use Permit
Impound Lot at 2409 E. Main St.



City of Grand Prairie
Development Services
(972) 237-8255
www.gptx.org

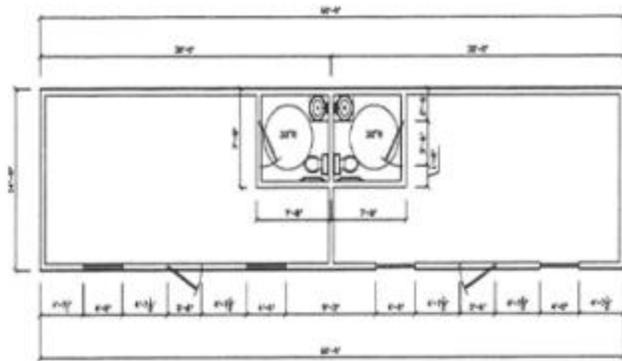
EXHIBIT B - SITE PLAN
PAGE 1 OF 1



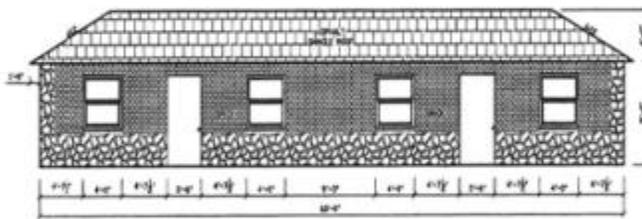
NOTE:
ALL PARKING SPACES 9'x18'
ALL FIRE LANE DRIVES SHOWN 25' WIDE
WITH 20' TURN RADIUS PER CITY STANDARDS

1	ISSUED FOR SUBMITAL REVIEW	9-5-2020
2	REVISED PER MEETINGS	9-18-2020
No.	Revisions/Submissions	Date
PSA Designs Cad Drafting Tech., Services (817) 808-2664 Patrick Saucedo Jr., Project Manager patsaucedo@gmail.com		
RUDY'S AUTO SALES / TEJANO TRUCKS 2409 EAST MAIN Grand Prairie, Texas 75050		
Drawing Title		
PROPOSED SITE USE PLAN		
	Drawn	Checked
	Project No.	0001
	Date	
	Drawing No.	SD1

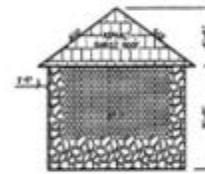
EXHIBIT C - ELEVATIONS
PAGE 1 OF 1



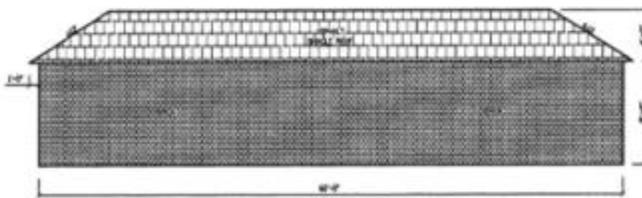
FLOOR PLAN



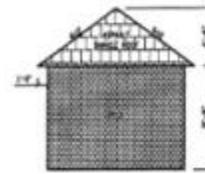
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

RUDY'S AUTO SALES
2409 EAST MAIN STREET
FLOOR PLAN & ELEVATIONS
SCALE 1/4" = 1'-0"

BUSINESS PLAN FOR 2409 E. MAIN

This is an existing used auto sales lot here. There are two businesses, Tejano Trucks, and Rudy's Auto Sales. They, along with three other lots (one in Irving, and two in Dallas) are all owned by one person, who also owns the finance company that finances some of the vehicles.

Unfortunately, some of the vehicles must be repossessed. They propose to use the far southern end of the property as a holding lot for the repossessed vehicles.

There will be no change to the existing business operated at Rudy's Auto Sales, or Tejano Trucks. They will continue to operate as allowed under the current Auto Sales SUP that is in place. The applicant (owner) also owns the aforementioned three dealerships (Irving Trucks in Irving, and two more Rudy's Auto Sales sites in Dallas). All vehicles sold or displayed for sale at this address are placed for sale by Rudy's Auto Sales, or Tejano Trucks, or on inter-dealership loan from one of the above named affiliate dealerships. All vehicles on sales lot are sold from the same office, by the same owner. All sales vehicles have a "Terms of Sale" sticker in the window, with the dealer name on it.

They have to keep the repossessed vehicles for 30 days to allow the folks an opportunity to redeem them. Also, sometimes they have been damaged, and there are insurance company delays before vehicles can be resold. Also there are very few instances of a legal claim against a vehicle (NTTA, TxDot, etc.) and these must be resolved before vehicles can be resold. However, under no circumstances will any vehicle be in this lot for a period greater than 180 days from arrival.

There will ONLY be vehicles that are owned/financed by the owner of the property stored here. Paperwork (Copies of titles, with impound dates stamped on them) will be kept on file for each vehicle.

All ARB rules and regulations will continue to be strictly adhered to.

NO SALVAGING OR OTHER WORK WILL BE DONE ON ANY VEHICLES, EXCEPT FOR WHATEVER IS NECESSARY TO ALLOW THEM TO BE MOVED.

EXHIBIT E - LEGAL DESCRIPTION
PAGE 1 OF 2

FIELD NOTES TRACT 2:

BEING a part of Lots 3 and Lot 7, Block A, Westover Place Addition, an Addition to the City of Grand Prairie, according to the Plat thereof recorded in Volume 1, Page 396, of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod set with cap marked "KSC 4019" in the south line of East Main Street (Tx. Hwy. 180)(100' right-of-way) being in the east line of Lot 3 and the west line of Lot 4, and said Point of Beginning bears: S. 00°18'52" W., 25.72 feet from the original northeast corner of said Lot 3;

THENCE S. 00°18'52" W., with the common east line of said Lot 3, with the west line of said Lot 4, at 159.28 feet passing the southeast corner of said Lot 3, the southwest corner of said Lot 4, the northwest corner of Lot 7, and the northwest corner of Lot 8, and continuing S. 00°18'52" W., with the common east line of said Lot 7 with the west line of Lot 8, in all a total distance of 305.28 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" for corner;

THENCE S. 89°58'46" W., over and across said Lot 7, with a line that is 39.00 feet north of and parallel to the south line of Said Lot 7, for a distance of 100.00 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" set for corner in the west line of said Lot 7, the east line of said Lot 6;

THENCE N. 00°18'52" E., with the common west line of said Lot 7, with the east line of said Lot 6, at 146.00 feet passing the common northeast corner of said Lot 6, the southwest corner of said Lot 3, the southeast corner of Lot 2, and continuing N. 00°18'52" E., in all a total distance of 304.56 feet to a 5/8 inch iron rod set for corner in the south line of said East Main Street;

THENCE N. 89°33'58" E., over and across said Lot 3, for a distance of 100.01 feet to the Point of Beginning and containing 30,491 square feet or 0.700 of an acre of land more or less.

RECEIVED

SEP 29 2020

SURVEY PLAT / TRACT 2		
LOT 3 AND LOT 7, BLOCK A WESTOVER PLACE ADDITION		
City of Grand Prairie, Dallas County, Tx.		
KEETON SURVEYING COMPANY		
H.B. KEETON	M.S. "STEVE" KEETON	
REGISTERED PROFESSIONAL LAND SURVEYORS		
2037 DALWORTH STREET GRAND PRAIRIE, TEXAS		
PHONE: (972) 641-0843	FAX: (972) 647-0154	
E-MAIL: ksc4019@abglobal.net		
DATE:	SCALE:	FILE:
8/1/2005	1"=40'	WP-TRACT-2.dwg

EXHIBIT E - LEGAL DESCRIPTION
PAGE 1 OF 2

FIELD NOTES TRACT 1:

BEING a part of Lots 4 and Lot 8, Block A, Westover Place Addition, an Addition to the City of Grand Prairie, according to the Plat thereof recorded in Volume 1, Page 396, of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found for corner in the south line of East Main Street (Tx. Hwy. 180)(100' right-of-way) and the west line of S.E. 25TH Street (40' right-of-way) vacated by the City of Grand Prairie, said **Point of Beginning** bears: S. 00°18'52" W., 25.00 feet from the northeast corner of said Lot 4;

THENCE S. 00°18'52" W., with the east line of said Lot 4 and Lot 8 and with the west line of said S.E. 25TH Street for a distance of 306.00 feet to a 1/2 inch iron rod found for corner, which bears: N. 00°18'52" E., 39.00 feet from the southeast corner of said Lot 8;

THENCE S. 89°58'46" W., over and across said Lot 8, for a distance of 100.00 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" in the west line of said Lot 8, and the east line of Lot 7;

THENCE N. 00°18'52" E., with the west line of said Lot 8 and Lot 4, and the east line of Lot 7, for a distance of 305.28 feet to a 5/8 inch iron rod set with cap marked "KSC 4019" in the south line of said East Main Street;

THENCE N. 89°33'58" E., over and across said Lot 4 and with the south line of said East Main Street for a distance of 100.01 feet to the **Point of Beginning** and containing 30,563 square feet or 0.702 of an acre of land more or less.

RECEIVED

SEP 29 2020

SURVEY PLAT / TRACT 1		
LOT 4 AND LOT 8, BLOCK A WESTOVER PLACE ADDITION		
City of Grand Prairie, Dallas County, Tx.		
KEETON SURVEYING COMPANY		
H.B. KEETON REGISTERED PROFESSIONAL LAND SURVEYORS 2037 DALWORTH STREET PHONE: (972) 641-0843		M.S. "STEVE" KEETON REGISTERED PROFESSIONAL LAND SURVEYORS GRAND PRAIRIE, TEXAS FAX: (972) 647-0154
E-MAIL: ksc4019@abcglobal.net		
DATE: 8/1/2005	SCALE: 1"=40'	FILE: WP-TRACT-1.dwg