



City of Grand Prairie

City Hall
300 W. Main Street
Grand Prairie, Texas

Meeting Agenda

City Council

Tuesday, March 3, 2020

4:30 PM

City Hall - Briefing Room
317 College Street

Call to Order

Stall Presentations

- 1 [20-9841](#) Crime Tax Election Education Plan - Presented by Amy Sprinkles, Marketing, Communication and Libraries Director
- 2 [20-9840](#) Census Promotion Plan - Presented by Amy Sprinkles, Marketing, Communication and Libraries Director
- 3 [20-9842](#) Big Event Update - Presented by Marcela Perez, Volunteer Coordinator

Agenda Review

Executive Session

The City Council may conduct a closed session pursuant to Chapter 551, Subchapter D of the Government Code, V.T.C.A., to discuss any of the following:

- (1) Section 551.071 "Consultation with Attorney" Dallas County et al vs. Kathleen Bailey et al, TX-09-31614, 160th District Court, Dallas County*
- (2) Section 551.072 "Deliberation Regarding Real Property"*
- (3) Section 551.074 "Personnel Matters"*
- (4) Section 551.087 "Deliberations Regarding Economic Development Negotiations"*

Recess Meeting

6:30 PM Council Chambers

**Invocation: Pastor Stanley E. Smith, Faith Fellowship Missionary Baptist Church
Pledge of Allegiance to the US Flag and to the Texas Flag led by Council Member Jeff Wooldridge**

Presentations

- 4 [20-9700](#) National School Social Workers Week Proclamation - Presented by Mayor Ron Jensen

Attachments: [2020 National School Social Work Week](#)

Consent Agenda

The full agenda has been posted on the city's website, www.gptx.org, for those who may want to view this agenda in more detail. Citizens may speak for five minutes on any item on the agenda by completing and submitting a speaker card.

- 5 [20-9839](#) Minutes of the February 18, 2020 Council Meeting
Attachments: [02-18-2020 Council Minutes](#)
- 6 [20-9814](#) Ratify the CoStar License Agreement for real estate analytics software with CoStar Realty Information, Inc. in the cumulative amount of \$82,073.34 (This agreement was for an initial one-year term with successive one-year renewals beginning in September of 2009, and is requested to be ratified for its previous expenditures.)
- 7 [20-9831](#) Interlocal Price Agreement for Body Worn Cameras with Axon, Inc., in the amount of \$15,631 for the current year, and for \$8,544 for each of the four subsequent renewals, totaling \$49,807 if all extensions are executed through a national interlocal agreement with Buyboard; and authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms
Attachments: [Expenditure Information Form - Animal Services Body Cams](#)
- 8 [20-9830](#) Purchase audio/video equipment for the Public Safety Building (PSB) from Ford Audio Video Systems LLC in the amount of \$58,863.36 through a national interlocal agreement with TIPS
- 9 [20-9799](#) Assignment of Contract for Fleet Hydraulic Equipment Maintenance and Repairs from CMB Industries, LLC to TLR Hydraulics, Inc. in the amount of \$50,000 annually for one year, with the option to renew for four additional one-year periods, totaling \$250,000 if all renewal options are exercised; and authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

- 10 [20-9800](#) Purchase Agreement with SHI Government Solutions Inc. for 700 Microsoft Windows 10 Professional Licenses in the amount of \$84,231.00 through a state interlocal agreement with DIR
Attachments: [EXP 20-9800.xlsx](#)
- 11 [20-9802](#) Contract with Kraftman Commercial Playgrounds and Water Parks in the amount of \$635,419.41 with a 5% contingency in the amount of \$31,771, a total of \$667,190.41, through a national interlocal agreement with Buyboard; additionally reject all bids received under RFB #20019
Attachments: [20-9802 - Splash Factory Improvements.xlsx](#)
[20019 - CC Exhibit.pdf](#)
- 12 [20-9822](#) Authorize and confirm the purchase of a 12.066-acre tract of land located at 2700 Kingswood Blvd. from Gra-Son Land, Inc. for \$105,115
Attachments: [EXHIBIT A AERIAL.pdf](#)
[620.97 WTER.xlsx](#)
[620.113 WWST.xlsx](#)
- 13 [20-9834](#) Change Order to our interlocal price agreement for IT Temporary Staffing from Robert Half International, Inc. in the increased amount not to exceed \$80,000 to the current term; additionally authorize the City Manager to execute a final one-year renewal term in the increased estimated annual amount not to exceed \$160,000, all through a Master Interlocal Agreement with the HGAC
- 14 [20-9806](#) Interlocal price agreement for NetMotion Software, Licensing, and Maintenance from Mobile Wireless LLC in the annual amount of \$21,772.80 with up to a 5% annual increase for a one-year period, through a state interlocal agreement with DIR
Attachments: [EXP 20-9806.doc](#)
- 15 [20-9810](#) Authorize City Manager to execute Memorandum of Understanding with American Cricket Enterprises for development of a cricket stadium in Grand Prairie's Entertainment District
- 16 [20-9813](#) Authorize the City Manager to enter Assignment and Assumption Agreements for the city's Price Agreements for *Traffic Signal Parts* and *Traffic Signal Cabinets* from TrafficWare Group, Inc. to Cubic ITS, Inc. The *Traffic Signal Parts* agreement is for \$37,109 annually for one final year; the *Traffic Signal Cabinets* agreement is for \$146,925 annually for one year initially with the option to renew for four additional one-year periods totaling \$735,625 if all renewal options are exercised; and authorize the City Manager to execute any additional renewal options with aggregate price fluctuations up to \$50,000 or 25% of the original contract value so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)

- 17 [20-9803](#) Ordinance amending Chapter Five, "Animal Services," Section 5-14 of the Code of Ordinances of the City of Grand Prairie, Texas, to adjust adoption policy to reflect industry best practices and discontinue adopter-specific citation process
- 18 [20-9819](#) Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Authorization to appropriate \$38,550,000 for EPIC Central Projects
Attachments: [20-9819 EPIC Central Projects](#)
- 19 [20-9820](#) Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Construction contract with McMahon Contracting, LP for Cottonwood Creek Drainage Improvements at Marshall Drive and Robinson Road to include Paving Improvements for Alternate No. 1 bid in the total amount of \$3,341,969.01; material testing with Alliance Geotechnical Group in the amount of \$91,812.60; in-house engineering in the amount of \$167,098.45; and 5% construction contract contingency in the amount of \$167,098.45 for a total project cost of \$3,767,978.51
Attachments: [618.77 STRT.xlsx](#)
[WO615.50 LTRRecommendation.pdf](#)
[615.60 STRM](#)
- 20 [20-9823](#) Ordinance adopting the Housing Administration (Fund 3001) and Housing Choice Voucher (Fund 3002) operating budgets for calendar year 2020 and fiscal year 2019-2020; allocating, approving, and authorizing the expenditure of \$90,020 of the Housing Administrative Reserve Fund (3001) for the purchase of (3) three replacement vehicles
Attachments: [Exhibit A](#)
[Exhibit B](#)
- 21 [20-9824](#) Ordinance amending the FY 2019/20 Capital Improvement Projects Budget; Construction contract with Excel Trenching for 30"/36" Robinson Road Waterline, in the total amount of \$4,696,891.40; material testing with Alliance Geotechnical Group in the amount of \$88,552.20; in-house engineering in the amount of \$140,906; and 5% construction contract contingency in the amount of \$234,844 for a total project cost of \$5,161,193.60
Attachments: [W.O # 618.113 Excel Trenching Recommendation of Award Letter.pdf](#)
[618.113 WTER.xlsx](#)
- 22 [20-9827](#) Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Change Order/Amendment No. 2 with Petroleum Solutions, Inc. of Grand Prairie for additional expenses for the installation of above-ground fuel tanks at the pump station in the amount of \$31,988.07
Attachments: [619.147 WTER.xlsx](#)

- 23** [20-9811](#) Ordinance Amending Chapter 30 "Cable Television," Chapter 11 "Finance Records and Property," and Chapter 13 "Health and Sanitation," of the Code of Ordinances of the City of Grand Prairie, Texas, to provide a new address for directing certain communications to the City of Grand Prairie; Repealing all ordinances or parts of ordinances in conflict herewith; And providing an effective date
- 24** [20-9807](#) Ordinance cancelling the May 2, 2020 General Election and Declaring Unopposed Candidates Elected
- 25** [20-9804](#) Ordinance amending the FY 2019/2020 Capital Improvements Projects Budget; contract with Trane in the amount of \$96,204 for the complete replacement of a HVAC 50 ton RTU at the Summit through a national interlocal agreement with OMNIA Partners; purchase of building management system controls from Enviromatic Systems in the amount of \$25,017 through an existing City Price Agreement through a national interlocal agreement with BuyBoard for a total project cost not-to-exceed \$121,221
Attachments: [20-9804 - Summit HVAC Replacement.xlsx](#)
- 26** [20-9801](#) Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Purchase Agreement for audio visual equipment, supplies and installation for the Municipal Court from Ford Audio-Video Systems, LLC in the amount of \$59,336, through a national interlocal agreement with BuyBoard
Attachments: [FordAVProposal.pdf](#)
[20-9801 Muni Court Audio Video](#)
- 27** [20-9797](#) Ordinance amending the FY 2019/2020 Capital and Lending Reserve Fund and Capital Improvement Projects Budget; Change Order/Amendment #6 with Hill and Wilkinson, in an amount not to exceed \$500,000, for additional concrete parking expansion, parking lot lighting, landscape and irrigation, and drainage additions for PlayGrand Adventures Phase 1
Attachments: [Mini FS Capital and Lending Reserve Fund 2021.xls](#)
[20-9797 PlayGrand Parking Lot](#)

Public Hearing Consent Agenda

- 28 [20-9815](#) S181009A - Site Plan - Creekside at Grand Prairie (City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Attachments: [Exhibit A - Location Map](#)

[Exhibit B - Amended Site Plan](#)

[Exhibit C - Building Elevations](#)

[Exhibit D - Landscape Plan](#)

[PZ Draft Minutes 02-24-2020.pdf](#)

Public Hearing on Zoning Applications

- 29 [20-9793](#) Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block D, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Attachments: [Exhibit A - Location Map.pdf](#)

[Exhibit B - Zoning Comparison.pdf](#)

[Exhibit C - Letter of Support.pdf](#)

[PZ Draft Minutes 02-24-2020.pdf](#)

- 30** [20-9794](#) Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Attachments: [Exhibit A - Location Map](#)
[Exhibit B - Zoning Document](#)
[Exhibit C - Garage Calculations](#)
[PZ Draft Minutes 02-24-2020.pdf](#)

Items for Individual Consideration

- 31** [20-9812](#) Board and Commission Appointments

Attachments: [Perez-Wooten Board Applications](#)

Citizen Comments

Citizens may speak during Citizen Comments for up to five minutes on any item not on the agenda by completing and submitting a speaker card.

Adjournment*Certification*

In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A, the City Council agenda was prepared and posted February 28, 2020.

Catherine E. DiMaggio, City Secretary

The Grand Prairie City Hall is accessible to people with disabilities. If you need assistance in participating in this meeting due to a disability as defined under the ADA, please call 972-237-8018 or email Mona Lisa Galicia (mgalicia@gptx.org) at least three (3) business days prior to the scheduled meeting to request an accommodation.



Legislation Details (With Text)

File #: 20-9841 **Version:** 1 **Name:** Crime Tax Education
Type: Presentation **Status:** Staff Presentations
File created: 2/27/2020 **In control:** City Secretary
On agenda: 3/3/2020 **Final action:**
Title: Crime Tax Election Education Plan - Presented by Amy Sprinkles, Marketing, Communication and Libraries Director
Sponsors:
Indexes:
Code sections:
Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Title
Crime Tax Election Education Plan - Presented by Amy Sprinkles, Marketing, Communication and Libraries Director



Legislation Details (With Text)

File #: 20-9840 **Version:** 1 **Name:** Census Promotion Plan
Type: Presentation **Status:** Staff Presentations
File created: 2/27/2020 **In control:** City Secretary
On agenda: 3/3/2020 **Final action:**
Title: Census Promotion Plan - Presented by Amy Sprinkles, Marketing, Communication and Libraries Director

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Title

Census Promotion Plan - Presented by Amy Sprinkles, Marketing, Communication and Libraries Director



Legislation Details (With Text)

File #: 20-9842 **Version:** 1 **Name:** Big Event Update
Type: Presentation **Status:** Staff Presentations
File created: 2/27/2020 **In control:** City Secretary
On agenda: 3/3/2020 **Final action:**
Title: Big Event Update - Presented by Marcela Perez, Volunteer Coordinator
Sponsors:
Indexes:
Code sections:
Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Title
Big Event Update - Presented by Marcela Perez, Volunteer Coordinator



Legislation Details (With Text)

File #: 20-9700 **Version:** 1 **Name:** National School Social Workers Week - Presented by Mayor Ron Jensen

Type: Presentation **Status:** Presentations

File created: 1/14/2020 **In control:** City Secretary

On agenda: 3/3/2020 **Final action:**

Title: National School Social Workers Week Proclamation - Presented by Mayor Ron Jensen

Sponsors:

Indexes:

Code sections:

Attachments: [2020 National School Social Work Week](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

Title
National School Social Workers Week Proclamation - Presented by Mayor Ron Jensen

WHEREAS, school social workers serve as vital members of the educational team, playing a central role in creating a positive environment at schools; and

WHEREAS, school social workers are especially skilled in identifying and providing services to students who face serious challenges to school success, including poverty, disability, discrimination, abuse, addiction, bullying, loss of a loved one, and other barriers to learning; and

WHEREAS, school districts and local educational agencies should continue to work with school social workers to address students' social, emotional, physical, mental health, and environmental needs so that students may achieve academic success;

NOW, THERFORE, I, Mayor Ron Jensen, on behalf of the citizens and City Council of Grand Prairie, Texas, do hereby proclaim March 2-6, 2020 as:

NATIONAL SCHOOL SOCIAL WORK WEEK

WITNESS MY HAND AND THE SEAL OF THE CITY OF GRAND PRAIRIE, TEXAS, on this 4th day of March 2020.


Ron Jensen, Mayor



Legislation Details (With Text)

File #:	20-9839	Version:	1	Name:	February 18, 2020 Minutes
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	2/26/2020	In control:		In control:	City Secretary
On agenda:	3/3/2020	Final action:		Final action:	
Title:	Minutes of the February 18, 2020 Council Meeting				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	02-18-2020 Council Minutes				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Cathy DiMaggio

Title
Minutes of the February 18, 2020 Council Meeting

Presenter
Cathy DiMaggio, City Secretary

Recommended Action
Approve

Analysis
Minutes are attached.



City of Grand Prairie

City Hall
300 W. Main Street
Grand Prairie, Texas

Minutes - Final

City Council

Tuesday, February 18, 2020

4:30 PM

City Hall - Briefing Room
317 College Street

Call to Order

Mayor Jensen called the meeting to order at 4:30 p.m.

Present 9 - Mayor Ron Jensen
Mayor Pro Tem Greg Giessner
Deputy Mayor Pro Tem Jorja Clemson
Council Member Jeff Copeland
Council Member Mike Del Bosque
Council Member Cole Humphreys
Council Member John Lopez
Council Member Jim Swafford
Council Member Jeff Wooldridge

Staff Presentations

1 Legislative Update - Presented by Andrew Fortune, Assistant to the City Manager

Andrew Fortune, Assistant to the City Manager, reported that there is a meeting set up with the City of Dallas next week to discuss Hensley Field Redevelopment.

Mr. Fortune said the Comptroller extended the comment period about the destination sales tax issue. He said this has the potential to carry over into the next Legislative Session. Mayor Pro Tem Giessner asked about the difference between a brick and mortar business and the internet. Mr. Fortune said the definition of a place of business has changed.

Council Member Lopez referred to Hensley Field and said that Dallas wants to bring more mixed use on the site.

Presented

2 Fire Department 2019 Community Report - Presented by Chief Robert Fite

Robert Fite, Fire Chief, distributed the 2019 Community Report. He referred to the org chart which was broken into three divisions: operations, administration and emergency management. Chief Fite said there are 239 uniformed firefighters and 217 paramedics. He said there are also eleven police officers in the department as arson investigators. Chief Fite went through operating costs per firefighter and per truck and station. He said there is a \$34 million budget and \$31 million of the budget is employees. Chief Fite said the ambulance subscription program is not profitable and federal guidelines say this program must be profitable. Therefore, the cost will need to be increased and will be discussed with the council committees. EMS statistics show that patients are predominantly transported to Medical City of Arlington. Another division of the Fire

Department is Emergency Management comprised of three employees. He said training is averaging 139 hours per staff members per year. Council Member Copeland asked about the collaboration of training facility with Irving. Chief Fite said the cities alternate a week on and week off and it is working well. Council Member Lopez asked how the crime tax referendum in May would affect the Fire Department. Chief Fite replied if it did not pass, it would be devastating to every aspect of the General Fund. Mayor Jensen noted that WFAA had a piece on how much Dallas is spending to purchase a second set of equipment, but Grand Prairie has had a second piece of equipment for two years.

Presented

Agenda Review

Mayor Pro Tem Giessner asked if Council had any questions on the the Consent Agenda and there were none. He then stated that Items 17 and 18 on the Public Hearing Consent Agenda would need to be tabled and asked if there were questions on Items 19-21. There were no questions on these items.

Executive Session

Mayor Jensen convened a closed session at 4:58 p.m. pursuant to Chapter 551, Subchapter D of the Government Code, V.T.C.A., Section 551.072 "Deliberation Regarding Real Property" and Section 551.087 "Deliberations Regarding Economic Development Negotiations." Mayor Jensen adjourned the closed session at 5:50 p.m.

Recess Meeting

Mayor recessed the meeting at 5:50 p.m.

6:30 PM Council Chambers

Mayor Jensen reconvened the meeting at 6:30 p.m.

Pastor Jeff Kirkpatrick, Rush Creek Church, gave the Invocation. The Pledge of Allegiance to the US Flag and to the Texas Flag were led by Council Member Cole Humphreys.

Presentations

3 Grand Prairie ISD Career and Technical Education Month Proclamation

Council Member Humphreys read the CTE Proclamation. Mayor Jensen presented the proclamation to Winston Minnix and members of the CTE Program.

Presented

Consent Agenda

Mayor Pro Tem Giessner moved, seconded by Deputy Mayor Pro Tem Clemson, to approve Items 4 through 16 on the Consent Agenda. The motion carried unanimously.

4 Minutes of the February 4, 2020 Council Meeting

Approved on the Consent Agenda

5 Price Agreement with Traffic Logix for preformed speed cushions (up to \$18,075 annually) for one year with the option to renew for four additional one year periods totaling \$90,375 if all extensions are exercised and authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal period

Approved on the Consent Agenda

6 Price Agreement for armored car services from Brink's U.S. through a national interlocal agreement with Choice Partners at an estimated annual cost of \$110,000 for one year with the option to renew for two additional one-year periods, totaling \$330,000 if all extensions are exercised and authorize the City Manager to execute the renewal options with aggregate price fluctuations of up to \$50,000 so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms. Additionally, reject all bids in connection with RFB# 20054

Approved on the Consent Agenda

7 Price Agreement for pest control services from Cantu Pest Control (up to \$12,280.00 annually) for one year with the option to renew for (4) additional one year periods totaling \$61,400 if all extensions are exercised and authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

Approved on the Consent Agenda

8 Price Agreement for office supply and furniture purchases from Office Depot through a national interlocal agreement with OMNIA Partners at an estimated cost of \$400,000 for sixteen months; for an initial term of sixteen months with the option to renew for four additional one-year periods totaling \$1,600,000 if all extensions are exercised

Approved on the Consent Agenda

- 9 Final renewal on the price agreement with Santos Construction, Inc. for concrete paving; approve a monetary increase of 1.11%, increasing the estimated annual amount to \$11,356,750.01; final renewal on the price agreement with McMahon Contracting for concrete paving and approve a monetary increase of 5.46%, increasing the estimated annual amount to \$11,215,149.62; final renewal on the price agreement with New Star Grading & Paving and approve a monetary increase of 0.96406%, increasing the estimated annual amount to \$13,420,371.96

Approved on the Consent Agenda

- 10 License for Keith T. Lewis and Dana R. Lewis, to allow for the encroachment of a detached garage at 22 Heritage Court on City Utility Easement

Approved on the Consent Agenda

- 11 Street Services contract with Cobb Fendley & Associates, Inc., in the amount of \$49,095, as well as a 5% contingency of \$2,455, for a total of \$51,550 for Professional Engineering Services related to the repair and rehabilitation of the pedestrian bridge located at Waggoner Park over Arbor Creek

Approved on the Consent Agenda

- 12 Peninsula PID Contract with Westra Consultants for Ponds Concept Study-Engineering Services in the amount of \$62,960 (Council Districts 4 and 6)

Approved on the Consent Agenda

- 13 Non-binding Memorandum of Understanding with Bolder Adventure Park for lease and operation of 7+ acres in EpicCentral (This item was tabled at the January 21, 2020 Council meeting.)

Paul Fontanelli, 10021 Fox Hill Drive, Fort Worth, submitted a speaker card in support of this item.

Approved on the Consent Agenda

- 14 Resolution amending the Municipal Maintenance Agreement between the City of Grand Prairie and the State of Texas Department of Transportation, providing for the City to conduct all litter collection along TxDOT rights-of-way in Tarrant County

Adopted

Enactment No: RES 5073-2020

- 15 Ordinance authorizing the abandonment of part of an un-needed drainage easement containing 0.147 acre (6,401s.f.) located at 1120 Prosperity Court to Donald Allen Ullrich for \$250

Adopted

Enactment No: ORD 10804-2020

- 16** Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Construction contract with Solid Bridge Construction in the amount of \$397,141 for the Lynn Creek Park Marina slope repair improvements at the Oasis; Material Testing with Team Consultants in the amount of \$19,708; contract contingency in the amount of \$19,857; In-House labor distribution in the amount of \$19,857 for a total project cost of \$456,563

Adopted

Enactment No: ORD 10805-2020

Public Hearing Consent Agenda

Mayor Pro Tem Giessner moved, seconded by Council Member Swafford, to table Items 17 and 18 on the Public Hearing Consent Agenda and approve Items 19 through 21. The motion carried unanimously.

- 17** CPA190604 - Comprehensive Plan Amendment- Grand Oaks (City Council District 2). Amendment to the Comprehensive Plan from Open Space/Drainage to Medium Density Residential on 9.4 acres out of the Aaron Wilson Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-198) and addressed as 3502 Country Club Dr. (On February 3, 2020, the Planning and Zoning Commission tabled this case by a vote of 7-0).

Tabled

- 18** Z190604/CP190604 - Planned Development Request/Concept Plan - Grand Oaks Single Family Residences (City Council District 2). Zoning Change and Concept Plan/PD Amendment for 59 lots intended for single-family residential development consisting of attached and detached units on the site of the former clubhouse for Grand Oaks Country Club. 9.4 acres out of the Aaron Wilson Survey, City of Grand Prairie, Dallas County, Texas, zoned Planned Development (PD-198) and addressed as 3502 Country Club Dr. The agent is Michael Salcedo, Salcedo Group, Inc. and the owner is Rick Mai, Rowsco, Inc. (On February 3, 2020, the Planning and Zoning Commission tabled this case by a vote of 7-0).

Tabled

Enactment No: ORD 10769-2019

- 19** S200201 - Site Plan - Presidium Hill Street Apartments (City Council District 5). A Site Plan for Presidium Hill Street Apartments, a 290 unit multi-Family Development. 13.1509 acres out of the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas. Zoned PD-392 District within the

SH-161 Overlay and addressed as 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski. (On February 3, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 7-0).

Robert Lewis, 13455 Noel Road, Dallas, submitted a speaker card in support of this item.

Approved

20

S200202 - Site Plan - Longhorn Steakhouse at Epic West Towne Crossing (City Council District 2). Site Plan for a 5,660-sq. ft. restaurant on 1.463 acres. Lot 6R, Block B, Epic West Towne Crossing Phase 1, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH-161 Corridor Overlay District, and addressed as 3134 S HWY 161. The applicant is James Powell, Darden, the consultant is Kourtne Airheart, CDS Development, and the owner is John Weber, Epic West Towne Crossing LP. (On February 3, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 7-0).

Kourtne Airheart, 14901 Quorum Drive Drive, #300, Dallas, submitted a speaker card in support of this item.

Approved

21

S200102 - Site Plan - Hakemy Retail Center (City Council District 3). Site Plan for an 8,000 sf retail building. Lot 1 and Lot 2, Block A, Hakemy Addition (proposed), 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP. (On February 3, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 7-0).

Approved

Mayor Jensen recognized and congratulated Anna Doll, Deputy City Manager, on her retirement after 37 years with the city.

Public Hearing on Zoning Applications

22

Z200201/S200204 - Zoning Change/Site Plan - Take 5 Oil Change at Victory at Lake Ridge (City Council District 6). Zoning change to allow Minor Auto Repair by right on property with a base zoning district of General Retail and a Site Plan for an oil change facility on 1.296 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom

Rd. The applicant: Robert Baldwin, Baldwin Associates and the owner is Tony Ramji, Victory @ Lakeridge LLC. (On February 3, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 7-0).

David Jones, Chief City Planner, stated this case was a PD Amendment to allow a Take Five Oil Change. He said customers would enter from Camp Wisdom. Mr. Jones said the overhead doors would be oriented to Camp Wisdom. The applicant has provided the required landscaping. Mr. Jones showed building elevations. He said the Planning and Zoning Commission required compliance with Appendix F which the applicant did except for the variance for overhead doors not facing the street. Mr. Jones said that in 2018 the city updated its use charts and definitions for auto-related businesses. One of the goals was to reevaluate the appropriateness of some uses within certain zoning districts and change the use charts to remove or restrict a use from certain zoning districts. The subject property is carved out of an existing lot and staff had a concern that the site boundaries and design will negatively impact how the remainder of the lot could be developed. Mr. Jones said putting the oil change at this site would create a remainder lot that would be difficult to develop. The staff Development Review Committee recommended denial. Mr. Jones said the Planning and Zoning Commission recommended approval with two conditions that the applicant meet all requirements of Appendix F and the landscaping along Camp Wisdom Road be consistent with the rest of the Victory at Lake Ridge development.

Council Member Swafford asked if the case had to be reworked, would it have to go back to the Planning and Zoning Commission. Mr. Jones replied that it would and it would take four weeks. Council Member Wooldridge stated that might give the applicant an opportunity to carve out a better layout. Mr. Jones said the applicant chose this site and would not want to purchase additional property. Mayor Jensen asked if the owner knew how this would impact future development of the remainder of the property. Council Member Lopez asked if there could there be a similar type of business come in on this property. Mr. Jones replied yes, there is another undeveloped lot adjacent. Council Member Lopez asked if rotating the building would make sense. Mr. Jones said it would not make sense because of the orientation of the building.

Council Member Copeland asked Ms. Klond what her plans were for the remainder of the property. Ms. Klond said no one was expressing interest. Council Member Copeland asked if the remaining property would be undevelopable. Ms. Klond said there were some things that could be developed there.

Mayor Pro Tem Giessner stated that leaving that odd shape would require a number of variances. Council Member Copeland said most bay doors are parallel and not in the front of the building. He asked Mr. Jones why they were asking for this variance. Mr. Jones said he assumed it was because that is what would fit in this space.

Robert Baldwin, 3904 Elm Street, #B, Dallas, stated he was the zoning consultant for this case. He said the closest oil change to this is east of SH360 on the north side and they have their bay doors facing the street. He said on the street frontage there would be a three ft. berm with tall shrubs. He said this offsets the variance by making a better design for the building.

Council Member Lopez said the Jiffy Lube Mr. Baldwin referred to is across the street from other businesses. He asked Mr. Jones what was across from Camp Wisdom at this site. Mr. Jones said it was single family. Mr. Baldwin said there would be a masonry wall around any single family development and it would back up to the oil

change. Mayor Pro Tem Giessner asked to see the location of the berm. Mr. Baldwin pointed out the area. Mayor Pro Tem Giessner asked if there was enough setback to avoid a problem with vision for traffic. Council Member Wooldridge asked if this would be the only section where there would be a berm. Mr. Baldwin said there would be 30' of landscaping. Council Member Copeland asked to see the overhead view of the area and asked to see what was drawn next to the site in question.

Council Member Wooldridge moved, seconded by Council Member Copeland, to close the public hearing and deny Case Z200201/S200204. The motion carried unanimously.

Ayes: 9 - Mayor Ron Jensen; Mayor Pro Tem Greg Giessner; Deputy Mayor Pro Tem Jorja Clemson; Council Member Jeff Copeland; Council Member Mike Del Bosque; Council Member Cole Humphreys; Council Member John Lopez; Council Member Jim Swafford and Council Member Jeff Wooldridge

23

CPA200202 - Comprehensive Plan Amendment (City Council District 5). A request to change the Future Land Use Map from Commercial/Office/Retail to Low Density Residential. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County Texas, zoned GR, General Retail. (On February 3, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 7-0).

Mr. Jones stated he would present Items 23 and 24 together but they should be voted on separately.

Mr. Jones said this case was to rezone the parcel from commercial to residential. He said this home would be similar to those that exist currently. Mr. Jones said the entire block is zoned Commercial. He said staff recommended that the request not be approved to allow time to study the Dalworth corridor before recommending any zoning changes.

Council Member Humphreys referred to the lot to the east that was rezoned and asked if it was zoned Retail before. Mr. Jones replied yes along with three or four homes. Council Member Copeland said staff has asked to be given time to study this further. Mr. Jones said there were no plans to study the corridor, so it would be several months.

Council Member Humphreys moved, seconded by Deputy Mayor Pro Tem Clemson, to close the public hearing and approve Case CPA200202. The motion carried unanimously.

Ayes: 9 - Mayor Ron Jensen; Mayor Pro Tem Greg Giessner; Deputy Mayor Pro Tem Jorja Clemson; Council Member Jeff Copeland; Council Member Mike Del Bosque; Council Member Cole Humphreys; Council Member John Lopez; Council Member Jim Swafford and Council Member Jeff Wooldridge

Enactment No: ORD 10806-2020

24

Z200202 - Zoning Change - Single Family at 2129 Dalworth Street (City Council District 5). A request to change the zoning from GR, General Retail, to SF-6, Single-Family Six Residential District to allow for a single residential dwelling on an existing 0.23 acre lot. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County. The owner is

Abraham Jackson. (On February 3, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 7-0).

Council Member Humphreys moved, seconded by Council Member Del Bosque, to close the public hearing and approve Case Z200202. The motion carried unanimously.

Ayes: 9 - Mayor Ron Jensen; Mayor Pro Tem Greg Giessner; Deputy Mayor Pro Tem Jorja Clemson; Council Member Jeff Copeland; Council Member Mike Del Bosque; Council Member Cole Humphreys; Council Member John Lopez; Council Member Jim Swafford and Council Member Jeff Wooldridge

Enactment No: ORD 10807-2020

25

TA200202 - Text Amendment - Article 4: Permissible Uses and Article 30: Definitions. Amend the Unified Development Code to create definitions and regulations for tattoo studios and body piercing studios. The applicant is the City of Grand Prairie. (On February 3, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 7-0).

Mr. Jones went over changes to Article 4 Permissible Uses regarding the operation of tattoo and body piercing studios. He said there was a two-tiered enforcement procedure.

Council Member Humphreys asked about the ability to enforce the requirements. Mr. Jones said most of the standards came from other cities and are enforceable the same as any other SUP which would put limits on hours of operation (til midnight); separation requirement of 300' of school, church or single family housing; and the required distance from each other. Deputy City Manager Steve Dye said Code and Environmental Services were prepared to do this enforcement. Council Member Lopez asked if staff would be going through training to be certified to know what to look for. Mr. Dye said they will be very educated on these businesses. Council Member Lopez asked if another business could be operating in the tattoo parlor. Mr. Jones said staff would recommend SUPs with only these uses in the same location. Council Member Del Bosque asked if these businesses would be looking more upscale. Mr. Jones replied that they definitely would. Council Member Wooldridge said this amendment was reviewed at the CCDC level and they will be treated like auto-related SUP's. Council Member Del Bosque noted that Council Member Humphreys and he had a mutual friend looking for a place in Grand Prairie.

Council Member Wooldridge moved, seconded by Council Member Humphreys, to close the public hearing and approve Case TA200202. The motion carried unanimously.

Ayes: 9 - Mayor Ron Jensen; Mayor Pro Tem Greg Giessner; Deputy Mayor Pro Tem Jorja Clemson; Council Member Jeff Copeland; Council Member Mike Del Bosque; Council Member Cole Humphreys; Council Member John Lopez; Council Member Jim Swafford and Council Member Jeff Wooldridge

Enactment No: ORD 10808-2020

Items for Individual Consideration

26

Approval of Bylaws of Zoning Board of Adjustments

Council Member Swafford moved, seconded by Council Member Copeland, to approve the Zoning Board of Adjustments Bylaws. The motion carried unanimously.

27

Board and Commission Appointments

Deputy Mayor Pro Tem Clemson moved, seconded by Council Member Humphreys, to appoint Mattie McClean to the Animal Shelter Advisory Board in the vacant Operations Manager place. The motion carried unanimously.

Ayes: 9 - Mayor Ron Jensen; Mayor Pro Tem Greg Giessner; Deputy Mayor Pro Tem Jorja Clemson; Council Member Jeff Copeland; Council Member Mike Del Bosque; Council Member Cole Humphreys; Council Member John Lopez; Council Member Jim Swafford and Council Member Jeff Wooldridge

Citizen Comments

Dr. Pamela Grayson, 905 Fairbanks Circle, Duncanville, said she understood police officers are trained to do kill shots. She said she would like to see two sets of training when it comes to mental health response such as a code that tells the responders there is a mental health issue. Mr. Bowman would still be here if there was another process. She said policing must be reimagined such as using rubber bullets in the case of mental health issues. Dr. Grayson said the victim's mother told police he was mentally ill.

Trina Hall, 2646 Brady Lane, said she was a certified mental health first responder. She said there are over 57 forms of mental illness. Ms. Hall said there is an issue of lack of training on how to interact with those in crisis. She said police officers receive eight hours of training for dealing with the mentally ill while there are 100 hours in the use of deadly force. Ms. Hall said officers could use other methods of less deadly force. She said this is the fifth mentally ill person killed in Grand Prairie. She said there is one counselor for the mentally ill in the police department but she is not out in the field and has no contact with the mentally ill. Ms. Hall said there is one city in Texas that has a team of police officers that have 40 hours of training in mental health. She said dispatch is not asking if the person is mentally ill. Ms. Hall said she wanted two officers per shift to get the 40 hours of training.

Dr. Richard Broussard, 2900 Dunnbrook Court, stated he was a member of the Texas State Board of Pharmacy. He said most of his work was with mentally ill patients. Dr. Broussard said he suffers from mental illness (PTSD) and because of his illness he identified with a lot of the patients at the VA. He said through UNT Dallas he got his first aid crisis intervention for natural disasters and mental health first responder. The UNT has started an initiative to train people to become mental health first responders.

Angela Luckey, 4473 Harpers Ferry Drive, stated she had been a Grand Prairie resident 53 years, and worked for the Department of Defense for 30 years. She said she had been sexually harassed by a member of the Park Board, John Stewart with other Park Board members present. Ms. Luckey said she told Mr. Stewart he was being inappropriate. She said on January 20, Mr. Stewart called her and asked her many questions and asked how Mr. Fred Johnson made his money. Ms. Luckey said Mr. Stewart asked her if she had sexual intercourse with Mr. Johnson and Mr. Stewart left messages on her phone. She said she contacted Mr. Johnson and told him what Mr. Stewart had said. She said Mr. Stewart called Mr. Johnson and asked him if he had sexual intercourse with Angela. Ms. Luckey said Corey Walden was asked to

leave the Housing Finance Corporation by Mayor Jensen and Tom Hart because of sexual harassment. She asked Council to ask for Mr. Stewart's resignation from the Park Board.

Alinka Green, 2708 Eagle Drive, Dallas, stated she was a certified mental health first aid responder. She said she has a son who is bi-polar. Ms. Green said Carlos High and John Bowman suffered from a mental health disorder. Ms. Green said this could have been her son. She said there were several instances in Dallas where someone has had a mental breakdown and they were murdered and their only crime is that they had a mental illness. Ms. Green said Mr. Bowman was visiting the city. She said Adolf Hitler rounded up the mentally ill and put them in crematories. Ms. Green said mental illness should not be a death sentence.

Carol Harrison-Lafayette, 1350 Skyline Road, said Mr. Bowman arrived in Grand Prairie on February 9 bringing a small pocket knife with him. She stated that, now, his mother is in Kentucky burying him. Ms. Harrison-Lafayette said someone from the city should have gone to the family and apologized. She said she was certified in mental health and licensed as a private investigator. Ms. Harrison-Lafayette said she would like to work with the police department on this issue. She said she had left messages with the Police Department and they have not called her back. She added that she would like to work with Courtney Runnels. Ms. Harrison-Lafayette said four people have been murdered because they suffered from mental illness. Have not been able to meet with the Police Chief.

Ernest Walker, 1210 Jenkins, Dallas, stated he was not a resident, and he sat with John Bowman's mother in her hotel room. The officer who shot and killed Mr. Bowman who only had on his underwear and he had a small knife. The victim's mother told the officer he was sick and off his meds. Mr. Walker said some citizens had a plan and brought a tazer to taze him and then take his knife away. The police came around the corner and shot him and did not try to de-escalate the situation. The police officer took the knife away and did not do first aid and left the body uncovered for three hours.

David Johnson, 1350 Skyline Road, stated he was the founder of Step Up. He said he has transitioned into training a team for mental health issues and would like to start one in Grand Prairie. Mr. Johnson said there are processes in place to address training for police. He said everyone can come together and bring healing to everyone involved.

John Stewart, 4315 Hampton Circle, stated that Angela Luckey had made a frivolous accusation against him. He said City Manager Tom Hart knows how to build a team. Mr Stewart said since Mr. Hart has been city manager, he had never called staff and not received a response. He said Chief Dye knows how Angela Luckey has attempted to assault his character. He said she has defamed most of city government on social media and she hides behind the shield of the NAACP. He said Angela Luckey is a habitual liar and he did not support her or the NAACP. Mr. Stewart said before the event with Floyd Mayweather, she tried to sabotage the event. He said he was not intoxicated at the event as Angela said. He said there were Park Board members and staff present at that event.

Adjournment

Mayor Jensen adjourned the meeting at 8:20 p.m.

The foregoing minutes were approved at the March 3, 2020 Council meeting.

Catherine E. DiMaggio, City Secretary



Legislation Details (With Text)

File #: 20-9814 **Version:** 1 **Name:** CoStar License Agreement
Type: Agenda Item **Status:** Consent Agenda
File created: 2/19/2020 **In control:** Purchasing
On agenda: 3/3/2020 **Final action:**
Title: Ratify the CoStar License Agreement for real estate analytics software with CoStar Realty Information, Inc. in the cumulative amount of \$82,073.34 (This agreement was for an initial one-year term with successive one-year renewals beginning in September of 2009, and is requested to be ratified for its previous expenditures.)

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Bryce Davis, Purchasing Manager

Title

Ratify the CoStar License Agreement for real estate analytics software with CoStar Realty Information, Inc. in the cumulative amount of \$82,073.34 (This agreement was for an initial one-year term with successive one-year renewals beginning in September of 2009, and is requested to be ratified for its previous expenditures.)

Presenter

Bryce Davis, Purchasing Manager

Recommended Action

Approve

Analysis

In September of 2009 the previous Economic Development Director entered into a one year agreement with automatic successive one-year renewals for subscription based real estate analytics software specific to Grand Prairie’s commercial, industrial, retail, multi-family, and vacant land properties.

In November of 2013, Addendum 1 to the License Agreement was executed for additional licensing needs as well as gaining access to CoStar’s full software suite.

This requested Council action is to ratify the previous year’s expenditures having surpassed \$50,000; any future City requirement for subscription based real estate analytics software will be formally bid out in accordance with all City and State procurement laws.

<u>Contract Term</u> 09'-10'	<u>Contract Value</u> \$3,955.00
---------------------------------	-------------------------------------

10'-11'	\$4,200.00
11'-12'	\$4,200.00
12'-13'	\$4,200.00
13'-14'	\$4,200.00
Addendum 1	\$3,926.66
14'-15'	\$9,351.71
15'-16'	\$9,351.71
16'-17'	\$9,351.71
17'-18'	\$9,351.71
18'-19'	\$9,772.54
<u>19'-20'</u>	<u>\$10,270.00</u>
<u>Contract Total:</u>	<u>\$82,073.34</u>

Financial Consideration

Funding was budgeted for and provided annually in the IT Infrastructure Services General Fund Operating Budget (151110-63165) until 2016 and then expensed from Economic Development General Fund Operating Budget (121010-61270/60240).



Legislation Details (With Text)

File #: 20-9831 **Version:** 1 **Name:** Axon Purchase - Animal Services
Type: Agenda Item **Status:** Consent Agenda
File created: 2/21/2020 **In control:** Police
On agenda: 3/3/2020 **Final action:**
Title: Interlocal Price Agreement for Body Worn Cameras with Axon, Inc., in the amount of \$15,631 for the current year, and for \$8,544 for each of the four subsequent renewals, totaling \$49,807 if all extensions are executed through a national interlocal agreement with Buyboard; and authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

Sponsors:

Indexes:

Code sections:

Attachments: [Expenditure Information Form - Animal Services Body Cams](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Fred Bates, Jr.

Title

Interlocal Price Agreement for Body Worn Cameras with Axon, Inc., in the amount of \$15,631 for the current year, and for \$8,544 for each of the four subsequent renewals, totaling \$49,807 if all extensions are executed through a national interlocal agreement with Buyboard; and authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

Presenter

Lily Yap, Animal Services Division Manager, and Ryan Simpson, Support Services Division Manager

Recommended Action

Approve

Analysis

Grand Prairie’s Animal Services Officers must often act quickly and efficiently when faced with potentially dangerous animals. Photographic evidence is the most ideal way to gather and document the needed information that helps to hold negligent animal owners accountable. Usually when an animal attack is in progress, the Animal Services Officer is unable to capture the photographic evidence needed due to the fluidity of the event. Body Worn Cameras would serve as a way to capture and document the needed evidence and to also enhance the safety of our officers engaged in field calls. Additionally, the wearing of Body Worn Cameras would also include the ability to justify any possible need for increased levels of force and quality control for citizen interactions.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master interlocal cooperative agreements with various entities to include Buyboard.

Buyboard Contract #568-18 with Axon, Inc. was executed on October 1, 2018 and set to expire September 30, 2021.

The Public Safety, Health and Environment Committee reviewed this item on March 2, 2020 and recommended that it be forwarded to the City Council.

Financial Consideration

Funding for the body worn cameras are available in the FY 2019/2020 General Fund Animal Services budget. Funding for future years will be paid from that year's approved budget.

CITY OF GRAND PRAIRIE
OPERATING BUDGET EXPENDITURE INFORMATION

FUND: General Fund
AGENCY: Animal Services
ACCOUNTING UNIT: 301110
AVAILABLE: 60510, Small Tools & Equipment, \$22,003
STAFF CONTACT: Lily Yap
VENDOR NAME: Axon, Inc.
CONTINGENCY: N/A



Legislation Details (With Text)

File #:	20-9830	Version:	1	Name:	Audio Visual Equipment for the PSB from Ford AV for
Type:	Agenda Item	Status:			Consent Agenda
File created:	2/21/2020	In control:			Police
On agenda:	3/3/2020	Final action:			
Title:	Purchase audio/video equipment for the Public Safety Building (PSB) from Ford Audio Video Systems LLC in the amount of \$58,863.36 through a national interlocal agreement with TIPS				
Sponsors:					
Indexes:					
Code sections:					
Attachments:					

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Fred Bates, Jr.

Title
Purchase audio/video equipment for the Public Safety Building (PSB) from Ford Audio Video Systems LLC in the amount of \$58,863.36 through a national interlocal agreement with TIPS

Presenter
Daniel Scesney, Chief of Police, and Ryan Simpson, Support Services Division Manager

Recommended Action
Approve

Analysis
The Police Department is seeking to upgrade portions of the audio/video equipment at the Public Safety Building (PSB). The existing equipment is outdated and has reached the end of its useful life cycle. This purchase will upgrade the audio/video equipment in the Patrol Briefing Room and the Chief’s Executive Conference Room.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master inter-local cooperative agreements with various entities including The Interlocal Purchasing System (TIPS).

TIPS is able to save money by pooling the impressive purchasing power of their members, which include hundreds of school districts, municipalities, counties, other local governments, and nonprofits across Texas.

They use the power of numbers as leverage to get better prices with the same vendors we use now.

The audio/video equipment will be purchased directly from Ford AV through their TIPS contract #171001, effective December 15, 2017 and set to expire December 18, 2020.

Financial Consideration

Funding for the purchase of the A/V equipment in the amount of \$58,863.36 is available in the FY 2019/2020 US Marshals Fund budget.



Legislation Details (With Text)

File #:	20-9799	Version:	1	Name:	19039 Contract Assignment - CMB to TLR
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	2/13/2020	In control:		In control:	Fleet Services
On agenda:	3/3/2020	Final action:		Final action:	
Title:	Assignment of Contract for Fleet Hydraulic Equipment Maintenance and Repairs from CMB Industries, LLC to TLR Hydraulics, Inc. in the amount of \$50,000 annually for one year, with the option to renew for four additional one-year periods, totaling \$250,000 if all renewal options are exercised; and authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms				

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Anda Upchurch

Title

Assignment of Contract for Fleet Hydraulic Equipment Maintenance and Repairs from CMB Industries, LLC to TLR Hydraulics, Inc. in the amount of \$50,000 annually for one year, with the option to renew for four additional one-year periods, totaling \$250,000 if all renewal options are exercised; and authorize the City Manager to execute the renewal options with aggregate price fluctuations of the lesser of up to \$50,000 or 25% of the original maximum price so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal terms

Presenter

Jayson R. Ramirez, Fleet Services Manager

Recommended Action

Approve

Analysis

The City has an active price agreement with CMB Industries, LLC, which will expire January 31, 2021 with three one-year renewals remaining, approved by City Council in January of 2019 (#19-8565). This contract is utilized by Fleet Services for maintenance and repairs for hydraulic equipment owned by the City.

In February of 2020, the City received notice that CMB Industries, LLC. was acquired by TLR Hydraulics, Inc. If approved, an assignment of contract will be executed for TLR Hydraulics, Inc. to assume the contract at the same pricing, terms, and conditions, and all future renewals will be to TLR Hydraulics, Inc.

Financial Consideration

Funding is available in the FY 2019/2020 Fleet Services budget 225510-63195 for cost of outside labor and will be charged accordingly on orders through the end of the current fiscal year. Funding for future fiscal years will be paid from their years' approved budgets.



Legislation Details (With Text)

File #:	20-9800	Version:	1	Name:	Windows 10 Pro Migration Licenses with SHI Government Solutions, Inc.
Type:	Agenda Item	Status:		Status:	Consent Agenda
File created:	2/14/2020	In control:		In control:	Information Technology
On agenda:	3/3/2020	Final action:		Final action:	
Title:	Purchase Agreement with SHI Government Solutions Inc. for 700 Microsoft Windows 10 Professional Licenses in the amount of \$84,231.00 through a state interlocal agreement with DIR				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	EXP 20-9800.pdf				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Keshnel Penny, Chief Information Officer

Title
Purchase Agreement with SHI Government Solutions Inc. for 700 Microsoft Windows 10 Professional Licenses in the amount of \$84,231.00 through a state interlocal agreement with DIR

Presenter
Keshnel Penny, Chief Information Officer

Recommended Action
Approve

Analysis
The City of Grand Prairie plans to upgrade 700 computers to Microsoft Windows 10 Professional. This will complete the project of upgrading all city computers to Windows 10. The upgrade will increase the performance on our computers. Built-in security protect against virus, phishing, Malware san spyware. Regular updates protect from the latest threat. Microsoft will end support for Windows 7 in the year 2020.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master inter-local cooperative agreements with various entities including DIR.

DIR provides statewide leadership and oversight for management of government information and communications technology. DIR has served in a leadership role to facilitate the state’s economic competitiveness through its ability to deliver quality information resources commodities and services at the lowest prices and best value for state and local government as well as the K-12 public and higher education

systems.

SHI Government Solutions Inc. through their DIR contract offers the Microsoft Windows 10 Professional software, products, and related services the City requires.

Contract# DIR-TSO-4056 began January 17, 2018 and its current term will expire January 17, 2020, with two renewals remaining extending the contract expiration date through January 17, 2023.

Financial Consideration

Funding for the purchase of Microsoft Windows 10 Professional licenses and services from SHI Government Solutions Inc., in the amount of \$84,231.00 is available in the IT Capital Projects Fund (153210), WO #02001303 (FY20 Support Services). Funding for future fiscal years will be paid from that year's approved budgets.

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 153210-02001303
 Project Title: FY20 Support Services
 Current Request: \$143,720.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE
Small Computer Equipment (60540)	\$712,624	\$602,211	\$0	\$602,211
Professional Services (61039)	\$74,808	\$74,808		\$74,808
Computer Software Main (63165)	\$200,000	\$198,610	\$0	\$198,610
Training (66010)	\$192	\$0		\$0
Data Processing Software (68420)	\$41,073	\$1		\$1
				\$0
				\$0
TOTAL	\$1,028,697	\$875,630	\$0	\$875,630

**1+3
AMENDED
BUDGET**

\$712,624

\$74,808

\$200,000

\$192

\$41,073

\$0

\$0

\$1,028,697



Legislation Details (With Text)

File #:	20-9802	Version:	1	Name:	Splash Factory Improvements - Kraftman Commerical Playgrounds
Type:	Ordinance	Status:		Status:	Consent Agenda
File created:	2/17/2020	In control:		In control:	Parks & Recreation
On agenda:	3/3/2020	Final action:		Final action:	
Title:	Contract with Kraftman Commercial Playgrounds and Water Parks in the amount of \$635,419.41 with a 5% contingency in the amount of \$31,771, a total of \$667,190.41, through a national interlocal agreement with Buyboard; additionally reject all bids received under RFB #20019				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	20-9802 - Splash Factory Improvements.pdf 20019 - CC Exhibit.pdf				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Steve Plumer, Sr. Project Manager

Title

Contract with Kraftman Commercial Playgrounds and Water Parks in the amount of \$635,419.41 with a 5% contingency in the amount of \$31,771, a total of \$667,190.41, through a national interlocal agreement with Buyboard; additionally reject all bids received under RFB #20019

Presenter

Cheryl DeLeon, Director of Parks, Arts and Recreation

Recommended Action

Approve

Analysis

In 2002, The Splash Factory was constructed adjacent to the Charley Taylor Recreation Center. The original water management system over the years has deteriorated to a point that Aquatic Staff must continually monitor and manually operate the system resulting in non-productive staff time and loss of revenue. With a generous contribution from the Grand Prairie Sports Corporation, \$800,000 was provided for the Splash Factory Improvements design and construction. Staff evaluated a series of designs and determined that a total replacement of the water management system along with upgrades to play features and shade is also needed.

Notice of bid #20019 was advertised in the Fort Worth Star Telegram and Bid Sync. Three qualified construction bids were received December 18, 2019 none being from a Grand Prairie vendor. After bid opening, staff identified that the lowest base bid exceeded the budgeted amount for the project. A decision was made to revise the plans and scope of work, and negotiate with an aquatics contractor offered through a cooperative agreement with BuyBoard.

Kraftsman Commercial Playgrounds & Water Parks has provided a proposal for provision, delivery, and construction of the Splash Factory Improvements in the amount of \$635,419.41. Staff recommends City Council reject all bids under RFB #20019 for Splash Factory Improvements and contract with Kraftsman Commercial Playgrounds & Water Parks through their BuyBoard contract.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master inter-local cooperative agreements with various entities including BuyBoard.

The BuyBoard is able to save money by pooling the impressive purchasing power of their members, which include hundreds of school districts, municipalities, counties, other local governments, and nonprofits across Texas. They use the power of numbers as leverage to get better prices with the same vendors we use now.

Kraftsman's BuyBoard contract #592-19 began 10/1/2019 and is set to expire 9/30/2022 with two possible one year renewals remaining.

This item was presented to the Finance and Government Committee on March 3, 2020 for review and approval.

Financial Consideration

Funding for a Contract with Kraftman Commercial Playgrounds and Water Parks in the amount of \$635,419.41 and approve a 5% contingency in the amount of \$31,771, for a total of amount of \$667,191, is available in the Parks Capital Projects Fund (317193), WO #01916803 (Splash Factory Improvements), 68540 (Construction).

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 317193 - 01916803
 Project Title: Splash Factory Improvements
 Current Request: \$0.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Construction (68540)	\$693,215	\$693,215	\$0	\$693,215	\$693,215
Design (68550)	\$101,700		\$0	\$0	\$101,700
Contingence/Reserve (68570)	\$5,085		\$0	\$0	\$5,085
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
TOTAL	\$800,000	\$693,215	\$0	\$693,215	\$800,000



Bid Tabulation
 Splash Factory Improvements
 RFB # 20019

				AUI Partners Ft Worth TX	Fain Ft Worth TX	North Rock Construction Denton TX
1	Site Prep	1.00	job	\$ 11,460.00	\$ 40,000.00	\$ 61,313.61
2	Concrete Sprayground slab	1.00	ea	\$ 51,982.00	\$ 57,000.00	\$ 30,703.49
3	Install Equipment	1.00	ea	\$ 605,306.00	\$ 636,000.00	\$ 584,091.54
4	Concrete Flatwork	1.00	ea	\$ 31,307.00	\$ 11,000.00	\$ 33,108.62
5	Acrylic Cement Surfacing	1.00	ea	\$ 19,884.00	\$ 38,000.00	\$ 40,755.00
6	Mechanical Enclosure	1.00	ea	\$ 55,881.00	\$ 108,000.00	\$ 125,782.75
7	Furnish & Install Shade Umbrella	1.00	ea	\$ 14,177.00	\$ 19,000.00	\$ 12,389.52
8	Update existing shade structures	1.00	job	\$ 7,703.00	\$ 9,000.00	\$ 9,165.60
9	Electrical work	1.00	job	\$ 88,605.00	\$ 43,000.00	\$ 58,596.00
10	Fine grade & reestablish grass	1.00	job	\$ 5,907.00	\$ 9,900.00	\$ 9,870.27
11	Erosion Control	1.00	job	\$ 9,493.00	\$ 5,000.00	\$ 8,375.85
12	Testing allowances	1.00	ea	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
TOTAL BASE BID				\$ 911,705.00	\$ 985,900.00	\$ 984,152.25

ALTERNATE BIDS						
1	3 18' Fabric Umbrellas	1.00	job	\$ 14,465.00	\$ 25,000.00	\$ 13,741.56
2	Fabricate/install Pipe Gateway Feature	1.00	job	\$ 32,742.00	\$ 23,000.00	\$ 35,533.83
3	1 30' Fabric Shade Structure	1.00	job	\$ 14,625.00	\$ 29,000.00	\$ 13,908.00

Staff Recommendation:
Reject All Bids



Legislation Details (With Text)

File #:	20-9822	Version:	1	Name:	Authorize and confirm the purchase of a 12.066-acre trace of land located at 2700 Kingswood Blvd from Gra-Son Land, Inc.
Type:	Agenda Item	Status:			Consent Agenda
File created:	2/20/2020	In control:			Engineering
On agenda:	3/3/2020	Final action:			
Title:	Authorize and confirm the purchase of a 12.066-acre tract of land located at 2700 Kingswood Blvd. from Gra-Son Land, Inc. for \$105,115				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	EXHIBIT A AERIAL.pdf 620.97 WTER.pdf 620.113 WWST.pdf				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Dwayne Tyner

Title
Authorize and confirm the purchase of a 12.066-acre tract of land located at 2700 Kingswood Blvd. from Gra-Son Land, Inc. for \$105,115

Presenter
Gabe Johnson, Director of Public Works

Recommended Action
Approve

Analysis
This tract is surrounded by City-owned property. Fish Creek Linear Park is across the creek. Access to the City’s property where the water and wastewater lines are being subjected to erosion is very limited because of the erosion and elevation changes. The erosion has resulted in at least a 20-foot cliff from the top of the City’s property to the creek. Workers and equipment cannot go up that 20-foot cliff from the creek without risking additional damage to the creek bank and infrastructure.

This tract will also provide access and a staging area to the creek area to study for survey, design, and construction of a stream bank protection solution for the City’s infrastructure along Fish Creek north of King Harbor Court. So, accessing the stream protection project location from the City’s park across the creek is not feasible.

This tract (as shown in Exhibit “A” for location) adjoins Fish Creek Linear Park. It is surrounded by City-owned property. City water and wastewater lines are located around the perimeter of the tract.

The property owner, Gra-Son Land, Inc., a Texas corporation, has agreed to sell the whole property containing 12.066-acres (525,574 s.f.) for \$105,115. This is the appraised market value as determined by an independent fee appraisal. Gra-Son Land, Inc. will pay property taxes up to date of closing. Property taxes will be suspended at that time.

Estimated date of closing is April 3, 2020. The City is responsible for surveying the tract and paying all closing costs.

Financial Consideration

Funding in the not to exceed amount of **\$110,000** is available as follows:

1. **\$55,000** is available in Water Capital Projects Fund (500592) WO #02009703 (Fish Creek Bank Stabilz WTER
2. **\$55,000** is available in Wastewater Capital Projects Fund (500692) WO #02011303 (Fish Creek Bank Stabilz WWST)

EXHIBIT 'A'



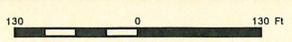
CITY OF GRAND PRAIRIE

CITY OF GRAND PRAIRIE

CITY OF GRAND PRAIRIE

CITY OF GRAND

2700



Grand Prairie Maps

Date: 2/20/2020 Time: 12:30:39 PM

This data has been compiled by the City of Grand Prairie IT/GIS department. Various official and unofficial sources were used to gather this information. Every effort was made to ensure the accuracy of this data, however, no guarantee is given or implied as to the accuracy of said data.



Parcels

Water Lines

Transmission

Waste Water Lines

TRA

Water Mains

WW Mains

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 500592 / 02009703
 Project Title: Fish Creek Bank Stabilization WTER
 Current Request: \$0.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Land Purchase 68090	\$55,000	\$55,000	\$0	\$55,000	\$55,000
Construction 68540	\$206,266	\$206,266	\$0	\$206,266	\$206,266
Eng/Con/Geo 68560	\$47,484	\$0	\$0	\$0	\$47,484
Labor 68999	\$16,250	\$16,250	\$0	\$16,250	\$16,250
				\$0	\$0
				\$0	\$0
				\$0	\$0
TOTAL	\$325,000	\$277,516	\$0	\$277,516	\$325,000

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 500692 / 02011303
 Project Title: Fish Creek Bank Stabilization WWST
 Current Request: \$0.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Land Purchase 68090	\$55,000	\$55,000	\$0	\$55,000	\$55,000
Construction 68540	\$206,267	\$206,267	\$0	\$206,267	\$206,267
Eng/Con/Geo 68560	\$47,483	\$0	\$0	\$0	\$47,483
Labor 68999	\$16,250	\$16,250	\$0	\$16,250	\$16,250
				\$0	\$0
				\$0	\$0
				\$0	\$0
TOTAL	\$325,000	\$277,517	\$0	\$277,517	\$325,000



Legislation Details (With Text)

File #: 20-9834 **Version:** 1 **Name:** 2020 Plan of Capital Finance WWW Sales
Type: Agenda Item **Status:** Consent Agenda
File created: 2/20/2020 **In control:** Information Technology
On agenda: 3/3/2020 **Final action:**
Title: Change Order to our interlocal price agreement for IT Temporary Staffing from Robert Half International, Inc. in the increased amount not to exceed \$80,000 to the current term; additionally authorize the City Manager to execute a final one-year renewal term in the increased estimated annual amount not to exceed \$160,000, all through a Master Interlocal Agreement with the HGAC

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Bryce Davis, Purchasing Manager

Title

Change Order to our interlocal price agreement for IT Temporary Staffing from Robert Half International, Inc. in the increased amount not to exceed \$80,000 to the current term; additionally authorize the City Manager to execute a final one-year renewal term in the increased estimated annual amount not to exceed \$160,000, all through a Master Interlocal Agreement with the HGAC

Presenter

Keshnel Penny, Chief Information Officer

Recommended Action

Approve

Analysis

In September of 2017, the City established an interlocal price agreement with Robert Half International, Inc. for IT Temporary Staffing through an interlocal agreement utilizing HGAC contract# TS 06-17. This agreement was for one year with two additional one-year renewals totaling \$240,000.00 if all extensions were exercised. Since that time both renewals have been executed.

To date, the actual expenditures are as follows:

<u>Contract Term</u>	<u>Value</u>	<u>Actual</u>	<u>Requested</u>
Sep17'-Aug18'	\$80,000.00	\$29,778.96	
Sep18'-Aug19'	\$80,000.00	\$53,103.76	
Sep19'-May20'	\$80,000.00	\$71,562.00	\$80,000.00*

Initial Total	\$240,000.00	\$154,444.72
<u>May20'-May21'</u>	<u>\$160,000.00</u>	<u>\$160,000.00**</u>
Grand Total	\$336,000.00	\$240,000.00

*An additional allowance of \$80,000.00 is requested in the current contract term in order to increase the contract value sufficiently to \$160,000.00 to meet IT's current projected forecast for their Temporary Staffing needs until May of 2020.

**Additionally requested is to approve and authorize the City Manager to execute Renewal No. 3 in May of 2020 for the final one-year renewal term, in the increased estimated annual amount of \$160,000.00.

The HGAC Contract# TS 06-17 was executed June 1, 2017 and set to expire May 31, 2021.

Financial Consideration

Funding is available in the FY 2020/2021 General Fund Information Technology Budget (151010-61465) through vacancy savings within the department.



Legislation Details (With Text)

File #: 20-9806 **Version:** 1 **Name:** Interlocal Price Agreement for NetMotion Software Licensing & Maintenance from Mobile Wireless LLC

Type: Agenda Item **Status:** Consent Agenda

File created: 2/18/2020 **In control:** City Council Development Committee

On agenda: 3/3/2020 **Final action:**

Title: Interlocal price agreement for NetMotion Software, Licensing, and Maintenance from Mobile Wireless LLC in the annual amount of \$21,772.80 with up to a 5% annual increase for a one-year period, through a state interlocal agreement with DIR

Sponsors:

Indexes:

Code sections:

Attachments: [EXP 20-9806.pdf](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Bryce Davis, Purchasing Manager

Title
Interlocal price agreement for NetMotion Software, Licensing, and Maintenance from Mobile Wireless LLC in the annual amount of \$21,772.80 with up to a 5% annual increase for a one-year period, through a state interlocal agreement with DIR

Presenter
Keshnel Penny, Chief Information Officer

Recommended Action
Approve

Analysis
The City has used NetMotion Software for over a decade for virtual private network internet connectivity on Laptops for public safety and other vehicles in the City Fleet. We plan to add 42 more vehicles to this system in FY 2020/2021. The current interlocal source through DIR contract# DIR-TSO-3810 is just now reaching a level whereas this year’s software licensing and maintenance renewal will have cumulatively surpassed \$50,000, therefore, requiring a formal contract and Council approval. Years beyond the one requested tonight, may be possible so long as Mobile Wireless is awarded a future DIR or other cooperative contract for the City to use.

<u>Contract Term</u>	<u>Expenditure</u>	<u>Requested</u>
Mar18’-Mar19’	\$14,499.00	
Mar19’-Mar20’	\$15,224.00	
Previously Spent	\$29,723.00	

<u>Mar20'-Mar21'</u>	<u>\$21,772.80*</u>
Grand Total	\$51,495.80

*City Council Approval is required since the cumulative expenditure of this amount will surpass \$50,000.

DIR-TSO-3810 was executed April 7, 2017 and set to expire April 7, 2021.

Financial Consideration

Funding is available in the FY 2020/2021 General Fund Information Technology Budget (151010-63165) and will be charged accordingly on orders through the end of the current fiscal year. Funding for future fiscal years will be paid from that year's approved budgets.

CITY OF GRAND PRAIRIE
OPERATING BUDGET EXPENDITURE INFORMATION

FUND: General Fund – FY2020/2021
Name of Fund (i.e. General Fund)

AGENCY: Information Technology
Name of Department

ACCOUNTING UNIT: 151010 IT Administration

AVAILABLE: 63165 Computer Software Maintenance \$1,502,220
Account Code, Description, and amount available

STAFF CONTACT: Keshnel Penny, Information Technology Director

VENDOR NUMBER: 12428

VENDOR NAME: Mobile Wireless

CONTINGENCY: N/A



Legislation Details (With Text)

File #: 20-9810 **Version:** 1 **Name:** ACE Cricket MOU
Type: Agenda Item **Status:** Consent Agenda
File created: 2/18/2020 **In control:** City Attorney
On agenda: 3/3/2020 **Final action:**
Title: Authorize City Manager to execute Memorandum of Understanding with American Cricket Enterprises for development of a cricket stadium in Grand Prairie’s Entertainment District
Sponsors:
Indexes:
Code sections:
Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Megan Mahan

Title
Authorize City Manager to execute Memorandum of Understanding with American Cricket Enterprises for development of a cricket stadium in Grand Prairie’s Entertainment District

Presenter
Tom Hart, City Manager

Recommended Action
Approve

Analysis
Information provided in Executive Session



Legislation Details (With Text)

File #: 20-9813 **Version:** 1 **Name:** TrafficWare to Cubic ITS assignment of contracts
Type: Agenda Item **Status:** Consent Agenda
File created: 2/19/2020 **In control:** Purchasing
On agenda: 3/3/2020 **Final action:**

Title: Authorize the City Manager to enter Assignment and Assumption Agreements for the city's Price Agreements for Traffic Signal Parts and Traffic Signal Cabinets from TrafficWare Group, Inc. to Cubic ITS, Inc. The Traffic Signal Parts agreement is for \$37,109 annually for one final year; the Traffic Signal Cabinets agreement is for \$146,925 annually for one year initially with the option to renew for four additional one-year periods totaling \$735,625 if all renewal options are exercised; and authorize the City Manager to execute any additional renewal options with aggregate price fluctuations up to \$50,000 or 25% of the original contract value so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Angi Mize

Title

Authorize the City Manager to enter Assignment and Assumption Agreements for the city's Price Agreements for *Traffic Signal Parts* and *Traffic Signal Cabinets* from TrafficWare Group, Inc. to Cubic ITS, Inc. The *Traffic Signal Parts* agreement is for \$37,109 annually for one final year; the *Traffic Signal Cabinets* agreement is for \$146,925 annually for one year initially with the option to renew for four additional one-year periods totaling \$735,625 if all renewal options are exercised; and authorize the City Manager to execute any additional renewal options with aggregate price fluctuations up to \$50,000 or 25% of the original contract value so long as sufficient funding is appropriated by the City Council to satisfy the City's obligation during the renewal term(s)

Presenter

Bryce Davis, Purchasing Manager

Recommended Action

Approve

Analysis

The City currently contracts with TrafficWare Group Inc. with two active price agreements:

- *Traffic Signal Parts* which will expire in March 2020 with no available renewals remaining, approved by City Council in April of 2016; and
- *Traffic Signal Cabinets* which will expire in July 2020 with four available renewals remaining, approved by City Council in July of 2019.

In February of 2020, the City received notice of TrafficWare and Cubic's corporate merger and their request to assign the contract to Cubic ITS, Inc. at the same pricing, terms, and conditions.

Financial Consideration

Funding was initially approved by CC and is still available and budgeted for in FY 2020/2021 General Fund budget 251310-63125. Funding for future fiscal years will be paid from that years approved budget.



Legislation Details (With Text)

File #: 20-9803 **Version:** 1 **Name:** Ordinance 5-14
Type: Agenda Item **Status:** Consent Agenda
File created: 2/17/2020 **In control:** Animal Services
On agenda: 3/3/2020 **Final action:**
Title: Ordinance amending Chapter Five, "Animal Services," Section 5-14 of the Code of Ordinances of the City of Grand Prairie, Texas, to adjust adoption policy to reflect industry best practices and discontinue adopter-specific citation process

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Lily Yap, Animal Services Manager

Title

Ordinance amending Chapter Five, "Animal Services," Section 5-14 of the Code of Ordinances of the City of Grand Prairie, Texas, to adjust adoption policy to reflect industry best practices and discontinue adopter-specific citation process

Presenter

Lily Yap, Animal Services Manager

Recommended Action

Approve

Analysis

The adoption fee for an animal from Prairie Paws Adoption Center currently includes the spay/neuter, microchipping, core vaccinations, and rabies vaccination. For animals that are too young for rabies vaccinations at the time of adoption, our current ordinance dictates that an adopter either return for an appointment at Prairie Paws Adoption Center to have the vaccine administered or follow up with their personal veterinarian to administer the rabies vaccination and submit proof to our staff. If neither of these actions are taken, under this version of the ordinance, the responsibility falls on Animal Services to issue a citation with a fine that could amount to over \$100. This ultimately targets our most valuable customers. With the adjustment to the ordinance, the responsibility to ensure that an underaged animal is vaccinated for rabies will fall on the adopter, similar to the process for any other pet owner in Grand Prairie.

To supplement care for our underaged, adopted pets, the ordinance dictates that the Animal Services Manager will be able to implement a uniform policy that provides a service for the adopted pet to receive the rabies vaccination from Prairie Paws Adoption Center when of age. This will be primarily be based on veterinary

availability. This creates an adoption process, including spay/neuter, microchipping, and age appropriate vaccinations, that is in line with industry best practices.

Financial Consideration

None

Body

AN ORDINANCE AMENDING CHAPTER FIVE "ANIMAL SERVICES," SECTION 5-14 OF THE CODE OF ORDINANCES OF THE CITY OF GRAND PRAIRIE, TEXAS, TO ADJUST ADOPTION POLICY TO REFLECT INDUSTRY BEST PRACTICES AND DISCONTINUE ADOPTER-SPECIFIC CITATION PROCESS; REPEALING ALL ORDINANCES IN CONFLICT; PROVIDING A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, state law places the responsibility to ensure dogs and cats have received the rabies vaccination by four (4) months of age on the pet owner;

WHEREAS, the Grand Prairie Animal Shelter wishes to make animals available for adoption which are too young to receive their rabies vaccine;

WHEREAS, the Grand Prairie Animal Shelter customers have expressed a desire to use private veterinarians to administer the vaccination; and

WHEREAS, amending the ordinance in accordance with best practices will assist in the efficiency and success of the Grand Prairie Animal Shelter;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. That Section 5-14 of Chapter 5, "Animal Services", of the Code of Ordinances of the City of Grand Prairie, Texas, is hereby amended to read as follows:

"(a) *Condition.* The animal services manager shall be authorized to place for adoption dogs or cats impounded by the city under the following conditions:

(1) The animal services manager shall determine whether a dog or cat is healthy enough for adoption; however, such a decision by the animal services manager shall not constitute a warranty of the health or age of any animal.

(2) There will be an adoption fee for all dogs and cats at an amount established by [chapter 5](#) article IV. The animal services manager shall have the authority to waive such fee in cases of special pet adoption promotions.

(3) All dogs and cats shall receive a microchip implant of a type approved by the animal services manager.

(b) *Rabies vaccination.*

(1) *Dogs or cats age four (4) months or older.*

All adopted dogs and cats aged 4 months or older shall be vaccinated for rabies prior to adoption. The animal services manager may determine if it is not medically safe to administer a rabies vaccination at the time of adoption. In these cases, the adopter shall sign a written agreement acknowledging that the animal has not received the rabies vaccination and agreeing to full responsibility for following up with their personal veterinarian to administer the rabies vaccination upon eligibility.

(2) *Dogs or cats age less than four (4) months.*

In the event an adopted dog or cat is under four (4) months of age, the vaccination will not be required until the animal is at least three (3) months of age but no older than four (4) months of age. If an animal is released without a rabies vaccination, the adopting person shall sign a written agreement acknowledging that the animal has not received the rabies vaccination and agreeing to full responsibility for ensuring the animal is administered the rabies vaccination before the animal has reached four (4) months of age. The Animal Services Manager may adopt and amend a policy which provides an opportunity for adopted animals to receive a rabies vaccination at the shelter provided that the policy is uniformly applied.

(3) Other adopted animals shall be required to be vaccinated in accordance with the requirements of the state health agency or in accordance with the recommendations of the American Veterinary Medicine Association.

(c) Sterilization.

(1) In the event an adopted dog or cat is not sterilized, the animal services manager shall cause the animal to be sterilized. The services for sterilization shall be administered at the time of adoption unless the animal services manager determines it is not medically safe to sterilize the dog or cat at the time of adoption. Each animal shall be sterilized prior to being released to the adopting person unless:

a. The dog or cat is under two (2) months of age; or

b. The animal services manager determines that the dog or cat should not be sterilized for health reasons or the animal services manager has determined the animal has been previously sterilized; or

c. The adopting person has signed a written agreement that the person will have the animal sterilized by animal services in accordance with the written agreement, which will provide notice of the date and time for the person to return with the adopted animal for sterilization.

(2) The animal services manager may extend the sterilization deadline upon presentation of a written veterinary report, stating that the life or health of the adopted animal may be jeopardized by surgery. There is no limit to the number of extensions that may be granted under this subsection.

(3) A person who signs a sterilization agreement commits an offense if he/she fails to have the animal sterilized on or before the sterilization completion date stated in the agreement.

(4) If the adopted animal dies on or before the sterilization completion date, the adopting person shall deliver to the animal services manager a signed letter stating that the animal is dead. The letter shall be delivered not later than the seventh day after the date of the animal's death, and shall describe the cause of death if known and provide the date of death. A person commits an offense if the animal services manager does not receive the letter before the expiration of the seventh day after the sterilization completion date.

(5) If the adopted animal is lost or stolen before the sterilization completion date, the adopting person shall

deliver to the animal services manager a signed letter stating that the animal is lost or stolen. The letter shall be delivered not later than the seventh day after the date of the animal's disappearance, and shall describe the circumstances surrounding the disappearance and the approximate date of disappearance. In such case there shall be no refund of the adoption fee. A person commits an offense if the animal services manager does not receive the letter before the expiration of the seventh day after the sterilization completion date.

(6) The animal services manager shall be authorized to reclaim any adopted animal after the expiration of the seventh day after the sterilization completion date, if the animal services manager has not received proof that the person is in compliance with the sterilization agreement. In such case there shall be no refund of the adoption fee, and ownership of the animal shall revert to the city.

Section 2. Savings Clause.

That the Code of Ordinances of the City of Grand Prairie, Texas shall remain in full force and effect, save and except as amended by this ordinance.

Section 3. Severability Clause

If any article, section, sub-section, sentence or phrase of this Ordinance should be held to be invalid for any reason whatsoever, such invalidity shall not affect the remaining portions of this Ordinance which shall remain in full force and effect and to this end the provision of this Ordinance are declared to be severable.

Section 4. Cumulative Clause.

All Ordinances or parts of Ordinances not consistent or conflicting with the provisions of this Ordinance are hereby repealed. Provided that such repeal shall be only to the extent of such inconsistency and in all other respects this Ordinance shall be cumulative of other Ordinances regulating and governing the subject matter covered in this Ordinance.

Section 5

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS
ON THIS THE 3RD DAY OF MARCH, 2020.**



Legislation Details (With Text)

File #:	20-9819	Version:	1	Name:	Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Authorization to appropriate \$38,550,000 for EPIC Central Projects
Type:	Ordinance	Status:			Consent Agenda
File created:	2/20/2020	In control:			Finance
On agenda:	3/3/2020	Final action:			
Title:	Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Authorization to appropriate \$38,550,000 for EPIC Central Projects				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	20-9819 EPIC Central Projects				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Kathleen C. Mercer

Title
Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Authorization to appropriate \$38,550,000 for EPIC Central Projects

Presenter
Kathleen C. Mercer, Director of Budget/Purchasing, and Becky Brooks, CFO

Recommended Action
Approve

Analysis
The City of Grand Prairie, City Council approved the intent to sale Series 2019A Certificates of Obligation on June 07, 2019 19-9057. The bonds have been received to the City and distributed to the EPIC Central Capital Projects Fund.

This Council action will appropriate such funds to the following activities:

		EPIC CENTRAL PROJECT ROLL UP	38,550,000
02001	EPICCLPG	Parking	6,800,000
02002	EPICCLPB	Pickleball	8,000,000
02003	EPICCLPD	Project Design	4,600,000
02004	EPICCLST	Streets	3,000,000
02005	EPICCLLA	Landscaping and Amenities	5,000,000
02006	EPICCLLS	Light Show	3,600,000
02007	EPICCLCO	Contingency	3,000,000

02008	EPICCLPS	Pad Sites	4,550,000
-------	----------	-----------	-----------

All of the above activities will roll up to one major project, and will be reported to the City Manager's Office along with the Finance and Government Committee members on a monthly basis through the Capital Project Budget Report (CPBR) .

An additional amount of appropriations \$7,000,000 for the Conference Center is available in the TIF Fund 3601. Because it is in the TIF Fund it does require an ordinance in order to appropriate the money.

Financial Consideration

Funding from the bonds received, in the amount of \$38,550,000, is available by approving an ordinance transferring and appropriating from the unobligated fund balance the EPIC Central Capital Projects Fund (360193):

		EPIC CENTRAL PROJECT ROLL UP	38,550,000
02001	EPICCLPG	Parking	6,800,000
02002	EPICCLPB	Pickleball	8,000,000
02003	EPICCLPD	Project Design	4,600,000
02004	EPICCLST	Streets	3,000,000
02005	EPICCLLA	Landscaping and Amenities	5,000,000
02006	EPICCLLS	Light Show	3,600,000
02007	EPICCLCO	Contingency	3,000,000
02008	EPICCLPS	Pad Sites	4,550,000

Body

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING THE FY 2019/2020 CAPITAL IMPROVEMENT PROJECTS BUDGET BY TRANSFERRING AND APPROPRIATING FROM THE UNOBLIGATED FUND BALANCE IN THE EPIC CENTRAL FUND (360093) \$6,800,000 TO EPICCLPG (PARKING), \$8,000,000 TO EPICCLPB (PICKLEBALL), \$4,600,000 TO EPICCLPD (PROJECT DESIGN), \$3,000,000 TO EPICCLST (STREETS), \$5,000,000 TO EPICCLLA (LANDSCAPING AND AMENITIES), \$3,600,000 TO EPICCLLS (LIGHT SHOW), \$3,000,000 TO EPICCLCO (CONTINGENCY) AND \$4,550,000 TO EPICCLPS (PAD SITES).

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating from the unobligated fund balance in the EPIC Central Capital Projects Fund (360193) \$6,800,000 TO EPICCLPG (PARKING).

SECTION 2. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating from the unobligated fund balance in the EPIC Central Capital Projects Fund (360193) \$8,000,000 TO EPICCLPB (PICKLEBALL).

SECTION 3. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating from the unobligated fund balance in the EPIC Central Capital Projects

Fund (360193) \$4,600,000 TO EPICCLPD (PROJECT DESIGN).

SECTION 4. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating from the unobligated fund balance in the EPIC Central Capital Projects Fund (360193) \$3,000,000 TO EPICCLST (STREETS).

SECTION 5. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating from the unobligated fund balance in the EPIC Central Capital Projects Fund (360193) \$5,000,000 TO EPICCLLA (LANDSCAPING AND AMENITIES).

SECTION 6. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating from the unobligated fund balance in the EPIC Central Capital Projects Fund (360193) \$3,600,000 TO EPICCLLS (LIGHT SHOW).

SECTION 7. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating from the unobligated fund balance in the EPIC Central Capital Projects Fund (360193) \$3,000,000 TO EPICCLCO (CONTINGENCY).

SECTION 8. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating from the unobligated fund balance in the EPIC Central Capital Projects Fund (360193) \$4,550,000 TO EPICCLPS (PAD SITES).

SECTION 9. THAT THE FY 2019/2020 Capital Improvement Projects Budget for the Epic Central Capital Projects Fund will be appropriated by City Council and managed by the City Manager in the aggregate amount, allowing flexibility to transfer funding between these individual eight (8) activities as needed based on updated design, construction, and cost information as it is available. City Manager will continue to bring individual contracts forward to City Council for approval as required.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, THE 3RD DAY OF MARCH, 2020.

CITY OF GRAND PRAIRIE CAPITAL PROJECTS BUDGET SUMMARY					
Fund/Activity Account: 360093/EPICCLPG					
Project Title: Parking					
Current Request: \$6,800,000.00					
ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Engineering / Design (68450)			\$680,000	\$680,000	\$680,000
Constructions (68540)			\$6,120,000	\$6,120,000	\$6,120,000
TOTAL	\$0	\$0	\$6,800,000	\$6,800,000	\$6,800,000

CITY OF GRAND PRAIRIE CAPITAL PROJECTS BUDGET SUMMARY					
Fund/Activity Account: 360093/EPICCLPB					
Project Title: Pickleball					
Current Request: \$10,000,000.00					
ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Engineering / Design (68450)			\$1,000,000	\$1,000,000	\$1,000,000
Constructions (68540)			\$9,000,000	\$9,000,000	\$9,000,000
TOTAL	\$0	\$0	\$10,000,000	\$10,000,000	\$10,000,000

CITY OF GRAND PRAIRIE CAPITAL PROJECTS BUDGET SUMMARY					
Fund/Activity Account: 360093/EPICCLPD					
Project Title: Project Design					
Current Request: \$2,600,000.00					
ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Engineering / Design (68450)			\$2,600,000	\$2,600,000	\$2,600,000
Constructions (68540)				\$0	\$0
TOTAL	\$0	\$0	\$2,600,000	\$2,600,000	\$2,600,000

CITY OF GRAND PRAIRIE CAPITAL PROJECTS BUDGET SUMMARY					
Fund/Activity Account: 360093/EPICCLST					
Project Title: Streets					
Current Request: \$3,000,000.00					
ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Engineering / Design (68450)			\$300,000	\$300,000	\$300,000
Constructions (68540)			\$2,700,000	\$0	\$0
TOTAL	\$0	\$0	\$3,000,000	\$300,000	\$300,000

CITY OF GRAND PRAIRIE CAPITAL PROJECTS BUDGET SUMMARY					
Fund/Activity Account: 360093/EPICCLLA					
Project Title: Landscaping and Amenities					
Current Request: \$5,000,000.00					
ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Engineering / Design (68450)			\$500,000	\$500,000	\$500,000
Constructions (68540)			\$4,500,000	\$4,500,000	\$4,500,000
TOTAL	\$0	\$0	\$5,000,000	\$5,000,000	\$5,000,000

CITY OF GRAND PRAIRIE CAPITAL PROJECTS BUDGET SUMMARY					
Fund/Activity Account: 360093/EPICCLLS					
Project Title: Light Show					
Current Request: \$3,600,000.00					
ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Engineering / Design (68450)			\$360,000	\$360,000	\$360,000
Constructions (68540)			\$3,240,000	\$3,240,000	\$3,240,000
TOTAL	\$0	\$0	\$3,600,000	\$3,600,000	\$3,600,000

CITY OF GRAND PRAIRIE CAPITAL PROJECTS BUDGET SUMMARY					
Fund/Activity Account: 360093/EPICCLCO					
Project Title: Contingency					
Current Request: \$3,000,000.00					
ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Engineering / Design (68450)			\$300,000	\$300,000	\$300,000
Constructions (68540)			\$2,700,000	\$2,700,000	\$2,700,000
TOTAL	\$0	\$0	\$3,000,000	\$3,000,000	\$3,000,000

CITY OF GRAND PRAIRIE CAPITAL PROJECTS BUDGET SUMMARY					
Fund/Activity Account: 360093/EPICCLPS					
Project Title: Pad Sites					
Current Request: \$6,050,000.00					
ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Engineering / Design (68450)			\$605,000	\$605,000	\$605,000
Constructions (68540)			\$5,445,000	\$5,445,000	\$5,445,000
TOTAL	\$0	\$0	\$6,050,000	\$6,050,000	\$6,050,000



Legislation Details (With Text)

File #: 20-9820 **Version:** 1 **Name:** Ordinance amending the FY2019/20 Capital Improvement Projects Budget and a construction contract with McMahon Contracting, LP for Cottonwood Creek Drainage Improvements at Marshall Drive and Robinson Road (W.O. #615.60) in the total amount of \$3,341,969.0

Type: Ordinance **Status:** Consent Agenda

File created: 2/20/2020 **In control:** Engineering

On agenda: 3/3/2020 **Final action:**

Title: Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Construction contract with McMahon Contracting, LP for Cottonwood Creek Drainage Improvements at Marshall Drive and Robinson Road to include Paving Improvements for Alternate No. 1 bid in the total amount of \$3,341,969.01; material testing with Alliance Geotechnical Group in the amount of \$91,812.60; in-house engineering in the amount of \$167,098.45; and 5% construction contract contingency in the amount of \$167,098.45 for a total project cost of \$3,767,978.51

Sponsors:

Indexes:

Code sections:

Attachments: [618.77 STRT.pdf](#)
[WO615.50 LTRRecommendation.pdf](#)
[615.60 STRM](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

max

Title

Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Construction contract with McMahon Contracting, LP for Cottonwood Creek Drainage Improvements at Marshall Drive and Robinson Road to include Paving Improvements for Alternate No. 1 bid in the total amount of \$3,341,969.01; material testing with Alliance Geotechnical Group in the amount of \$91,812.60; in-house engineering in the amount of \$167,098.45; and 5% construction contract contingency in the amount of \$167,098.45 for a total project cost of \$3,767,978.51

Presenter

Gabe Johnson, Director of Public Works; Walter Shumac, Director of Transportation and Romin Khavari, City Engineer

Recommended Action

Approve

Analysis

On Tuesday, February 18, 2020, the City of Grand Prairie opened bids for Cottonwood Creek Drainage

Improvements at Marshall Drive and Robinson Road (W.O. #615.60) to include Paving Improvements (W.O.#618.77). The low bidder is McMahon Contracting, LP in the Alternate Bid No. 1 for total bid amount of \$3,341,969.01.

The Cottonwood Creek Drainage Improvements at Marshall Drive and Robinson Road (W.O. #615.60) project provides for 100-year flood capacity bridge improvements at the Marshall Drive crossing of South Fork Cottonwood Creek and provides for 50-year flood capacity bridge improvements at the Robinson Road crossing of South Fork Cottonwood Creek. Providing a 100-year capacity bridge at Robinson Road would be too disruptive to the existing adjoining properties. Providing a 100-year capacity crossing at Marshall Drive will allow a detour route for Carrier Parkway northbound traffic when Carrier is closed during flood events. The Paving Improvements (W.O.#618.77) will include re-building the Marshall and Robinson Intersection to extend and include the proposed bridges to then match existing grades.

This project provides for removal of the existing inadequate box culverts at South Fork Cottonwood creek at Marshall and Robinson Road and the construction of two 120-foot long bridges to reduce flood backwater upstream of these two South Fork Cottonwood Creek crossings. The proposed improvements features include two 120-foot bridges spanning South Fork Cottonwood Creek, 23,900 cubic yards of channel and roadway excavation, installing permanent grouted rock riprap and reinforced concrete channel erosion control slope protection, cast in place retaining walls, relocation of a 12 inch diameter water line, 3,210 square yards of asphalt overlaid concrete street paving replacement and other miscellaneous items necessary to complete the construction in accordance with the conformed bid plans and specifications.

City Staff and Halff Associates (Project Consultant) recommend the award of the Additive Alternate Bid No. 1 for this project as it provides for a TXDOT recommended high performance concrete for the bridge roadway slabs at no extra cost as compared to the Base Bid. High performance concrete bridge slabs are more durable for structures subject to icing in cold weather.

Due to the work being performed primarily along cottonwood creek and to expedite the construction of this project, based on the Engineer's recommendation and feedback from the contractors during the bidding phase, the Closure of Marshall Drive and Robinson Road to traffic will be required for this project, but not at the same time to allow for localized traffic flow. During the construction, Marshall Drive will be closed up to 252 calendar days (36 weeks) and Robinson Road will be closed up to 196 calendar days (28 weeks.) Allowing for the closure of Marshall Drive and Robinson Road during the bridge construction will save significant cost, significant private property impacts and provide for a shorter construction time period.

<u>Company</u>	<u>Base Bid</u>	<u>Alternate Bid No. 1</u>
McMahon Contracting, L.P.	\$3,341,969.01	\$3,341,969.01
SEMA Construction, Inc.	\$3,382,239.80	\$3,382,239.80
Rebcon, Inc.	\$3,993,794.00	\$3,993,794.00
IBCTX, LLC	\$4,276,478.00	\$4,280,318.40
Ed Bell Construction Company	\$4,278,900.75	\$4,278,900.75
Urban Infraconstruction	\$4,354,178.65	\$4,362,944.55
HQS Construction, LLC	\$5,553,413.00	\$5,727,968.45

The Engineer's opinion of probable cost was \$3,168,000.

City Staff and Halff Associates (Project consultant) recommend award of this project to McMahon Contracting for Alternate Bid No. 1 in the total amount of \$3,341,969.01.

Construction of this project is scheduled to begin around the end of March 2020 with projected completion around June 2021.

Financial Consideration

Funding in the total amount of \$3,767,979 is available as follows:

1. \$1,635,481 is available in Storm Drainage Capital Projects Fund (401592) WO #01506003 (Marshall & Robinson @ Cottonwood Creek)
2. \$1,974,750 is available in Street Capital Projects Fund (400192) WO #01807703 (Marshall and Robinson Paving Improvements)
2. \$157,748 is available by appropriating and transferring from the unobligated fund balance of Storm Drainage Capital Projects Fund (401592) to WO #01506003 (Marshall & Robinson @ Cottonwood Creek)

Body

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING THE FY 2019/2020 CAPITAL IMPROVEMENT PROJECTS BUDGET BY TRANSFERRING AND APPROPRIATING \$157,748 FROM THE UNOBLIGATED FUND BALANCE IN THE STORM DRAINAGE CAPITAL PROJECTS FUND (401592) TO WO #01506003 (MARSHALL & ROBINSON @ COTTONWOOD CREEK)

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating \$157,748 from the unobligated fund balance in the Storm Drainage Capital Projects Fund (40192) to WO #01506003 (Marshall & Robinson @ Cottonwood Creek)

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, MARCH 3RD, 2020.

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 400192 / 01807703

Project Title: Marshall and Robinson Paving Improvement

Current Request: \$0.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Easement 68091	\$1,400	\$0	\$0	\$0	\$1,400
Construction 68540	\$1,839,058	\$1,839,058	\$0	\$1,839,058	\$1,839,058
Eng/Con/Geo 68560	\$48,118	\$48,118	\$0	\$48,118	\$48,118
Labor 68999	\$106,424	\$87,574	\$0	\$87,574	\$106,424
				\$0	\$0
				\$0	\$0
				\$0	\$0
TOTAL	\$1,995,000	\$1,974,750	\$0	\$1,974,750	\$1,995,000



February 21, 2020
30927 PH03

Romin A. Khavari, P.E., CFM
City Engineer
City of Grand Prairie
300 W. Main Street
Grand Prairie, Texas 75053-4045

RE: Cottonwood Creek Drainage Improvements at Marshall Drive and Robinson Road (W.O.# 615.50) – Letter of Recommendation

Dear Mr. Khavari:

Bids for the referenced project were received and opened publicly on Tuesday, February 18, 2020 at the City of Grand Prairie. A total of seven (7) bids were received. Below is a summary of the bid tabulation from low to high.

Contractor	Base	Alternate No. 1
McMahon Contracting, LP	\$ 3,341,969.01	\$ 3,341,969.01
SEMA Construction, Inc.	\$ 3,382,239.80	\$ 3,382,239.80
Rebcon, Inc.	\$ 3,993,794.00	\$ 3,993,794.00
Ed Bell Construction	\$ 4,278,900.75	\$ 4,278,900.75
IBCTX, LLC	\$ 4,276,478.00	\$ 4,280,318.40
Urban Infraconstruction, LLC	\$ 4,354,178.65	\$ 4,362,944.55
HQS Construction, LLC	\$ 5,553,413.00	\$ 5,727,968.45

The total Engineer’s opinion of probable construction cost was \$3,354,000.00 (Base Bid) and \$3,457,000.00 (Alternate No. 1 Bid). Alternate No. 1 includes the use of High-Performance Concrete (HPC) in the exposed cast-in-place elements of the bridge structures. HPC has significantly lower permeability than that of ordinary concrete. Lower permeability reduces the ability of chlorides to attack the reinforcing steel and cause corrosion and its use is recommended by TXDOT for structures that could be exposed to de-icing agents. McMahon Contracting, LP, was the low bidder with a total bid of Three Million Three Hundred and Forty-One Thousand and Nine Hundred and Sixty-Nine Dollars and One Cent (\$3,341,969.01) and 450 calendar days to complete the project for both the Base Bid and Alternate No. 1 Bid. We checked the bids for errors and omissions and found none.

We have reviewed McMahon Contracting, LP along with their qualifications, requested their financial statements and company profile information. Halff will submit their financial statements when received on or after February 21, 2020. We contacted the following references for McMahon Contracting, LP. Both the City of Plano and Waxahachie responded that McMahon Contracting, LP quality of work is good and satisfactory and expressed willingness to work with them again. McMahon

has also completed multiple projects for the City of Grand Prairie, including the Great Southwest Culvert Replacements at Southfork Cottonwood Creek, and the staff has provided positive feedback.

Project	Owner	Owner Contact
Multiple Projects	City of Plano	Tim Bennett
East University Phase I	City of Waxahachie	James Gaertner

Based on our evaluation, we have found nothing significant to warrant the disqualification of McMahon Contracting, LP and therefore recommend that the project consisting of Cottonwood Creek Drainage Improvements at Marshall Drive and Robinson Road (W.O.# 615.50) Alternate Bid No. 1 be awarded to McMahon Contracting, L.P.

Sincerely,

HALFF ASSOCIATES, INC.



Jeffrey F. Roberts, P.E., CFM
Civil Engineer

Cc: Bill Crolley, Deputy City Manager
Gabe Johnson, Director of Public Works
Walter Shumac, Dire of Transportation Services
Christian Y. Agnew, City Project Manager
Maxine Snow, Administrative Supervisor

Attachments: Bid Tabs

**Cottonwood Drainage Improvements
at Marshall Dr and Robinson Rd W. O. # 615.60**

CITY OF GRAND PRAIRIE
DATE: February 18, 2020

NO.	TXDOT Item	DESCRIPTION	QUANTITY	UNIT	McMahon Contracting LP Bid Amount		SEMA Construction, Inc. Bid Amount		Rebcon, Inc. Bid Amount		Ed Bell Construction Bid Amount		IBCTX, LLC Bid Amount		Urban Infraconstruction, LLC Bid Amount		HQS Construction, LLC Bid Amount	
					EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE		
SECTION I - REMOVAL, PAVING, DRAINAGE, AND GRADING IMPROVEMENTS																		
1		Site preparation including mobilization, clearing and grubbing, fence removal and relocation, work fully performed as per specifications.	1	LS	\$ 329,194.82	\$ 329,194.82	\$ 330,000.00	\$ 330,000.00	\$ 316,200.00	\$ 316,200.00	\$ 400,000.00	\$ 400,000.00	\$ 360,000.00	\$ 360,000.00	\$ 230,000.00	\$ 230,000.00	\$ 300,000.00	\$ 300,000.00
2		Construction staking, work fully performed as per specifications, complete in place.	1	LS	\$ 16,240.00	\$ 16,240.00	\$ 50,000.00	\$ 50,000.00	\$ 45,000.00	\$ 45,000.00	\$ 60,000.00	\$ 60,000.00	\$ 10,000.00	\$ 10,000.00	\$ 100,000.00	\$ 100,000.00	\$ 75,000.00	\$ 75,000.00
3		As-Built Survey, work fully performed as per specifications.	1	LS	\$ 11,600.00	\$ 11,600.00	\$ 3,000.00	\$ 3,000.00	\$ 11,000.00	\$ 11,000.00	\$ 1,000.00	\$ 1,000.00	\$ 4,000.00	\$ 4,000.00	\$ 10,000.00	\$ 10,000.00	\$ 35,000.00	\$ 35,000.00
4		Condition Survey, work fully performed as per specifications.	1	LS	\$ 9,280.00	\$ 9,280.00	\$ 12,000.00	\$ 12,000.00	\$ 2,500.00	\$ 2,500.00	\$ 1,000.00	\$ 1,000.00	\$ 4,000.00	\$ 4,000.00	\$ 10,000.00	\$ 10,000.00	\$ 20,000.00	\$ 20,000.00
5		Barricading and traffic control (implementation), complete in place.	1	LS	\$ 14,357.66	\$ 14,357.66	\$ 93,000.00	\$ 93,000.00	\$ 75,000.00	\$ 75,000.00	\$ 150,000.00	\$ 150,000.00	\$ 47,245.00	\$ 47,245.00	\$ 60,000.00	\$ 60,000.00	\$ 75,000.00	\$ 75,000.00
6		Maintenance Access to City Service Center Driveway on Marshall Road, complete in place.	1	LS	\$ 16,218.47	\$ 16,218.47	\$ 8,000.00	\$ 8,000.00	\$ 15,000.00	\$ 15,000.00	\$ 5,000.00	\$ 5,000.00	\$ 12,000.00	\$ 12,000.00	\$ 10,000.00	\$ 10,000.00	\$ 20,000.00	\$ 20,000.00
7		Joint Stormwater Pollution Prevention Plan and specifications (Design and implementation, furnish and install complete with NOI and NOT submittals).	1	LS	\$ 1,974.40	\$ 1,974.40	\$ 2,000.00	\$ 2,000.00	\$ 4,000.00	\$ 4,000.00	\$ 15,000.00	\$ 15,000.00	\$ 1,750.00	\$ 1,750.00	\$ 7,000.00	\$ 7,000.00	\$ 3,000.00	\$ 3,000.00
8		Solid Sod Bermuda Grass, furnish and install complete in place, as per details and specifications.	7014	SY	\$ 8.70	\$ 61,021.80	\$ 5.20	\$ 36,472.80	\$ 8.00	\$ 56,112.00	\$ 5.00	\$ 35,070.00	\$ 8.50	\$ 59,619.00	\$ 7.00	\$ 49,098.00	\$ 10.00	\$ 70,140.00
9		Curb Inlet Protection, furnish and install complete in place, as per details and specifications.	7	EA	\$ 158.60	\$ 1,110.20	\$ 110.00	\$ 770.00	\$ 135.00	\$ 945.00	\$ 121.00	\$ 847.00	\$ 120.00	\$ 840.00	\$ 200.00	\$ 1,400.00	\$ 350.00	\$ 2,450.00
10		Rock Filter Dam (Type 3), furnish and install complete in place, as per details and specifications.	336	LF	\$ 45.80	\$ 15,388.80	\$ 55.00	\$ 18,480.00	\$ 48.00	\$ 16,128.00	\$ 50.00	\$ 16,800.00	\$ 33.00	\$ 11,088.00	\$ 70.00	\$ 23,520.00	\$ 180.00	\$ 60,480.00
11		Silt Fence, furnish and install complete in place, as per details and specifications.	575	LF	\$ 2.50	\$ 1,437.50	\$ 2.00	\$ 1,150.00	\$ 3.00	\$ 1,725.00	\$ 2.00	\$ 1,150.00	\$ 2.50	\$ 1,437.50	\$ 2.40	\$ 1,380.00	\$ 5.00	\$ 2,875.00
12		Construction Entrance, furnish and install complete in place, as per details and specifications.	2	EA	\$ 1,798.00	\$ 3,596.00	\$ 2,100.00	\$ 4,200.00	\$ 2,310.00	\$ 4,620.00	\$ 2,500.00	\$ 5,000.00	\$ 1,760.00	\$ 3,520.00	\$ 4,100.00	\$ 8,200.00	\$ 4,700.00	\$ 9,400.00
13		Concrete Washout Area, furnish and install complete in place, as per details and specifications.	2	EA	\$ 1,580.00	\$ 3,160.00	\$ 1,200.00	\$ 2,400.00	\$ 3,750.00	\$ 7,500.00	\$ 2,000.00	\$ 4,000.00	\$ 3,000.00	\$ 6,000.00	\$ 1,500.00	\$ 3,000.00	\$ 2,000.00	\$ 4,000.00
14		Remove 12" Grouted Rock Riprap with Geotextile, work fully performed.	1280	SY	\$ 10.99	\$ 14,067.20	\$ 12.00	\$ 15,360.00	\$ 10.00	\$ 12,800.00	\$ 9.00	\$ 11,520.00	\$ 18.00	\$ 23,040.00	\$ 18.00	\$ 23,040.00	\$ 21.00	\$ 26,880.00
15		Remove 6" to 8" Thick Reinforced Concrete Pavement, sawcut and remove, work fully performed.	1575	SY	\$ 7.63	\$ 12,017.25	\$ 9.00	\$ 14,175.00	\$ 9.00	\$ 14,175.00	\$ 13.00	\$ 20,475.00	\$ 15.00	\$ 23,625.00	\$ 20.00	\$ 31,500.00	\$ 21.00	\$ 33,075.00
16	496	Remove Structure (4-9x6' Culvert), work fully performed.	137	LF	\$ 213.50	\$ 29,249.50	\$ 220.00	\$ 30,140.00	\$ 204.00	\$ 27,948.00	\$ 75.00	\$ 10,275.00	\$ 200.00	\$ 27,400.00	\$ 650.00	\$ 89,050.00	\$ 250.00	\$ 34,250.00
17	496	Remove Structure (Wingwall), work fully performed.	8	EA	\$ 1,651.83	\$ 13,214.64	\$ 1,250.00	\$ 10,000.00	\$ 1,925.00	\$ 15,400.00	\$ 2,000.00	\$ 16,000.00	\$ 1,200.00	\$ 9,600.00	\$ 5,100.00	\$ 40,800.00	\$ 7,500.00	\$ 60,000.00
18		8" Flexible Base, furnish and install complete in place.	3410	SY	\$ 14.80	\$ 50,468.00	\$ 13.00	\$ 44,330.00	\$ 20.00	\$ 68,200.00	\$ 25.00	\$ 85,250.00	\$ 24.50	\$ 83,545.00	\$ 21.50	\$ 73,315.00	\$ 15.00	\$ 51,150.00
19		8" Thick 4,500 PSI Reinforced concrete Pavement w/ Monolithic Curb and No. 4 bars, furnish and install complete in place, as per details and specifications.	1090	SY	\$ 61.13	\$ 66,631.70	\$ 75.00	\$ 81,750.00	\$ 86.00	\$ 93,740.00	\$ 79.00	\$ 86,110.00	\$ 93.00	\$ 101,370.00	\$ 67.00	\$ 73,030.00	\$ 80.00	\$ 87,200.00
20		10" Thick 4,500 PSI Reinforced concrete Pavement w/ Monolithic Curb and No. 4 bars, furnish and install complete in place, as per details and specifications.	2110	SY	\$ 62.71	\$ 132,318.10	\$ 80.00	\$ 168,800.00	\$ 94.00	\$ 198,340.00	\$ 81.00	\$ 170,910.00	\$ 100.00	\$ 211,000.00	\$ 75.00	\$ 158,250.00	\$ 105.00	\$ 221,550.00
21		Curb Ramp (Type 1), furnish and install complete in place, as per details and specifications.	4	EA	\$ 1,682.00	\$ 6,728.00	\$ 2,000.00	\$ 8,000.00	\$ 2,050.00	\$ 8,200.00	\$ 1,500.00	\$ 6,000.00	\$ 2,475.00	\$ 9,900.00	\$ 2,000.00	\$ 8,000.00	\$ 2,000.00	\$ 8,000.00
22	540	Metal Beam Guard Fence, furnish and install complete in place, as per details and specifications.	293.75	LF	\$ 27.84	\$ 8,178.00	\$ 22.00	\$ 6,462.50	\$ 22.00	\$ 6,462.50	\$ 25.00	\$ 7,343.75	\$ 22.00	\$ 6,462.50	\$ 53.00	\$ 15,568.75	\$ 100.00	\$ 29,375.00
23	544	Single Guard Rail Terminal, furnish and install complete in place, as per details and specifications.	4	EA	\$ 3,045.00	\$ 12,180.00	\$ 2,900.00	\$ 11,600.00	\$ 2,890.00	\$ 11,560.00	\$ 3,000.00	\$ 12,000.00	\$ 2,888.00	\$ 11,552.00	\$ 3,500.00	\$ 14,000.00	\$ 1,750.00	\$ 7,000.00
24	540	Downstream Anchor Terminal, furnish and install complete in place, as per details and specifications.	4	EA	\$ 1,218.00	\$ 4,872.00	\$ 1,200.00	\$ 4,800.00	\$ 1,155.00	\$ 4,620.00	\$ 1,400.00	\$ 5,600.00	\$ 1,155.00	\$ 4,620.00	\$ 3,500.00	\$ 14,000.00	\$ 1,750.00	\$ 7,000.00
25	540	Metal Beam Guard Rail Transition, furnish and install complete in place, as per details and specifications.	8	EA	\$ 870.00	\$ 6,960.00	\$ 800.00	\$ 6,400.00	\$ 825.00	\$ 6,600.00	\$ 1,600.00	\$ 12,800.00	\$ 825.00	\$ 6,600.00	\$ 3,500.00	\$ 28,000.00	\$ 1,750.00	\$ 14,000.00
26	666	Replace Pavement Markings, furnish and install complete in place, as per details and specifications.	1	LS	\$ 5,380.78	\$ 5,380.78	\$ 5,500.00	\$ 5,500.00	\$ 4,990.00	\$ 4,990.00	\$ 8,000.00	\$ 8,000.00	\$ 6,000.00	\$ 6,000.00	\$ 5,500.00	\$ 5,500.00	\$ 10,000.00	\$ 10,000.00
27		Unclassified channel excavation (23,900 CY Cut, 400 CY Fill), work fully performed.	23900	CY	\$ 12.97	\$ 309,983.00	\$ 12.50	\$ 298,750.00	\$ 26.00	\$ 621,400.00	\$ 28.00	\$ 669,200.00	\$ 25.00	\$ 597,500.00	\$ 31.00	\$ 740,900.00	\$ 35.00	\$ 836,500.00
28		Unclassified Street Excavation (900 CY Cut 450 CY Fill), work fully performed.	900	CY	\$ 17.66	\$ 15,894.00	\$ 40.00	\$ 36,000.00	\$ 24.00	\$ 21,600.00	\$ 30.00	\$ 27,000.00	\$ 38.50	\$ 34,650.00	\$ 67.00	\$ 60,300.00	\$ 35.00	\$ 31,500.00
29		Remove Soft or Otherwise Unsuitable Soil, work fully performed.	700	CY	\$ 19.80	\$ 13,860.00	\$ 27.50	\$ 19,250.00	\$ 24.00	\$ 16,800.00	\$ 10.00	\$ 7,000.00	\$ 23.00	\$ 16,100.00	\$ 37.00	\$ 25,900.00	\$ 35.00	\$ 24,500.00
30	423	Cast-in-Place Retaining Wall, furnish and install complete in place, as per specifications.	1277	SF	\$ 112.73	\$ 143,956.21	\$ 110.00	\$ 140,470.00	\$ 125.00	\$ 159,625.00	\$ 121.00	\$ 154,517.00	\$ 190.00	\$ 242,630.00	\$ 122.00	\$ 155,794.00	\$ 200.00	\$ 255,400.00
31		6"x4" RCB (Pre-cast) (ASTM C-1577), furnish and install complete in place, as per specifications.	114	LF	\$ 482.39	\$ 54,992.46	\$ 425.00	\$ 48,450.00	\$ 442.00	\$ 50,388.00	\$ 430.00	\$ 49,020.00	\$ 588.00	\$ 67,032.00	\$ 475.00	\$ 54,150.00	\$ 600.00	\$ 68,400.00
32		24" CL III RCP (ASTM C-76), furnish and install complete in place, including embedment.	190	LF	\$ 101.85	\$ 19,351.50	\$ 90.00	\$ 17,100.00	\$ 100.00	\$ 19,000.00	\$ 87.00	\$ 16,530.00	\$ 315.00	\$ 59,850.00	\$ 115.00	\$ 21,850.00	\$ 100.00	\$ 19,000.00
33		36" CL III RCP (ASTM C-76), furnish and install complete in place, including embedment.	47	LF	\$ 169.83	\$ 7,982.01	\$ 140.00	\$ 6,580.00	\$ 210.00	\$ 9,870.00	\$ 147.00	\$ 6,909.00	\$ 420.00	\$ 19,740.00	\$ 165.00	\$ 7,755.00	\$ 150.00	\$ 7,050.00
34		42" CL III RCP (ASTM C-76), furnish and install complete in place, including embedment.	51	LF	\$ 217.94	\$ 11,114.94	\$ 195.00	\$ 9,945.00	\$ 257.00	\$ 13,107.00	\$ 180.00	\$ 9,180.00	\$ 577.00	\$ 29,427.00	\$ 275.00	\$ 14,025.00	\$ 300.00	\$ 15,300.00
35		Connect to existing 5'x4" RCB, work fully performed, as per specifications.	1	EA	\$ 2,488.91	\$ 2,488.91	\$ 1,600.00	\$ 1,600.00	\$ 9,844.00	\$ 9,844.00	\$ 1,200.00	\$ 1,200.00	\$ 5,565.00	\$ 5,565.00	\$ 11,000.00	\$ 11,000.00	\$ 2,000.00	\$ 2,000.00
36		Connect to existing 36" RCP, work fully performed, as per specifications.	1	EA	\$ 2,322.16	\$ 2,322.16	\$ 500.00	\$ 500.00	\$ 2,634.00	\$ 2,634.00	\$ 700.00	\$ 700.00	\$ 2,835.00	\$ 2,835.00	\$ 2,800.00	\$ 2,800.00	\$ 1,000.00	\$ 1,000.00
37		Connect to existing 42" RCP, work fully performed, as per specifications.	1	EA	\$ 2,322.16	\$ 2,322.16	\$ 700.00	\$ 700.00	\$ 4,013.00	\$ 4,013.00	\$ 800.00	\$ 800.00	\$ 2,835.00	\$ 2,835.00	\$ 4,300.00	\$ 4,300.00	\$ 1,500.00	\$ 1,500.00
38		10' Recessed curb inlet, furnish and install complete in place, as per details and specifications.	5	EA	\$ 4,709.60	\$ 23,548.00	\$ 4,500.00	\$ 22,500.00	\$ 5,335.00	\$ 26,675.00	\$ 5,000.00	\$ 25,000.00	\$ 10,290.00	\$ 51,450.00	\$ 5,700.00	\$ 28,500.00	\$ 12,000.00	\$ 60,000.00
39		10' Standard curb inlet, furnish and install complete in place, as per details and specifications.	1	EA	\$ 5,405.60	\$ 5,405.60	\$ 4,500.00	\$ 4,500.00	\$ 8,600.00	\$ 8,600.00	\$ 5,700.00	\$ 5,700.00	\$ 9,550.00	\$ 9,550.00	\$ 9,200.00	\$ 9,200.00	\$ 10,000.00	\$ 10,000.00
40		8"x8" Type B Manhole, work fully performed as per specifications.	1	EA	\$ 11,368.00	\$ 11,368.00	\$ 15,000.00	\$ 15,000.00	\$ 8,200.00	\$ 8,200.00	\$ 12,000.00	\$ 12,000.00	\$ 17,100.00	\$ 17,100.00	\$ 8,800.00	\$ 8,800.00	\$ 15,000.00	\$ 15,000.00
41		12" Grouted Rock Riprap with Geotextile, furnish and install complete in place, as per details and specifications.	900	CY	\$ 157.10	\$ 141,390.00	\$ 175.00	\$ 157,500.00	\$ 160.00	\$ 144,000.00	\$ 275.00	\$ 247,500.00	\$ 215.00	\$ 193,500.00	\$ 250.00	\$ 225,000.00	\$ 285.00	\$ 256,500.00
42		6-Inch Thick 4,000 PSI Reinforced Concrete Slope Protection, furnish and install complete in place, as per details and specifications.	1641	SY	\$ 81.21	\$ 133,265.61	\$ 97.00	\$ 159,177.00	\$ 80.00	\$ 131,280.00	\$ 90.00	\$ 147,690.00	\$ 90.00	\$ 147,690.00	\$ 92.00	\$ 150,972.00	\$ 100.00	\$ 164,100.00
43		4' Deep Reinforced Concrete Toewall, furnish and install complete in place, as per details and specifications.	1261	LF	\$ 84.00	\$ 105,924.00	\$ 75.00	\$ 94,575.00	\$ 54.00	\$ 68,094.00	\$ 65.00	\$ 81,965.00	\$ 60.00	\$ 75,660.00	\$ 70.00	\$ 88,270.00	\$ 90.00	\$ 113,490.00
44		2' Deep Reinforced Concrete Toewall, furnish and install complete in place, as per details and specifications.	330	LF	\$ 60.29	\$ 19,895.70	\$ 50.00	\$ 16,500.00	\$ 48.00	\$ 15,840.00	\$ 54.00	\$ 17,820.00	\$ 50.00	\$ 16,500.00	\$ 60.00	\$ 19,800.00	\$ 75.00	\$ 24,750.00
45	466	TXDOT Headwalls (FW-S)(HW-4'-6"), furnish and install complete in place, as per details and specifications.	1	EA	\$ 19,534.91	\$ 19,534.91	\$ 29,											

**Cottonwood Drainage Improvements
at Marshall Dr and Robinson Rd W. O. # 615.60**

CITY OF GRAND PRAIRIE
DATE: February 18, 2020

NO.	TXDOT Item	DESCRIPTION	QUANTITY	UNIT	McMahon Contracting LP Bid Amount		SEMA Construction, Inc. Bid Amount		Rebcon, Inc. Bid Amount		Ed Bell Construction Bid Amount		IBCTX, LLC Bid Amount		Urban Infraconstruction, LLC Bid Amount		HQS Construction, LLC Bid Amount	
					EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE	
50		Concrete Encasement for 30" Water Line, furnish and install complete in place, including embedment & backfill.	23	LF	\$ 156.06	\$ 3,589.38	\$ 200.00	\$ 4,600.00	\$ 996.00	\$ 22,908.00	\$ 360.00	\$ 8,280.00	\$ 580.00	\$ 13,340.00	\$ 1,100.00	\$ 25,300.00	\$ 150.00	\$ 3,450.00
51		Adjusting Existing Iron Blow-off Valve, furnish and install complete in place, including embedment & backfill.	1	EA	\$ 3,422.91	\$ 3,422.91	\$ 3,000.00	\$ 3,000.00	\$ 4,895.00	\$ 4,895.00	\$ 10,000.00	\$ 10,000.00	\$ 6,720.00	\$ 6,720.00	\$ 5,300.00	\$ 5,300.00	\$ 5,000.00	\$ 5,000.00
52		20" x 3/8" Steel Casing Pipe (By Open Cut), furnish and install complete in place, as per details and specifications.	145	LF	\$ 129.02	\$ 18,707.90	\$ 167.00	\$ 24,215.00	\$ 137.00	\$ 19,865.00	\$ 750.00	\$ 108,750.00	\$ 315.00	\$ 45,675.00	\$ 150.00	\$ 21,750.00	\$ 225.00	\$ 32,625.00
53		20" x 3/8" Steel Casing Pipe (By Other than Open Cut), furnish and install complete in place, as per details and specifications.	18	LF	\$ 361.31	\$ 6,503.58	\$ 845.00	\$ 15,210.00	\$ 506.00	\$ 9,108.00	\$ 1,500.00	\$ 27,000.00	\$ 368.00	\$ 6,624.00	\$ 625.00	\$ 11,250.00	\$ 800.00	\$ 14,400.00
54		Connect To 12" Existing Water Line, furnish and install complete in place, as per details and specifications.	2	EA	\$ 2,724.88	\$ 5,449.76	\$ 4,000.00	\$ 8,000.00	\$ 3,685.00	\$ 7,370.00	\$ 7,500.00	\$ 15,000.00	\$ 6,100.00	\$ 12,200.00	\$ 4,000.00	\$ 8,000.00	\$ 5,000.00	\$ 10,000.00
55		12" AWWA C900 Water Line (By Open Cut), furnish and install complete in place, as per details and specifications.	45	LF	\$ 145.36	\$ 6,541.20	\$ 132.00	\$ 5,940.00	\$ 365.00	\$ 16,425.00	\$ 1,500.00	\$ 67,500.00	\$ 525.00	\$ 23,625.00	\$ 400.00	\$ 18,000.00	\$ 250.00	\$ 11,250.00
56		12" AWWA C900 Water Line (In Casing Pipe), work fully performed as per specifications.	163	LF	\$ 159.68	\$ 26,027.84	\$ 106.00	\$ 17,278.00	\$ 94.00	\$ 15,322.00	\$ 130.00	\$ 21,190.00	\$ 185.00	\$ 30,155.00	\$ 110.00	\$ 17,930.00	\$ 125.00	\$ 20,375.00
57		Allowance for Remove, Cap and Replace Existing Irrigation System Lines (as necessary), work fully performed as per specifications.	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
		Total Bid Amount (Section I)				\$ 1,987,726.79		\$ 2,154,710.30		\$ 2,501,562.50		\$ 2,930,891.75		\$ 2,868,183.00		\$ 2,872,867.75		\$ 3,337,705.00
		1 The successful Bidder will be required to hold his bid for ninety (90) days.								\$ -								
		2 The Contractor shall agree to the number of calendar days specified, submit a Bid Bond with the completed Bid Items, and include all addenda in the Bid documents, otherwise the Bid will be considered NON-RESPONSIVE and will be rejected.								\$ -								
		SECTION II - MARSHALL DRIVE BRIDGE																
58	416 6002	Drill Shaft (24" Diameter) furnish and install complete in place, as per details and specifications.	560	LF	\$ 117.28	\$ 65,676.80	\$ 105.00	\$ 58,800.00	\$ 142.00	\$ 79,520.00	\$ 115.00	\$ 64,400.00	\$ 120.00	\$ 67,200.00	\$ 145.00	\$ 81,200.00	\$ 125.00	\$ 70,000.00
59	416 6006	Drill Shaft (48" Diameter) furnish and install complete in place, as per details and specifications.	432	LF	\$ 277.78	\$ 120,000.96	\$ 300.00	\$ 129,600.00	\$ 340.00	\$ 146,880.00	\$ 335.00	\$ 144,720.00	\$ 300.00	\$ 129,600.00	\$ 240.00	\$ 103,680.00	\$ 510.00	\$ 220,320.00
60		Select Backfill for Marshall Road Abutment No. 4, furnish and install complete in place, as per details and specifications.	770	CY	\$ 127.24	\$ 97,974.80	\$ 65.00	\$ 50,050.00	\$ 180.00	\$ 138,600.00	\$ 33.00	\$ 25,410.00	\$ 215.00	\$ 165,550.00	\$ 300.00	\$ 231,000.00	\$ 200.00	\$ 154,000.00
61	420 6013	Class "C" Concrete (Abutments) furnish and install complete in place, as per details and specifications.	166.7	CY	\$ 790.38	\$ 131,756.35	\$ 850.00	\$ 141,695.00	\$ 1,100.00	\$ 183,370.00	\$ 630.00	\$ 105,021.00	\$ 800.00	\$ 133,360.00	\$ 800.00	\$ 133,360.00	\$ 1,020.00	\$ 170,034.00
62	420 6025	Class "C" Concrete (Bent Caps) furnish and install complete in place, as per details and specifications.	26.8	CY	\$ 1,081.95	\$ 28,996.26	\$ 1,475.00	\$ 39,530.00	\$ 1,500.00	\$ 40,200.00	\$ 1,350.00	\$ 36,180.00	\$ 1,100.00	\$ 29,480.00	\$ 1,300.00	\$ 34,840.00	\$ 1,100.00	\$ 29,480.00
63	420 6037	Class "C" Concrete (Columns) furnish and install complete in place, as per details and specifications.	13.8	CY	\$ 1,159.42	\$ 16,000.00	\$ 1,600.00	\$ 22,080.00	\$ 1,500.00	\$ 20,700.00	\$ 2,100.00	\$ 28,980.00	\$ 1,700.00	\$ 23,460.00	\$ 1,200.00	\$ 16,560.00	\$ 1,500.00	\$ 20,700.00
64	422 6015	Class "S" Concrete (Bridge Approach Slab) furnish and install complete in place, as per details and specifications.	100.7	CY	\$ 477.12	\$ 48,045.98	\$ 450.00	\$ 45,315.00	\$ 700.00	\$ 70,490.00	\$ 500.00	\$ 50,350.00	\$ 700.00	\$ 70,490.00	\$ 500.00	\$ 50,350.00	\$ 625.00	\$ 62,937.50
65	422 6001	Reinforced Concrete (Slab) Class "S" furnish and install complete in place, as per details and specifications.	6590	SF	\$ 21.99	\$ 144,914.10	\$ 13.00	\$ 85,670.00	\$ 16.00	\$ 105,440.00	\$ 16.00	\$ 105,440.00	\$ 17.00	\$ 112,030.00	\$ 15.75	\$ 103,792.50	\$ 20.00	\$ 131,800.00
66	422 6013	Class "S" Concrete (Bridge Sidewalk) furnish and install complete in place, as per details and specifications.	950	SF	\$ 14.21	\$ 13,499.50	\$ 15.00	\$ 14,250.00	\$ 13.00	\$ 12,350.00	\$ 20.00	\$ 19,000.00	\$ 17.00	\$ 16,150.00	\$ 12.00	\$ 11,400.00	\$ 20.00	\$ 19,000.00
67	425 6010	Prestressed Slab Beam (SSB12) furnish and install complete in place, as per details and specifications.	1185	LF	\$ 155.89	\$ 184,729.65	\$ 160.00	\$ 189,600.00	\$ 170.00	\$ 201,450.00	\$ 200.00	\$ 237,000.00	\$ 155.00	\$ 183,675.00	\$ 170.00	\$ 201,450.00	\$ 475.00	\$ 562,875.00
68	425 6009	Prestressed Slab Beam (ASB12) furnish and install complete in place, as per details and specifications.	118.5	LF	\$ 166.31	\$ 19,707.74	\$ 160.00	\$ 18,960.00	\$ 175.00	\$ 20,737.50	\$ 200.00	\$ 23,700.00	\$ 160.00	\$ 18,960.00	\$ 175.00	\$ 20,737.50	\$ 450.00	\$ 53,325.00
69	450 6014	Rail (T551) furnish and install complete in place, as per details and specifications.	264	LF	\$ 100.37	\$ 26,497.68	\$ 115.00	\$ 30,360.00	\$ 98.00	\$ 25,872.00	\$ 75.00	\$ 19,800.00	\$ 100.00	\$ 26,400.00	\$ 130.00	\$ 34,320.00	\$ 100.00	\$ 26,400.00
70	454 6019	Sealed Expansion Joint (5 in)(SEJ-M) furnish and install complete in place, as per details and specifications.	109.9	LF	\$ 106.29	\$ 11,681.27	\$ 105.00	\$ 11,539.50	\$ 120.00	\$ 13,188.00	\$ 115.00	\$ 12,638.50	\$ 150.00	\$ 16,485.00	\$ 124.00	\$ 13,627.60	\$ 50.00	\$ 5,495.00
		Total Bid Amount (Section II)				\$ 909,481.08		\$ 837,449.50		\$ 1,058,797.50		\$ 872,639.50		\$ 992,840.00		\$ 1,036,317.60		\$ 1,526,366.50
		1 The successful Bidder will be required to hold his bid for ninety (90) days.																
		2 The Contractor shall agree to the number of calendar days specified, submit a Bid Bond with the completed Bid Items, and include all addenda in the Bid documents, otherwise the Bid will be considered NON-RESPONSIVE and will be rejected.																

**Cottonwood Drainage Improvements
at Marshall Dr and Robinson Rd W. O. # 615.60**

CITY OF GRAND PRAIRIE
DATE: February 18, 2020

NO.	TXDOT Item	DESCRIPTION	QUANTITY	UNIT	McMahon Contracting LP Bid Amount		SEMA Construction, Inc. Bid Amount		Rebcon, Inc. Bid Amount		Ed Bell Construction Bid Amount		IBCTX, LLC Bid Amount		Urban Infraconstruction, LLC Bid Amount		HOS Construction, LLC Bid Amount		
					EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		EXTENDED PRICE		
SECTION III - ROBINSON ROAD BRIDGE																			
71	416 6002	Drill Shaft (24" Diameter) furnish and install complete in place, as per details and specifications.	390	LF	\$ 124.11	\$ 48,402.90	\$ 105.00	\$ 40,950.00	\$ 142.00	\$ 55,380.00	\$ 115.00	\$ 44,850.00	\$ 120.00	\$ 46,800.00	\$ 145.00	\$ 56,550.00	\$ 125.00	\$ 48,750.00	
72	420 6013	Class "C" Concrete (Abutments) furnish and install complete in place, as per details and specifications.	24.2	CY	\$ 1,461.99	\$ 35,380.16	\$ 1,100.00	\$ 26,620.00	\$ 900.00	\$ 21,780.00	\$ 1,400.00	\$ 33,880.00	\$ 1,200.00	\$ 29,040.00	\$ 1,400.00	\$ 33,880.00	\$ 1,020.00	\$ 24,684.00	
73	420 6025	Class "C" Concrete (Bent Caps) furnish and install complete in place, as per details and specifications.	18.6	CY	\$ 1,384.68	\$ 25,755.05	\$ 1,600.00	\$ 29,760.00	\$ 1,500.00	\$ 27,900.00	\$ 1,700.00	\$ 31,620.00	\$ 1,100.00	\$ 20,460.00	\$ 1,100.00	\$ 20,460.00	\$ 1,100.00	\$ 20,460.00	
74	420 6037	Class "C" Concrete (Columns) furnish and install complete in place, as per details and specifications.	8.2	CY	\$ 1,719.83	\$ 14,102.61	\$ 1,800.00	\$ 14,760.00	\$ 1,500.00	\$ 12,300.00	\$ 2,350.00	\$ 19,270.00	\$ 1,700.00	\$ 13,940.00	\$ 1,200.00	\$ 9,840.00	\$ 1,500.00	\$ 12,300.00	
75	422 6015	Class "S" Concrete (Bridge Approach Slab) furnish and install complete in place, as per details and specifications.	78.3	CY	\$ 481.01	\$ 37,663.08	\$ 480.00	\$ 37,584.00	\$ 700.00	\$ 54,810.00	\$ 500.00	\$ 39,150.00	\$ 700.00	\$ 54,810.00	\$ 500.00	\$ 39,150.00	\$ 625.00	\$ 48,937.50	
76	422 6001	Reinforced Concrete (Slab)(Class "S") furnish and install complete in place, as per details and specifications.	3855	SF	\$ 21.72	\$ 83,730.60	\$ 13.00	\$ 50,115.00	\$ 16.00	\$ 61,680.00	\$ 23.50	\$ 90,592.50	\$ 17.00	\$ 65,535.00	\$ 19.50	\$ 75,172.50	\$ 20.00	\$ 77,100.00	
77	425 6009	Prestressed Slab Beam (4SB12) furnish and install complete in place, as per details and specifications.	948	LF	\$ 173.73	\$ 164,696.04	\$ 160.00	\$ 151,680.00	\$ 175.00	\$ 165,900.00	\$ 200.00	\$ 189,600.00	\$ 155.00	\$ 146,940.00	\$ 175.00	\$ 165,900.00	\$ 450.00	\$ 426,600.00	
78	450 6014	Rail (T551) furnish and install complete in place, as per details and specifications.	268	LF	\$ 99.65	\$ 26,706.20	\$ 115.00	\$ 30,820.00	\$ 98.00	\$ 26,264.00	\$ 75.00	\$ 20,100.00	\$ 100.00	\$ 26,800.00	\$ 130.00	\$ 34,840.00	\$ 100.00	\$ 26,800.00	
79	454 6018	Sealed Expansion Joint (4 in)(SEJ-M) furnish and install complete in place, as per details and specifications.	74.2	LF	\$ 112.19	\$ 8,324.50	\$ 105.00	\$ 7,791.00	\$ 100.00	\$ 7,420.00	\$ 85.00	\$ 6,307.00	\$ 150.00	\$ 11,130.00	\$ 124.00	\$ 9,200.80	\$ 50.00	\$ 3,710.00	
Total Bid Amount (Section III)						\$ 444,761.13		\$ 390,080.00		\$ 433,434.00		\$ 475,369.50		\$ 415,455.00		\$ 444,993.30		\$ 689,341.50	
1. The successful Bidder will be required to hold his bid for ninety (90) days.																			
2. The Contractor shall agree to the number of calendar days specified, submit a Bid Bond with the completed Bid Items, and include all addenda in the Bid documents, otherwise the Bid will be considered NON-RESPONSIVE and will be rejected.																			
ADDITIVE ALTERNATE NO.1 - SECTION IV - MARSHALL DRIVE BRIDGE (HPC)																			
58A	416 6002	Drill Shaft (24" Diameter) furnish and install complete in place, as per details and specifications.	560	LF	\$ 117.28	\$ 65,676.80	\$ 105.00	\$ 58,800.00	\$ 142.00	\$ 79,520.00	\$ 115.00	\$ 64,400.00	\$ 120.50	\$ 67,480.00	\$ 145.00	\$ 81,200.00	\$ 143.75	\$ 80,500.00	
59A	416 6006	Drill Shaft (48" Diameter) furnish and install complete in place, as per details and specifications.	432	LF	\$ 277.78	\$ 120,000.96	\$ 300.00	\$ 129,600.00	\$ 340.00	\$ 146,880.00	\$ 335.00	\$ 144,720.00	\$ 301.50	\$ 130,248.00	\$ 265.00	\$ 114,480.00	\$ 586.50	\$ 253,368.00	
60A		Select Backfill for Marshall Road Abutment No. 4, furnish and install complete in place, as per details and specifications.	770	CY	\$ 127.24	\$ 97,974.80	\$ 65.00	\$ 50,050.00	\$ 180.00	\$ 138,600.00	\$ 33.00	\$ 25,410.00	\$ 215.00	\$ 165,550.00	\$ 300.00	\$ 231,000.00	\$ 230.00	\$ 177,100.00	
61A	420 6013	Class "C" Concrete (Abutments)(HPC) furnish and install complete in place, as per details and specifications.	166.7	CY	\$ 790.38	\$ 131,756.35	\$ 850.00	\$ 141,695.00	\$ 1,100.00	\$ 183,370.00	\$ 630.00	\$ 105,021.00	\$ 803.00	\$ 133,860.10	\$ 800.00	\$ 133,360.00	\$ 1,173.00	\$ 195,539.10	
62A	420 6025	Class "C" Concrete (Bent Caps)(HPC) furnish and install complete in place, as per details and specifications.	26.8	CY	\$ 1,081.95	\$ 28,996.26	\$ 1,475.00	\$ 39,530.00	\$ 1,500.00	\$ 40,200.00	\$ 1,350.00	\$ 36,180.00	\$ 1,103.00	\$ 29,560.40	\$ 1,400.00	\$ 37,520.00	\$ 1,265.00	\$ 33,902.00	
63A	420 6037	Class "C" Concrete (Columns)(HPC) furnish and install complete in place, as per details and specifications.	13.8	CY	\$ 1,159.42	\$ 16,000.00	\$ 1,600.00	\$ 22,080.00	\$ 1,500.00	\$ 20,700.00	\$ 2,100.00	\$ 28,980.00	\$ 1,703.00	\$ 23,501.40	\$ 1,150.00	\$ 15,870.00	\$ 1,725.00	\$ 23,805.00	
64A	422 6015	Class "S" Concrete (Bridge Approach Slab) furnish and install complete in place, as per details and specifications.	100.7	CY	\$ 477.12	\$ 48,045.98	\$ 450.00	\$ 45,315.00	\$ 700.00	\$ 70,490.00	\$ 500.00	\$ 50,350.00	\$ 703.00	\$ 70,792.10	\$ 500.00	\$ 50,350.00	\$ 718.75	\$ 72,378.13	
65A	422 6001	Reinforced Concrete (Slab)(Class "S")(HPC) furnish and install complete in place, as per details and specifications.	6590	SF	\$ 21.99	\$ 144,914.10	\$ 13.00	\$ 85,670.00	\$ 16.00	\$ 105,440.00	\$ 16.00	\$ 105,440.00	\$ 17.10	\$ 112,689.00	\$ 16.00	\$ 105,440.00	\$ 23.00	\$ 151,570.00	
66A	422 6013	Class "S" Concrete (Bridge Sidewalk) furnish and install complete in place, as per details and specifications.	950	SF	\$ 14.21	\$ 13,499.50	\$ 15.00	\$ 14,250.00	\$ 13.00	\$ 12,350.00	\$ 20.00	\$ 19,000.00	\$ 17.10	\$ 16,245.00	\$ 12.00	\$ 11,400.00	\$ 23.00	\$ 21,850.00	
67A	425 6010	Prestressed Slab Beam (5SB12) furnish and install complete in place, as per details and specifications.	1185	LF	\$ 155.89	\$ 184,729.65	\$ 160.00	\$ 189,600.00	\$ 170.00	\$ 201,450.00	\$ 200.00	\$ 237,000.00	\$ 155.00	\$ 183,675.00	\$ 165.00	\$ 195,525.00	\$ 475.00	\$ 562,875.00	
68A	425 6009	Prestressed Slab Beam (4SB12) furnish and install complete in place, as per details and specifications.	118.5	LF	\$ 166.31	\$ 19,707.74	\$ 160.00	\$ 18,960.00	\$ 175.00	\$ 20,737.50	\$ 200.00	\$ 23,700.00	\$ 160.00	\$ 18,960.00	\$ 166.00	\$ 19,671.00	\$ 450.00	\$ 53,325.00	
69A	450 6014	Rail (T551) (HPC) furnish and install complete in place, as per details and specifications.	264	LF	\$ 100.37	\$ 26,497.68	\$ 115.00	\$ 30,360.00	\$ 98.00	\$ 25,872.00	\$ 75.00	\$ 19,800.00	\$ 100.50	\$ 26,532.00	\$ 130.00	\$ 34,320.00	\$ 115.00	\$ 30,360.00	
70A	454 6019	Sealed Expansion Joint (5 in)(SEJ-M) furnish and install complete in place, as per details and specifications.	109.9	LF	\$ 106.29	\$ 11,681.27	\$ 105.00	\$ 11,539.50	\$ 120.00	\$ 13,188.00	\$ 115.00	\$ 12,638.50	\$ 150.00	\$ 16,485.00	\$ 125.00	\$ 13,737.50	\$ 50.00	\$ 5,495.00	
Total Bid Amount (Section IV)						\$ 909,481.08		\$ 837,449.50		\$ 1,058,797.50		\$ 872,639.50		\$ 995,578.00		\$ 1,043,873.50		\$ 1,662,067.23	
1. The successful Bidder will be required to hold his bid for ninety (90) days.																			
2. The Contractor shall agree to the number of calendar days specified, submit a Bid Bond with the completed Bid Items, and include all addenda in the Bid documents, otherwise the Bid will be considered NON-RESPONSIVE and will be rejected.																			

**Cottonwood Drainage Improvements
at Marshall Dr and Robinson Rd W. O. # 615.60**

CITY OF GRAND PRAIRIE
DATE: February 18, 2020

NO.	TXDOT Item	DESCRIPTION	QUANTITY	UNIT	McMahon Contracting LP Bid Amount		SEMA Construction, Inc. Bid Amount		Rebcon, Inc. Bid Amount		Ed Bell Construction Bid Amount		IBCTX, LLC Bid Amount		Urban Infraconstruction, LLC Bid Amount		HOS Construction, LLC Bid Amount		
					EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE	EXTENDED PRICE				
		ADDITIVE ALTERNATE NO.1 - SECTION V - ROBINSON ROAD BRIDGE (HPC)																	
71A	416 6002	Drill Shaft (24" Diameter) furnish and install complete in place, as per details and specifications.	390	LF	\$ 124.11	\$ 48,402.90	\$ 105.00	\$ 40,950.00	\$ 142.00	\$ 55,380.00	\$ 115.00	\$ 44,850.00	\$ 120.50	\$ 46,995.00	\$ 145.00	\$ 56,550.00	\$ 143.75	\$ 56,062.50	
72A	420 6013	Class "C" Concrete (Abutments)(HPC) furnish and install complete in place, as per details and specifications.	24.2	CY	\$ 1,461.99	\$ 35,380.16	\$ 1,100.00	\$ 26,620.00	\$ 900.00	\$ 21,780.00	\$ 1,400.00	\$ 33,880.00	\$ 1,203.00	\$ 29,112.60	\$ 1,450.00	\$ 35,090.00	\$ 1,173.00	\$ 28,386.60	
73A	420 6025	Class "C" Concrete (Bent Caps)(HPC) furnish and install complete in place, as per details and specifications.	18.6	CY	\$ 1,384.68	\$ 25,755.05	\$ 1,600.00	\$ 29,760.00	\$ 1,500.00	\$ 27,900.00	\$ 1,700.00	\$ 31,620.00	\$ 1,103.00	\$ 20,515.80	\$ 1,100.00	\$ 20,460.00	\$ 1,265.00	\$ 23,529.00	
74A	420 6037	Class "C" Concrete (Columns) (HPC) furnish and install complete in place, as per details and specifications.	8.2	CY	\$ 1,719.83	\$ 14,102.61	\$ 1,800.00	\$ 14,760.00	\$ 1,500.00	\$ 12,300.00	\$ 2,350.00	\$ 19,270.00	\$ 1,703.00	\$ 13,964.60	\$ 1,200.00	\$ 9,840.00	\$ 1,725.00	\$ 14,145.00	
75A	422 6015	Class "S" Concrete (Bridge Approach Slab) furnish and install complete in place, as per details and specifications.	78.3	CY	\$ 481.01	\$ 37,663.08	\$ 480.00	\$ 37,584.00	\$ 700.00	\$ 54,810.00	\$ 500.00	\$ 39,150.00	\$ 703.00	\$ 55,044.90	\$ 500.00	\$ 39,150.00	\$ 718.75	\$ 56,278.13	
76A	422 6001	Reinforced Concrete (Slab)(Class "S")(HPC) furnish and install complete in place, as per details and specifications.	3855	SF	\$ 21.72	\$ 83,730.60	\$ 13.00	\$ 50,115.00	\$ 16.00	\$ 61,680.00	\$ 23.50	\$ 90,592.50	\$ 17.10	\$ 65,920.50	\$ 19.50	\$ 75,172.50	\$ 23.00	\$ 88,665.00	
77A	425 6009	Prestressed Slab Beam (ASB12) furnish and install complete in place, as per details and specifications.	948	LF	\$ 173.73	\$ 164,696.04	\$ 160.00	\$ 151,680.00	\$ 175.00	\$ 165,900.00	\$ 200.00	\$ 189,600.00	\$ 155.00	\$ 146,940.00	\$ 175.00	\$ 165,900.00	\$ 450.00	\$ 426,600.00	
78A	450 6014	Rail (T551)(HPC) furnish and install complete in place, as per details and specifications.	268	LF	\$ 99.65	\$ 26,706.20	\$ 115.00	\$ 30,820.00	\$ 98.00	\$ 26,264.00	\$ 75.00	\$ 20,100.00	\$ 100.50	\$ 26,934.00	\$ 130.00	\$ 34,840.00	\$ 115.00	\$ 30,820.00	
79A	454 6018	Sealed Expansion Joint (4 in)(SEJ-M) furnish and install complete in place, as per details and specifications.	74.2	LF	\$ 112.19	\$ 8,324.50	\$ 105.00	\$ 7,791.00	\$ 100.00	\$ 7,420.00	\$ 85.00	\$ 6,307.00	\$ 150.00	\$ 11,130.00	\$ 124.00	\$ 9,200.80	\$ 50.00	\$ 3,710.00	
		Total Bid Amount (Section V)				\$ 444,761.13		\$ 390,080.00		\$ 433,434.00		\$ 475,369.50		\$ 416,557.40		\$ 446,203.30		\$ 728,196.23	
		Total Base Bid (Sections 1, 2 and 3)				\$ 3,341,969.01		\$ 3,382,239.80		\$ 3,993,794.00		\$ 4,278,900.75		\$ 4,276,478.00		\$ 4,354,178.65		\$ 5,553,413.00	
		Total Alternate Bid 1 (Section 1, 4 and 5)				\$ 3,341,969.01		\$ 3,382,239.80		\$ 3,993,794.00		\$ 4,278,900.75		\$ 4,280,318.40		\$ 4,362,944.55		\$ 5,727,968.45	

(Company) certifies that the Unit Prices shown on this computer print-out for all of the bid items and the alternates contained in this proposal are the Unit Prices intended, and that its bid will be tabulated using these Unit Prices and no other information from this print-out.

The Company further acknowledges and agrees that the Total Bid Amount shown will be read as its Total Bid and further agrees that the official Total Bid Amount will be determined by multiplying the Unit Bid Prices shown in this print-out by the respective estimated quantities shown in the proposal and then totaling all of the extended amounts.

Signed: _____

Print Name: _____

Title: _____

Date: _____

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 401592 / 01506003

Project Title: Marshall & Robinson @ Cottonwood Crk

Current Request: \$157,748.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Survey/Studies 61405	\$825	\$0	\$0	\$0	\$825
Easement 68091	\$94,924	\$0	\$0	\$0	\$94,924
Construction 68540	\$1,539,664	\$1,510,201	\$157,748	\$1,667,949	\$1,697,412
Eng/Con/Geo 68560	\$345,133	\$44,426	\$0	\$44,426	\$345,133
Labor 68999	\$103,454	\$80,854	\$0	\$80,854	\$103,454
				\$0	\$0
				\$0	\$0
TOTAL	\$2,084,000	\$1,635,481	\$157,748	\$1,793,229	\$2,241,748



Legislation Details (With Text)

File #: 20-9823 **Version:** 1 **Name:** HCV Budget Funding Year 2020
Type: Ordinance **Status:** Consent Agenda
File created: 2/20/2020 **In control:** Housing and Neighborhood Services
On agenda: 3/3/2020 **Final action:**
Title: Ordinance adopting the Housing Administration (Fund 3001) and Housing Choice Voucher (Fund 3002) operating budgets for calendar year 2020 and fiscal year 2019-2020; allocating, approving, and authorizing the expenditure of \$90,020 of the Housing Administrative Reserve Fund (3001) for the purchase of (3) three replacement vehicles

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A](#)
[Exhibit B](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Patrick Cornelius

Title

Ordinance adopting the Housing Administration (Fund 3001) and Housing Choice Voucher (Fund 3002) operating budgets for calendar year 2020 and fiscal year 2019-2020; allocating, approving, and authorizing the expenditure of \$90,020 of the Housing Administrative Reserve Fund (3001) for the purchase of (3) three replacement vehicles

Presenter

William A. Hills, Director, Housing and Neighborhood Services

Recommended Action

Approve

Analysis

The Section 8 Program was enacted as part of the Housing and Community Development Act of 1974. The Department of Housing and Urban Development (HUD) requires all agencies who administer a Section 8 Program to adopt an operating budget for the Calendar (funding) year.

The 2020 Housing Administration and Housing Choice Voucher Assistance Payments calendar-year budget (Exhibit A) is a twelve-month budget, beginning in January, 2020 and ending December, 2020. These budgets consist of the Program Administrative fees and Housing Assistance Payments (HAP). The annual budget allocation is received from HUD through revenue appropriations beginning in January of each year; However, again this year this was not the case. We have been operating and continue to operate under a federal continuing resolution, and only recently received the projected funding allocation and formulas expected for this year.

The 2019-2020 Housing Administration and HCV fiscal-year budget (Exhibit B) is also a twelve-month budget calculated on a fiscal year, beginning October 1, 2019 and ending September 30, 2020. These fiscal year budgets are required for external reporting purposes, such as the City's annual CAFR and HUD's REAC reporting system.

Additionally, we are requesting funding be allocated for (3) three vehicles that have been recommended for replacement by Fleet Services. Funding is available in the Housing Administration Reserve (Fund 3001).

Financial Consideration

The Housing Administration Fund (3001) and the Housing Choice Voucher Section 8 Fund (3002) are funded solely with funds allocated by HUD.

Body

AN ORDINANCE APPROVING AND ADOPTING THE HOUSING ADMINISTRATION (3001) AND HOUSING CHOICE VOUCHER (OPERATING FUND (3002) BUDGETS FOR CALENDAR YEAR 2020 AND FISCAL YEAR 2019-2020; ALLOCATING, APPROVING AND AUTHORIZING THE EXPENDITURE OF \$90,020 OF THE HOUSING ADMINISTRATIVE RESERVE FUND (3001) FOR THE PURCHASE OF (3) THREE REPLACEMENT VEHICLES

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. That the City Council of the City of Grand Prairie approves the Housing Administration (3001) and Housing Choice Voucher (Fund 3002) operating budgets, as delineated in the attached budgets hereto (Exhibits A & B); and incorporates the same as if it were written herein; allocating and approving \$90,020 of the Housing Administrative Reserve Fund (3001) for the purchase of (3) three replacement vehicles.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, MARCH 03, 2020.

Section 8 Budget

Exhibit A	Budget Expenditures	CY 20
	ADMIN	HAP
Personnel Services	\$ 2,567,557.00	\$ 29,864,616.00
Supplies	\$ 40,675.00	
Services/Transfers	\$ 414,108.00	
Portability In Hap	\$ 6,500,000.00	
TOTALS	\$ 9,522,340.00	\$ 29,864,616.00

Budget Revenue CY 20

	ADMIN	HAP
Voucher Admin	\$ 2,146,572.00	\$ 29,864,616.00
Portability In Admin & Hap Fee	\$ 6,750,681.00	
Apartment Inspections	\$ 343,576.00	
Motel/Hotel Inspections Extended Stay	\$ 158,511.00	
Willow Tree/Cotton Creek	\$ 78,000.00	
Fraud Repayment	\$ 75,000.00	
TOTALS	\$ 9,552,340.00	\$ 29,864,616.00

ADMIN RESERVES

Beginning Fund Resources \$ 918,226.00

Exhibit B**Budget Expenditures****FY 20****ADMIN****HAP**

Personnel Services	\$ 2,330,820.00	\$ 27,664,115.00
Supplies	\$ 58,020.00	
Services/Transfers	\$ 450,184.00	
Portability In Hap	\$ 5,992,128.00	
TOTALS	\$ 8,831,152.00	\$ 27,664,115.00

Budget Revenue**FY 20****ADMIN****HAP**

Voucher Admin	\$ 2,226,164.00	\$ 27,664,115.00
Portability In Admin & Hap Fee	\$ 6,162,924.00	
Apartment Inspections	\$ 260,888.00	
Motel/Hotel Inspections Extended Stay	\$ 82,592.00	
Willow Tree/Cotton Creek	\$ 63,262.00	
Fraud Repayment	\$ 36,320.00	
TOTALS	\$ 8,832,150.00	\$ -

ADMIN RESERVES

Revenue Over (Under) Expenditu	\$ (998.00)
Beginning Fund Resources	\$ 918,226.00
Ending Balance	\$(919,224.00)



Legislation Details (With Text)

File #: 20-9824 **Version:** 1 **Name:** Ordinance amending the FY2019/20 Capital Improvement Projects Budget and a construction contract with Excel Trenching for 30"/36" Robinson Road Waterline (W.O. #618.113)

Type: Ordinance **Status:** Consent Agenda

File created: 2/21/2020 **In control:** Engineering

On agenda: 3/3/2020 **Final action:**

Title: Ordinance amending the FY 2019/20 Capital Improvement Projects Budget; Construction contract with Excel Trenching for 30"/36" Robinson Road Waterline, in the total amount of \$4,696,891.40; material testing with Alliance Geotechnical Group in the amount of \$88,552.20; in-house engineering in the amount of \$140,906; and 5% construction contract contingency in the amount of \$234,844 for a total project cost of \$5,161,193.60

Sponsors:

Indexes:

Code sections:

Attachments: [W.O # 618.113 Excel Trenching Recommendation of Award Letter.pdf](#)
[618.113 WTER.pdf](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

max

Title

Ordinance amending the FY 2019/20 Capital Improvement Projects Budget; Construction contract with Excel Trenching for 30"/36" Robinson Road Waterline, in the total amount of \$4,696,891.40; material testing with Alliance Geotechnical Group in the amount of \$88,552.20; in-house engineering in the amount of \$140,906; and 5% construction contract contingency in the amount of \$234,844 for a total project cost of \$5,161,193.60

Presenter

Gabe Johnson, Director of Public Works

Recommended Action

Approve

Analysis

The City's Water Master Plan calls for replacement of the 1 million gallon Robinson Road Elevated Water Storage Tank with a 2 million gallon tank to accommodate the growth of the city. The plan calls for the replacement of the tank and a 30"/36" water line to provide adequate supply to the tank.

The tank construction will need to be coordinated with the planned demolition and relocation of Fire Station No. 3. However, at the time the tank is constructed we need to have the 30"/36" supply line in place.

On February, 20, 2018 the City Council (18-7617) approved a professional engineering contract with Freese &

Nichols, Inc. in the amount of \$482,000, plus a 4% contingency of \$17,000 for a total request of \$500,000. The original contract provided for the 30"/36" water transmission line for Robinson Road elevated storage tank design, route feasibility studies including the detail of land acquisition for each route as well as the impacts on other utilities, streets, private property and related issues, minimizing impacts of the waters of the U.S., coordination with the Texas Historical Commission, perform surveys and easement descriptions, specify needed geotechnical work, detailed design of the water line, assist with bidding and evaluation of bids and selection of contractor, review of shop drawings, review of and administering change orders, final project review and production of record drawings incorporating deviations in construction from originals. Additional services were added for developing construction drawings and specifications for the relocation and removal of the existing 16" and 24" waterlines at the fire station property. It also included survey of the fire station property in the area of the existing waterlines and Level A & B subsurface investigation (SUE) in the amount of \$48,912 was approved by City Council (18-7982).

On Tuesday, February 11, 2020, the City of Grand Prairie opened competitive sealed proposals (CSP) for the 30"/36" Robinson Road Waterline (W.O. #618.113)). A total of seven (7) proposals were received for the competitive sealed proposal (CSP). The Director of Public Works, City Engineering, Inspector, and Field Operations met with Freese and Nichols, Inc. to evaluate each Contractor based on the Proposal Price and the Proposer's Key Personnel, Relevant Experience, and Project Methodology. Two Contractors, Atkins Brothers and Mountain Cascade of Texas, did not submit all the documentation required in the Bid Book and were therefore deemed non-responsive. Their total proposal score is based solely on their proposal price.

<u>Company</u>	<u>Proposal Price</u>	<u>Total Evaluated Proposal Score</u>
Excel Trenching	\$4,696,891.40	86.68
S. J. Louis Construction	\$5,857,291.00	83.18
Thalle Construction Companyh	\$5,901,730.00	78.74
BELT Construction	\$5,917,315.00	67.59
Atkins Brothers	\$6,094,827.00	35.12
ARK Contracting Services	\$6,142,485.00	63.71
Mountain Cascade of Texas	\$6,814,080.00	32.78

The Engineer's probable cost was \$4,650,000.

City Staff and Halff Associates (Project Consultant) recommend the award of the 30"/36" Robinson Road Waterline to Excel Trenching for the amount of \$4,696.891.40.

Construction of this project is scheduled to begin around the end of March 2020 with projected completion around August 2020.

Financial Consideration

Funding in the total amount of \$5,161,193.60 is available as follows:

1. \$5,003,147 is available in Water Capital Projects Fund (500592) WO #01811303 (Robinson Rd EST & 30" Water Line)
2. \$158,047 is available by appropriating and transferring from the unobligated fund balance in the Water Capital Projects Fund (500592) to WO #01811303 (Robinson Rd EST & 30" Water Line)

Body

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING THE FY 2019/2020 CAPITAL IMPROVEMENT PROJECTS BUDGET BY TRANSFERRING AND APPROPRIATING \$158,047 FROM THE UNOBLIGATED FUND BALANCE IN THE

WATER CAPITAL PROJECTS FUND (500592) TO WO #01811303 (ROBINSON RD EST & 30" WATER LINE)

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating \$158,047 from the unobligated fund balance in the Water Capital Projects Fund (500592) to WO #01811303 (Robinson Rd EST & 30" Water Line)

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, MARCH 3RD, 2020.

MEMORANDUM



Innovative approaches
Practical results
Outstanding service

4055 International Plaza, Suite 200 • Fort Worth, Texas 76109 • 817-735-7300 • fax 817-735-7491

www.freese.com

TO: Romin Khavari, City Engineer

FROM: Aaron Conine, P.E.

SUBJECT: Recommendation of Award for 30"/36" Robinson Road Waterline (W.O. #618.113)

DATE: February 21, 2020

The Robinson Road Waterline consists of approximately 7,500 LF of 30" waterline and 1,300 LF of 36" waterline and associated appurtenances.

Proposals for the project were received and opened publicly on Tuesday, February 11, 2020 at the City of Grand Prairie. A total of seven (7) proposals were received for the competitive sealed proposal (CSP). A table outlining the proposal price and the total evaluated proposal score awarded to each Contractor is shown below.

Contractor	Proposal Price (50 possible points)	Total Evaluated Proposal Score
Excel Trenching	\$ 4,696,891.40	86.68
S.J. Louis Construction	\$ 5,857,291.00	83.18
Thalle Construction Company	\$ 5,901,730.00	78.74
BELT Construction	\$ 5,917,315.00	67.59
Atkins Brothers	\$ 6,094,827.00	35.12
ARK Contracting Services	\$ 6,142,485.00	63.71
Mountain Cascade of Texas	\$ 6,814,080.00	32.78

The total Engineer's opinion of probable construction cost was \$5,029,300; Excel Trenching had the lowest proposal price with a bid of \$4,696,891.40. The bid tabulations were checked for errors and omissions and none were found.

The Director of Public Works, City Engineering, Inspector, and Field Operations met with FNI to evaluate each Contractor based on the Proposal Price and the Proposer's Key Personnel, Relevant Experience, and Project Methodology. Two Contractors, Atkins Brothers and Mountain Cascade of Texas, did not submit all the documentation required in the Bid Book and were therefore deemed non-responsive. Their total proposal score is based solely on their proposal price.

We received feedback from three of the four references Excel Trenching listed. All three provided favorable reviews for the work Excel has performed and/or are currently performing. All responded Excel provided good quality of work and customer service. All references expressed willingness to work with Excel again.

Recommendation of Award for 30"/36" Robinson Road Waterline (W.O. #618.113)

February 21, 2020

Page 2 of 2

- | | | |
|-------------------|------------------|----------------|
| • City of Frisco | Shawn Halle | (972) 292-5437 |
| • City of Lucas | Stanton Forester | (972) 912-1208 |
| • City of Melissa | Casey Berend | (940) 631-5787 |

We have found nothing to warrant the disqualification of Excel Trenching and therefore recommend that the project, 30"/36" Robinson Road Waterline (W.O # 618.113) be awarded to Excel Trenching for the amount of \$4,696,891.40.



cc: Gabe Johnson – Public Works Director
George Fanous – Senior Engineer
Maxine Snow – Administrative Assistant
Robert Barron – Chief Engineering Inspector

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 500592 / 01811303
 Project Title: Robinson Rd EST & 30" Water Line
 Current Request: \$152,047.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Prof Engineering 61041	\$531,912	\$0	\$0	\$0	\$531,912
Land Purchase 68090	\$47,014	\$0	\$0	\$0	\$47,014
Easement Title 68091	\$67,309	\$0	\$0	\$0	\$67,309
Construction 68540	\$5,160,629	\$4,773,689	\$158,047	\$4,931,736	\$5,318,676
Eng/Con/Geo 68560	\$92,373	\$88,553	\$0	\$88,553	\$92,373
Labor 68999	\$146,141	\$140,906	\$0	\$140,906	\$146,141
				\$0	\$0
TOTAL	\$6,045,378	\$5,003,148	\$158,047	\$5,161,195	\$6,203,425



Legislation Details (With Text)

File #: 20-9827 **Version:** 1 **Name:** Change Order/Amendment No. 2 for the Pump Station Fueling Station

Type: Ordinance **Status:** Consent Agenda

File created: 2/21/2020 **In control:** Fleet Services

On agenda: 3/3/2020 **Final action:**

Title: Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Change Order/Amendment No. 2 with Petroleum Solutions, Inc. of Grand Prairie for additional expenses for the installation of above-ground fuel tanks at the pump station in the amount of \$31,988.07

Sponsors:

Indexes:

Code sections:

Attachments: [619.147 WTER.pdf](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

max

Title

Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Change Order/Amendment No. 2 with Petroleum Solutions, Inc. of Grand Prairie for additional expenses for the installation of above-ground fuel tanks at the pump station in the amount of \$31,988.07

Presenter

Jayson R. Ramirez, Fleet Services Manager

Recommended Action

Approve

Analysis

On August 6, 2019 a contract for the Pump Station fuel island tanks was approved by City Council (19-9136) in the amount of \$498,745.45. The Pump Station fuel island tanks are one of the City of Grand Prairie's primary fueling sites and managed by Fleet Services. This project involved the replacement of one (1) 20,000 gallon unleaded tank and one (1) 10,000 gallon diesel fuel tank that were installed September, 1989.

The age of the components of this fuel island (underground fiberglass tanks, lines, and other dispensing components) along with recommendations by Environmental Services result in this request of the removal and replacement of the dilapidated tanks with safer, more efficient and modern above-ground fuel tanks.

The project consisted of complete removal and disposal of one (1) 20,000 gallon unleaded and one (1) 10,000 gallon diesel underground fiberglass tanks, fuel lines and other necessary components, two (2) 12,000 gallon, UL 2085 double-walled, FIREGUARD tanks, fuel lines and tank monitoring and tank gauging to include all materials, labor, equipment, tools and all items and services necessary for installation of the aboveground tanks,

two (2) column 30' X 60' canopy to include all materials, labor, equipment, tools and all items and service necessary for installation of the canopy WITHOUT cased structural piers, complete removal and disposal of a two (2) column 30' X 50' (estimated) canopy including all materials, labor, equipment, tools and all items and service necessary for complete removal of existing canopy, removal of the backfill, take the TCEQ required soil samples, and send them to the lab for testing , two (2) new dual house product dispensing units to include all materials, labor, equipment, tools and all items and services necessary for installation and integration with existing fuel management software (FMS) , complete installation of one (1) new Franklin Fueling Systems Incon TS-550 EVO Fuel Management System to include all materials, labor, equipment, tools and all items and services necessary for installation and integration with existing fuel management software , all new electrical for fueling system to include all materials, labor, equipment, tools and all items and services necessary for installation, fill excavation hole with new backfill material per specification addendum (INCLUDE ALL REQUIRED MATERIAL, TESTING, COMPACTION) , one (1) 750 gallon BlueUSA island friendly mini-bulk DEF plus dispensing and storage system to include all materials, labor, equipment, tools and all items and services necessary for installation and integration with fuel management system (FMS), and all new electrical for fueling system connected to existing backup generator to include all materials, labor, equipment, tools and all items and services necessary for installation

Change Order/Amendment No. 2 in the amount of \$28,214 was approved by the City on February 7, 2020 for tank pad modifications and structural support.

The Current Change Order/Amendment No. 2 in the amount of \$31,988.07 will allow for the disposal of 603.55 yards of materials from the excavation activities.

Financial Consideration

State statutes require City Council approval of a change order when the cumulative cost of the change orders exceeds \$50,000. With approval of this change order, the City Manager will be able to approve the change order to a cumulative value of \$50,000 without additional Council approval. Also, the City, as an owner, reserves the right to increase the amount of the work to be performed in a given construction contract by an amount not to exceed twenty-five (25%) percent of the original bid. The amount of this contract is \$498,745 and the 25% value of this contract is \$124,686. The total amount of both change order for this contract will be \$60,202.00

Funding for the complete above ground tanks installation project at the Service Center for a total amount of **\$31,989** is as follows:

1. **\$799** is available in the Water Capital Projects Fund (500592), WO #01914703 (Pump Station Removal Underground Storage Tanks)
2. **\$31,190** is available by approving an ordinance transferring and appropriating from the unobligated fund balance in the Water Capital Projects Fund (500592) to WO #01914703 (Pump Station Removal Underground Storage Tanks)

Body

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING THE FY 2019/2020 WATER CAPITAL FUND BUDGET BY TRANSFERRING AND APPROPRIATING \$31,190 FROM THE UNOBLIGATED FUND BALANCE IN THE WATER CAPITAL PROJECTS FUND (500592) TO WO #01914703 (PUMP STATION REMOVAL UNDERGROUND STORAGE TANKS).

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. THAT THE FY 2019/2020 Capital Improvement Projects Budget be amended by transferring and appropriating \$31,989 from the unobligated fund balance in the Water Capital Projects Fund (500592) to WO #01914703 (Pump Station Removal Underground Storage Tanks).

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, MARCH 3RD, 2020.

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 500592/01914703

Project Title: Pump Station Removal Underground Storage Tanks

Current Request: \$31,190.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Professional Engineering (61041)	\$3,201	\$0		\$0	\$3,201
Construction (68540)	\$554,482	\$799	\$31,190	\$31,989	\$585,672
				\$0	\$0
				\$0	\$0
				\$0	\$0
				\$0	\$0
				\$0	\$0
TOTAL	\$557,683	\$799	\$31,190	\$31,989	\$588,873



Legislation Details (With Text)

File #: 20-9811 **Version:** 1 **Name:** Address Change Ordinance
Type: Ordinance **Status:** Consent Agenda
File created: 2/18/2020 **In control:** City Attorney
On agenda: 3/3/2020 **Final action:**
Title: Ordinance Amending Chapter 30 "Cable Television," Chapter 11 "Finance Records and Property," and Chapter 13 "Health and Sanitation," of the Code of Ordinances of the City of Grand Prairie, Texas, to provide a new address for directing certain communications to the City of Grand Prairie; Repealing all ordinances or parts of ordinances in conflict herewith; And providing an effective date

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Megan Mahan

Title

Ordinance Amending Chapter 30 "Cable Television," Chapter 11 "Finance Records and Property," and Chapter 13 "Health and Sanitation," of the Code of Ordinances of the City of Grand Prairie, Texas, to provide a new address for directing certain communications to the City of Grand Prairie; Repealing all ordinances or parts of ordinances in conflict herewith; And providing an effective date

Presenter

Megan Mahan, City Attorney

Recommended Action

Approve

Analysis

The address for City Hall has changed to 300 W. Main Street. Certain ordinances contain the old address and must be revised accordingly.

Financial Consideration

There are no financial impacts as a result of these amendments.

Body

AN ORDINANCE AMENDING CHAPTER 30 "CABLE TELEVISION", CHAPTER 11 "FINANCE, RECORDS AND PROPERTY", AND CHAPTER 13 "HEALTH AND SANITATION", OF THE CODE OF ORDINANCES OF THE CITY OF GRAND PRAIRIE, TEXAS, TO PROVIDE A NEW ADDRESS FOR DIRECTING CERTAIN COMMUNICATIONS TO THE CITY OF GRAND PRAIRIE; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; AND

PROVIDING AN EFFECTIVE DATE

WHEREAS, the above ordinances direct that certain communications be delivered to the City at City Hall, 317 West College Street; and

WHEREAS, City Hall has recently relocated from 317 West College Street to 300 West Main Street; and

WHEREAS, the above ordinances need to be amended to reflect the new address of City Hall and the address for directing certain communications.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. That Section 30-41(a) of Chapter 30, "Cable Television", of the Code of Ordinances of the City of Grand Prairie, Texas, is hereby amended to read as follows:

"(a) *Notices served.* Every direction, notice or order to be served upon a grantee shall be delivered or sent by registered mail to the grantee's designated office. Every notice served upon the city shall be delivered or sent by registered mail to the City Manager, City Hall, 300 West Main Street, Grand Prairie, Texas 75050."

SECTION 2. That Section 11-8(b) of Chapter 11, "Finance, Records and Property", of the Code of Ordinances of the City of Grand Prairie, Texas, is hereby amended to read as follows:

"(b) All notices required by this section shall be effectuated by serving them upon the city secretary at the following location: 300 West Main Street, Grand Prairie, Texas 75050, and all such notices shall be effective only when actually received in the office of the person named above."

SECTION 3. That Section 13-510(f)(3) of Chapter 13, "Health and Sanitation", of the Code of Ordinances of the City of Grand Prairie, Texas, is hereby amended to read as follows:

"(3) At least fifteen (15) days, and no more than twenty (20) days prior to the date of the public hearing before city council, the operator shall publish a copy of the notice as outlined below, at operator's expense, in one (1) issue of a daily newspaper approved by the environmental services director for ten (10) consecutive days. An affidavit by the printer or publisher of the newspaper indicating publication of the notice shall be filed with the application and will be prima facie evidence of such publication. The notice shall read as follows:

"Notice is hereby given that, acting under and pursuant to the Ordinances of the City of Grand Prairie, Texas, on the _____ day of _____, 20____, _____ filed with the City of Grand Prairie, an application for a gas well permit requiring a distance variance to Article XIX. Gas Drilling and Production, of the Code of Ordinances of the City of Grand Prairie to drill, complete and operate a well for gas upon property located at _____, _____ County, Grand Prairie, Texas, more particularly shown on the map of record in Volume Page _____, Plat records of _____ County, Texas or per Tax Tract Number _____, _____ County, Texas. The City Council will conduct a public hearing on the request for said permit on the _____ day of _____, 20____ at _____ o'clock _____ .m. in the City Council Chambers located at City Hall Plaza, 300 West Main Street, Grand Prairie, Texas.""

SECTION 4. That Section 13-514(c)(1)(e) of Chapter 13, "Health and Sanitation", of the Code of Ordinances

of the City of Grand Prairie, Texas, is hereby amended to read as follows:

“e. Certificates of insurance shall be delivered to the City of Grand Prairie, Legal Department, 300 West Main Street, Grand Prairie, Texas 75050, evidencing all the required coverages, including endorsements, prior to the issuance of a gas well permit.”

SECTION 5. That the Code of Ordinances of the City of Grand Prairie, Texas, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

SECTION 6. That the terms and provisions of this Ordinance are severable and are governed by Section 1-4 of the Code of Ordinances of the City of Grand Prairie, Texas.

SECTION 7. All ordinances or parts of ordinances not consistent or conflicting with the provisions of this Ordinance are hereby repealed; provided that such repeal shall be only to the extent of such inconsistency and in all other respects this Ordinance shall be cumulative of other ordinances regulating and governing the subject matter covered in this Ordinance.

SECTION 8. That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS ON THIS THE 3RD DAY OF MARCH, 2020.



Legislation Details (With Text)

File #: 20-9807 **Version:** 1 **Name:** Ordinance cancelling the mAY 2, 2020 General election

Type: Ordinance **Status:** Consent Agenda

File created: 2/18/2020 **In control:** City Secretary

On agenda: 3/3/2020 **Final action:**

Title: Ordinance cancelling the May 2, 2020 General Election and Declaring Unopposed Candidates Elected

Sponsors:

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Cathy DiMaggio

Title

Ordinance cancelling the May 2, 2020 General Election and Declaring Unopposed Candidates Elected

Presenter

Cathy DiMaggio, City Secretary

Recommended Action

Approve

Analysis

Section 2.052 and Section 2.053 of the Texas Election Code provide for the cancellation of an election if all candidates are unopposed. Since the General Election for city council members and the extension of the crime tax were ordered separately, the general election can be cancelled. In an election on which there is a proposition on the ballot, the names of the unopposed candidates shall be listed un the heading "Unopposed Candidates Declared Elected." This ordinance will accomplish two things: 1) cancellation of the general election; and 2) declaring unopposed candidates elected. The candidates will be issued a certificate of election and will be sworn in at the Council meeting on May 19, 2020. This is the earliest date for council members to be sworn in because the Texas Election Code stipulates that they should be sworn in the same manner as they would have been if they had been elected on the ballot (i.e. after the canvass).

Financial Consideration

None

Body

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, DECLARING UNOPPOSED CANDIDATES IN THE MAY 2, 2020 GENERAL CITY ELECTION, ELECTED TO OFFICE;

CANCELING THE MAY 2, 2020 GENERAL CITY ELECTION; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the general city election was called for May 2, 2020, for the purpose of electing members to the city council; and

WHEREAS, the city secretary has certified in writing that no person has made a declaration of write-in candidacy, and that each candidate on the ballot is unopposed for election to office; and

WHEREAS, under these circumstances, Subchapter C, Chapter 2, Texas Election Code, authorizes the city council to declare the candidates elected to office and cancel the election;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. The following candidates who are unopposed in the May 2, 2020 general city election, are declared elected to office, and shall be issued certificates of election following the time the election would have been canvassed:

**Jorja Clemson, Council Member District One
Mike Del Bosque, Council Member District Three
Jeff Copeland, Council Member, Place 7 at large**

SECTION 2. The May 2, 2020 general city election is canceled, and the city secretary is directed to cause the names of the unopposed candidates to appear on the ballot under the heading, "Unopposed Candidates Declared Elected" beneath the proposition on the city's Special Election ballot;

SECTION 3. It is declared to be the intent of the city council that the phrases, clauses, sentences, paragraphs, and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this ordinance is declared invalid by the judgment or decree of a court of competent jurisdiction, the invalidity shall not affect any of the remaining phrases, clauses, sentences, paragraphs, or sections of this ordinance since the city council would have enacted them without the invalid portion.

SECTION 4. This ordinance shall take effect upon its final passage, and it is so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, MAY 19, 2020.



Legislation Details (With Text)

File #: 20-9804 **Version:** 1 **Name:** Replacement of HVAC System at Summit
Type: Ordinance **Status:** Consent Agenda
File created: 2/18/2020 **In control:** Parks & Recreation
On agenda: 3/3/2020 **Final action:**
Title: Ordinance amending the FY 2019/2020 Capital Improvements Projects Budget; contract with Trane in the amount of \$96,204 for the complete replacement of a HVAC 50 ton RTU at the Summit through a national interlocal agreement with OMNIA Partners; purchase of building management system controls from Enviromatic Systems in the amount of \$25,017 through an existing City Price Agreement through a national interlocal agreement with BuyBoard for a total project cost not-to-exceed \$121,221

Sponsors:

Indexes:

Code sections:

Attachments: [20-9804 - Summit HVAC Replacement.pdf](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Erin Hart, Senior Recreation Superintendent

Title

Ordinance amending the FY 2019/2020 Capital Improvements Projects Budget; contract with Trane in the amount of \$96,204 for the complete replacement of a HVAC 50 ton RTU at the Summit through a national interlocal agreement with OMNIA Partners; purchase of building management system controls from Enviromatic Systems in the amount of \$25,017 through an existing City Price Agreement through a national interlocal agreement with BuyBoard for a total project cost not-to-exceed \$121,221

Presenter

Cheryl De Leon, Director of Parks, Arts and Recreation

Recommended Action

Approve

Analysis

The original HVAC equipment at the Summit has been in place and operational for over 10 years. One of the original HVAC RTU units is starting to fail and repair costs are escalating to unsustainable levels. Accordingly, staff recommends replacement of RTU 2-7 which services Ballroom I at the Summit. The recommended replacement will be with a 50 ton RTU rooftop unit; Trane has submitted a proposal through their OMNIA Partners contract #15-JLP-023 in the amount of \$96,204.00.

Enviromatic Systems submitted a proposal for the building management system controls in the amount of \$25,017.00. The building management systems will be installed using an already established interlocal price agreement with Enviromatic Systems. City Council approved this interlocal price agreement on November 7,

2017 for \$250,000.00 for one year with two one-year renewals and is set to expire October 31, 2020 and is through BuyBoard contract # 458-14.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master inter-local cooperative agreements with various entities including OMNIA Partners and BuyBoard.

OMNIA Partners, formerly U.S. Communities, is the leading national government purchasing cooperative, providing world class government procurement resources and solutions to local and state government agencies, school districts (K-12), higher education institutes, and nonprofits looking for the best overall supplier government pricing.

Trane through their contract #15-JLP-023 offers HVAC product, installation, services and related products and services. This contract was renewed for two (2) years, effective October 1, 2020 and expires on September 30, 2022.

This item was presented to the Finance and Government Committee on March 3, 2020 for review and approval.

Financial Consideration

Funding is available by transferring and appropriating \$121,221 from the unobligated fund balance in the Parks Capital Projects Fund (317193), from the Upkeep Reserve portion of this fund, to WO# 02014503 (Summit AC Replacement), 68020 (Miscellaneous Improvements).

Body

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING THE FY 2019/2020 CAPITAL IMPROVEMENT PROJECTS BUDGET BY TRANSFERRING AND APPROPRIATING \$121,221 FROM THE UNOBLIGATED FUND BALANCE IN THE PARKS CAPITAL PROJECTS FUND (317193), FROM THE UPKEEP RESERVE PORTION OF THIS FUND, TO WO# 02014503 (SUMMIT AC REPLACEMENT), 68020 (MISCELLANEOUS IMPROVEMENTS)

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. THAT the FY 2019/2020 Capital Improvements Projects Budget be amended by transferring and appropriating \$121,221 from the unobligated fund balance in the Parks Capital Projects Fund (317193), from the Upkeep Reserve portion of this fund, to WO #02014503 (Summit AC Replacement), 68020 (Miscellaneous Improvements).

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, MARCH 3, 2020.

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 317193 - 02014503
 Project Title: Summit HVAC Replacement
 Current Request: \$121,221.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Misc Improvement (68020)	\$0	\$0	\$121,221	\$121,221	\$121,221
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
			\$0	\$0	\$0
TOTAL	\$0	\$0	\$121,221	\$121,221	\$121,221



Legislation Details (With Text)

File #: 20-9801 **Version:** 1 **Name:** Ordinance Audio Video Proposal
Type: Ordinance **Status:** Consent Agenda
File created: 2/17/2020 **In control:** Municipal Court
On agenda: 3/3/2020 **Final action:**
Title: Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Purchase Agreement for audio visual equipment, supplies and installation for the Municipal Court from Ford Audio-Video Systems, LLC in the amount of \$59,336, through a national interlocal agreement with BuyBoard

Sponsors:

Indexes:

Code sections:

Attachments: [FordAVProposal.pdf](#)
[20-9801 Muni Court Audio Video](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Venona McGee, Sr. Buyer

Title

Ordinance amending the FY 2019/2020 Capital Improvement Projects Budget; Purchase Agreement for audio visual equipment, supplies and installation for the Municipal Court from Ford Audio-Video Systems, LLC in the amount of \$59,336, through a national interlocal agreement with BuyBoard

Presenter

Steven Cherry, Court Director

Recommended Action

Approve

Analysis

This Agreement will provide the Municipal Court the ability to purchase audio visual equipment, supplies, installation and training of the system.

Chapter 271.102 of the Local Government Code authorizes local governments to participate in a cooperative purchasing program with another local government or local cooperative organization. In lieu of competitive bidding, items and services may be purchased through such agreements as the agreements have already been bid by the sponsoring entity or agency. The City of Grand Prairie has master interlocal cooperative agreements with various entities including BuyBoard.

The BuyBoard is able to save money by pooling the impressive purchasing power of their members, which include hundreds of school districts, municipalities, counties, other local governments, and nonprofits across Texas. They use the power of numbers as leverage to get better prices with the same vendors we use now.

The BuyBoard contract #563-18 began June 1, 2018 and will expire May 31, 2020, with an option to renew with one (1) additional one-year period.

Financial Consideration

Funding for the purchase agreement for audio visual equipment, supplies and installation from Ford Audio-Video Systems, LLC in the amount of \$59,336, is available by approving an ordinance transferring and appropriating from the unobligated fund balance in the Capital Reserve Fund (402590), WO #02011403 (Municipal Court Audio-Video System).

Body

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING THE FY 2019/2020 CAPITAL IMPROVEMENT PROJECTS BUDGET BY TRANSFERRING AND APPROPRIATING \$59,336 FROM THE UNOBLIGATED FUND BALANCE IN THE CAPITAL RESERVE FUND (402590) WO #02011403 (MUNICIPAL COURT AUDIO-VIDEO SYSTEM)

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. THAT THE FY 2019/2020 Capital Improvement Projects Budget by amended by transferring and appropriating from the unobligated fund balance in the Capital Reserve Fund (402590), WO #02011403 (Municipal Court Audio-Video System).

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, MARCH 3, 2020.

Revised November 19, 2019

Mr. Steven Cherry
City of Grand Prairie
317 College Street
Grand Prairie, TX 75053-4045

RE: Grand Prairie Municipal Court #1 Proposal

Dear Mr. Cherry:

Ford Audio-Video Systems, LLC (Ford) respectfully submits for your consideration the attached proposal, which covers the details of the system requirements in the following outline:

- A. Introduction
- B. Description of Work and Responsibilities
- C. Installation Schedule
- D. Equipment List
- E. Cost Summary and Terms
- F. Guarantees and Limitations of Warranty
- G. Training and Documentation
- H. Building Construction and Installation
- I. Discussion of Technology
- J. Acceptance

The proposed systems are based upon our understanding of your requirements as communicated to us during our meetings and conversations. If there are any changes that need to be made, please let us know. We invite you to compare our systems with any other: in quality, price, and professionalism of installation, we are second to none.

This proposal contains confidential pricing, design, and installation information that is proprietary to Ford and utilizes Ford Audio-Video Systems, LLC's BuyBoard Contract #563-18. It is provided for your private use, and is not to be disclosed, in part or in whole, without the express, written authorization of Ford. Please let us know if any questions arise. We look forward to serving you.

Sincerely,

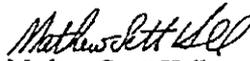
FORD AUDIO-VIDEO SYSTEMS, LLC



M. Ehren Rutherford
Senior Account Manager

Voice: 972-241-9966
Email: ruthe@fordav.com
Website: www.fordav.com

FORD AUDIO-VIDEO SYSTEMS, LLC



Mathew Scott Hall
Division Manager



Proposal

For

CITY OF GRAND PRAIRIE, GRAND PRAIRIE, TX

A. INTRODUCTION

This proposal provides a description of the technology incorporated into the systems, lists the major equipment and components, and states the terms, conditions, and responsibilities. Individual components and quantities may be changed, deleted, added, or designated as optional to be added to the system at a future date.

B. DESCRIPTION OF WORK

Ford shall provide and install the following systems for the Grand Prairie Municipal Court of Grand Prairie, Texas (Customer):

1. AV RACK

- a. One (1) 14-space rack with power distribution shall be provided and installed under the dais.

2. AUDIO SYSTEM

- a. Four (4) white, 6.5" two-way loudspeakers shall be provided and ceiling mounted.
- b. One (1) 70-volt audio amplifier shall be provided and installed in the equipment rack to power the ceiling speakers.
- c. One (1) 12-input 8-output digital signal processor (DSP) shall be provided and installed in the owner furnished equipment (OFE) equipment rack.
- d. One (1) 8-channel DSP output expander box shall be provided and installed in the equipment rack.
- e. One (1) 8-channel DSP input expander box shall be provided and installed in the equipment rack.
- f. Three (3) tri-element microphones shall be provided and suspended from the ceiling in the area between the Attorney's tables, bench, jury box, and witness stand. The microphones shall be used for recording purposes only and shall not be set for voice lift in the Court Room.
- g. One (1) vertical microphone array shall be installed on the modesty rail of the witness stand.
- h. One (1) 8-channel audio recorder shall be provided and installed in the equipment rack.

3. VIDEO SYSTEM

- a. One (1) 8'6" x 5' 4", 16:10 aspect ratio motorized front projection video screen shall be provided and installed above the drop tile ceiling. A trim kit shall be provided and installed for the screen.
 - 1) The control switch to lower and raise the screen shall be provided and mounted on the front wall alongside the screen.
 - 2) The Customer will be responsible for electrical power to the screen location.
- b. One (1) 6,000 lumen, WUXGA 1,920 x 1,200 resolution, 16:10 aspect ratio, 3-LCD video projector with a laser light source shall be provided and ceiling mounted to be aligned with the video projection screen.
- c. One (1) 8-input video presentation switcher/scaler shall be installed in the rack. Video output to the projector shall be HDMI and HDCP compliant. The audio output of the switcher/scaler shall be connected to the OFE mixer/amplifier.
- d. One (1) Blu-ray/DVD player shall be provided and connected to the presentation switcher/scaler.
- e. Three (3) wall plates, each with an active HDBase Transmitter, and one (1) HDMI input shall be provided and connected to the presentation switcher/scaler as follows:
 - 1) One (1) installed in the partition behind the prosecutor's table
 - 2) One (1) installed in the partition behind the defender's table
 - 3) One (1) installed in the dais at the witness stand
- f. One (1) OFE computer shall be installed and connected to the presentation switcher/scaler. The OFE computer shall reside next to the rack.

4. THE CUSTOMER SHALL BE RESPONSIBLE FOR:

- a. The Customer shall have a representative (one [1] person selected by the Customer) available throughout the installation to make decisions on behalf of the Customer concerning the installation. The purpose is to ensure that communication between the Customer and Ford is accurate and responsive in the event of questions or problems that may arise during installation.
- b. The Customer shall clear the rooms involved in the installation of all activities during the periods of installation. Ford will work with the Customer to schedule the installation. Hours or days of work lost by the installation crew due to the inability to work as planned will be charged to the Customer based on the extra labor and expenses required.
- c. The Customer shall provide a facility that is prepared for the installation of electronic equipment. This includes a clean, dust-free and air-conditioned environment that is secure and quiet. The Customer is responsible for providing a secure job site and for the cost of loss or damage to audio, video, and lighting equipment delivered by Ford to the job site.

d. Electrical Power

In the event that electrical power is required to be installed or conduit systems are required to support the audio/video systems, it is the responsibility of the Customer, at their expense, to provide complete and adequate electrical power and conduit, unless otherwise noted.

e. Providing and preparing adequate space for the location of equipment, speakers, speaker clusters, subwoofer cabinets, distributed under and over balcony speaker systems, stage monitor systems, equipment racks, control and mixing consoles, video monitors, video projectors, projection screens, and equipment racks included in the system. In the event floors are sloped or not level, the Customer is responsible for making the floor level under consoles and equipment racks. In the event a projection screen is recessed in a finished ceiling, the Customer is responsible for refinishing the ceiling.

f. Providing a clear area with adequate ventilation and air conditioning that maintains a room temperature not exceeding 75 degrees Fahrenheit in all rooms that are occupied by sound/audio/video/lighting equipment racks. Sound, audio, video, and lighting equipment produces heat which must be dissipated by ventilation or air conditioning. Prolonged operation at room temperatures above 75 degrees Fahrenheit will shorten the life of electronic equipment leading to premature failure of components.

g. The Customer is responsible for the installation and registration of all software on OFE computers. Ford will provide the Customer with the system requirements for Ford provided software, but the Customer is responsible for installing it on the OFE PC's and/or OFE network. All software-related customer support shall be directly provided by the software manufacturer.

h. Scaffolding or lifts provided by the Customer for use by Ford must meet OSHA safety standards and be satisfactory to meet the needs of the Ford installation personnel. In the event the Customer furnished scaffolding or lifts are unacceptable, Ford will present a change request detailing the additional cost and time extension required to complete the project.

i. Ford is not licensed for and does not perform any electrical, carpentry, painting, masonry, or carpet laying work.

j. The Customer shall advise Ford in writing prior to signing a contract agreement regarding the existence of asbestos in any area that Ford may be required to work. The Ford safety policy does not allow any employee to perform work if any asbestos hazard exists. If asbestos is detected, Ford employees will be removed from the location until the location can be made safe in compliance with OSHA standard (1926.1101). Any incurred expenses related to the stoppage of work will be the responsibility of the Customer.

5. FORD SHALL BE RESPONSIBLE FOR:

a. Providing line drawings for systems and equipment manuals electronically at no cost

b. Fabrication and installation of audio/video systems

c. Providing recommendations for electrical power and conduits, to be provided and installed by the electrical contractor, for the audio/video/control systems

- d. Installation of low voltage audio/video wiring for systems
- e. Electronic testing of audio systems
- f. Tuning of audio processors
- g. Testing and alignment of video systems
- h. Training
- i. Warranty service
- j. Providing as-built drawings with wire numbers and labels

6. PREVENTATIVE MAINTENANCE

- a. Ford shall perform one (1) pre-scheduled service call, prior to the end of the warranty period, for the purpose of conducting routine preventative maintenance (PM) to check the general operation of equipment. This PM service call shall be scheduled in advance with the Customer, between 8:00 am and 5:00 pm Monday through Friday, excluding holidays, and does not include expendable materials used (e.g., light bulbs, lamps, light fixture lamps, fuses, batteries, portable connection cables, etc.) or system programming. This service is renewable up to three (3) years.
- b. The Customer will provide a contact person that is authorized to answer questions and obligate the Customer if additional services are requested. The contact will be personally available to meet with the Ford technician and have knowledge of the equipment and systems to be inspected. The contact person will provide access to all areas and equipment rooms requiring inspection.

C. INSTALLATION SCHEDULE

- 1. Ford estimates that the actual on-site installation, test out and commissioning of this project will take four (4) days. In addition to the installation, Ford shall prepare system drawings, purchase the equipment, assemble the equipment in our shop, program control software as required and do in-shop testing. This work will take approximately eight (8) to ten (10) weeks prior to the beginning of actual installation at your facility. The total time required to complete the project shall be approximately ten (10) weeks from agreement execution. The completion of Ford's work depends upon the facility being secure, dust-free, air-conditioned, and quiet.
- 2. For Ford to meet the above completion schedule, it is important that the Customer ensures the job site is available for Ford personnel, and there are no interruptions in the availability of the job site and the ability of Ford to do the work. Ford schedules its work force weeks in advance in order to meet the installation completion dates of all of its customers. As a consequence, it is vital that the Customer notify Ford's Project Manager in the event that the Customer changes the schedule or the Customer's other contractors fall behind in completing their portion of the work.

D. EQUIPMENT LIST

AUDIO MICROPHONES (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	BEYE.729388 MIC. CLASSIS RM30 VERTICAL ARR	437.00	437.00
1.00	BEYE.725242 MIC.GMB 33 S MIC BASE W/BUTTON	174.00	174.00
3.00	AUDI.M3 W MIC, TRI-ELEMENT CEILING WHITE	777.00	2,331.00
1.00	SHUR.ULXD4 MIC,DIGITAL WIRELESS RECEIVER	780.00	780.00
1.00	SHUR.ULXD2/SM58 HANDHELD TRANSMITTER W/SM58	385.00	385.00
3.00	SHUR.MX418D/C MIC,CARDIOD-18" DESKTOP GOOSEN	243.00	729.00
		Sub Total	4,836.00

AUDIO DSP (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	BSS.BLU-100 AV,12 ANALOG MIC/LINE INPUT	1,704.00	1,704.00
1.00	BSS.BLU-BOB1 ACCE,8 CHANNEL ANALOG BREAK-OU	513.00	513.00
1.00	BSS.BLU-BIB ACCE, DSP, EXPANSION UNIT	606.00	606.00
1.00	BSS.RACKMOUNTKI ACCE,RACK MOUNT SHELF KIT	68.00	68.00
		Sub Total	2,891.00

AUDIO EQUIPMENT (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	EXTR.60-804-01 ADAP,AUDIO SUMMING W/RCA INPUT	42.00	42.00
4.00	ATLA.FAP62T SPEA,70V,CEILING	82.00	328.00
		Sub Total	370.00

VIDEO EQUIPMENT (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	AJA.KIPRORACK NEW-RACKMOUNT DIGITAL FILE REC	1,696.00	1,696.00
1.00	AJA.KISTOR1000U RECO,1TB HDD STORGE MOD W/USB3	421.00	421.00
1.00	MARS.CV35010XB1 CAME,COMPACT,10X,HD,2,5MP	767.00	767.00
1.00	VADD.5352000214 MOUN,EXPANDABLE WALL,ALUM	54.00	54.00
2.00	EPSO.V11H901020 PROJ,6000L,WUXGA,LASER	3,380.00	6,760.00
1.00	MIDD.RC2 RACK,2 SPACE (3 1/2") CLAMPING	57.00	57.00
1.00	CHIE.CMS440 MOUN,8" CEILING W/ONE SLOT	87.00	87.00
1.00	CHIE.RPMAU MOUN,UNIVERSAL RPMA W/Q-LOCK	172.00	172.00
1.00	DRAP.CUSTOM1 123"SCREEN 12" DROP W/TRIM KIT	1,181.00	1,181.00
1.00	SONY.BDP-S6700 BLUE,4K,UPSCALING,WIFI,BLURAY	126.00	126.00
		Sub Total	11,321.00

CABLES, PRE-MADE (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	WHIR.DBMM-010 CABL,10',DB25-8XLRM,CONNECT	40.00	40.00
4.00	C2G.50612 CABL,15',HDMI,HIGHSPD+ETHRNT	14.00	56.00
3.00	C2G.56782 CABL,3FT,HDMI W/ ETHERNET	6.00	18.00
		Sub Total	114.00

VIDEO DISTRIBUTION (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	EXTR.60-1238-81 SWIT,SCAL,8,IN,2HDMI,1,DTP,HDT	2,094.00	2,094.00
4.00	EXTR.60-1421-53 AV,HDMI,WALL,LONG DIST DTP,RX	414.00	1,656.00
2.00	EXTR.60-1331-13 VIDE,HDMI TWSTD PAIR EXT.RX	330.00	660.00
1.00	EXTR.60-190-10 MOUN,SHELF,RACK,6 DEEP, KIT	78.00	78.00
		Sub Total	4,488.00

EQUIPMENT RACK (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	MIDD.BRK14 RACK,14SP,(24.5"),18 DEEP,BLK	143.00	143.00
1.00	MIDD.PD-915R-SP 9 OUTS,15A SERIES SURGE	425.00	425.00
1.00	MIDD.UD2 RACK,2 SPACE DRAWER	109.00	109.00
1.00	MIDD.EB1 PANE,1 SPACE(1 3/4") FLANGED	7.00	7.00
		Sub Total	684.00

CONTROL SYSTEM (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	EXTR.60-1417-01 VIDE,PROCESSOR	1,194.00	1,194.00
1.00	EXTR.60-1562-02 DISP,7" TABLETOP TOUCHLINK PRO	1,314.00	1,314.00
		Sub Total	2,508.00

ASSISTED LISTENING (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	LIST.LR-200-072 RECE,STANDARD 3-CHANNEL FM REC	77.00	77.00
1.00	LIST.LA-164 SPEA,EAR SPEAKER	11.00	11.00
1.00	LIST.LCS-120-01 WI-FI/RF BASE SYSTEM	1,015.00	1,015.00
		Sub Total	1,103.00

MISCELLANIOUS HARDWARE (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
1.00	CRIMPS TIES & FASTENERS	100.00	100.00
1.00	CABLES & CONNECTORS	425.00	425.00
1.00	RACK HARDWARE	225.00	225.00
1.00	SMALL SPEAKER HARDWARE	180.00	180.00
1.00	DISPLAY HARDWARE	225.00	225.00
Sub Total			1,155.00

ITEMS (NON CONTRACT)

Quantity	Description	Price	Extension
1.00	LABG.LUCIA12017 AMP,120W,70V,16OHMS	360.00	360.00
1,000.00	BELD.9451P WIRE,1PR,#22,SHIELD,PLENUM	.30	300.00
250.00	BELD.1695A WIRE,RG6/U,#18,75OHM,PLEN,CATV	1.00	250.00
8.00	NEUT.NC3FX CONN,XLR,3-PIN,FEMALE	3.00	24.00
2.00	NEUT.NC3MX CONN,XLR,3-PIN,MALE	3.00	6.00
3.00	KING.2065-10-9 CONN,BNC FOR BELD 1695A/1694A	2.00	6.00
4.00	CADD.SLK15L2 CABL,1.5MM,6.6"W/HOOK,44LB LMT	10.00	40.00
1,000.00	WEST.254246F-BK WIRE, 4PR 23G SHLD CAT6 CMP	1.00	1,000.00
1,000.00	WEST.25225B WIRE,2C,16G,PLENUM,GRAY	.23	230.00
250.00	BELD.2413 WIRE,CAT6,#23,4 PR,PLENUM,1K'	1.00	250.00
1.00	JOEC.BBR1-B RECO,24TK,BLACKBOX,BAL-I/O,USB	2,236.00	2,236.00
1.00	CISC.SG110D08HP SWIT,8-PORT POE GIGABIT SWITCH	139.00	139.00
Sub Total			4,841.00

INTEGRATION SERVICES (BuyBoard TASB Contract, #563-18)

Quantity	Description	Price	Extension
	DESIGN, ENGINEERING, FABRICATION, PROJECT MANAGEMENT, INSTALLATION, COMMISSIONING, TRAINING AND WARRANTY		25,025.00
Sub Total			25,025.00
Merchandise:			34,311.00
Integration:			25,025.00
Freight:			.00
Sales Tax*:			.00
Total Amount:			59,336.00

E. COST SUMMARY AND TERMS

PROPOSED TOTAL: \$59,336.00

PREVENTATIVE MAINTENANCE: \$300.00

***TAXES:** No taxes have been included in the project 'Total Amount,' unless specifically showing on the 'Sales Tax' line. All taxes are the responsibility of the Customer. If a tax is charged to Ford, the Customer will be responsible for reimbursing Ford for the cost.

TERMS: The Customer shall issue a purchase order in accordance with the terms and conditions of the **BuyBoard TASB Contract, #563-18.**

100% due upon completion.

All invoices are due Net 30.

CC: Unless otherwise prohibited by law, a 3% bank interchange fee will be charged for using a credit card for payment.

PRICE: The price stated above for this project is based upon the complete system being purchased and installed at one time. In the event the Customer selects to purchase less than the total project, delays purchase of any portion of the system, requires that the system be installed in phases, or delays the installation, Ford reserves the right to charge for additional labor, travel, and overhead. The price is valid for thirty (30) days from the date of this proposal.

COMMENCEMENT OF WORK:

Ford must receive the signed contract, down payment, and/or a purchase order accepting the terms and conditions of this proposal, prior to the contract being initiated by Ford. Without the acceptance of Ford no work on the contract will be under taken, including engineering the system, purchasing the equipment and scheduling the work crews for installation. In the event the Customer fails to pay Ford within the terms above, Ford reserves the right to stop work on the project until all payments are received by Ford in accordance with the terms.

CREDIT: This proposal shall not be deemed as accepted by Ford until the executed contract is returned to Ford's credit center for final review and acceptance.

CHANGES: Any Customer Change Orders (CCO) must be approved in writing by the Customer prior to execution by Ford and are subject to the credit terms of this agreement.

NON-HIRE: The Customer and Ford mutually agree, because of the high cost of training an employee, that neither party shall solicit the employment of any employee of the other party, and shall not employ any employee or any person who was an employee of the other party at any time during the relationship between the parties or for a period of one (1) year following the termination of any relationship between the parties. In the event of a breach of this section, the breaching party agrees to pay the other party an amount equal to the hired employee's annual wages as an agreed upon cost to replace the employee.

F. GUARANTEES AND LIMITATIONS OF WARRANTIES

1. FORD GUARANTEES THE FOLLOWING:
 - a. Equipment will be new, unless noted otherwise.
 - b. All workmanship provided by Ford will be free of defects and will be repaired, free of charge, for a period of one (1) year from the date of substantial completion or the first date of beneficial use of the system, whichever date occurs first. Substantial completion shall be defined as the point where the work, or designated portion thereof, is sufficiently complete so that the system can be used for its intended purpose.
 - c. All equipment and materials provided by Ford that were manufactured by other companies will be warranted under the standard warranty terms of the original manufacturer.
 - d. If any questions arise now or in the future about the installation or operation of the system, a Ford engineer will be available to assist and answer any questions by phone.
 - e. The warranty does not include nor cover expendable materials used with the system installation (e.g., light bulbs, lamps, light fixture lamps, fuses, batteries, portable connection cables, etc.).
 - f. Ford is not responsible for the reliability of systems that communicate using wireless technology. The performance of equipment utilizing wireless communications is inherently unreliable and will experience "drop outs", distortion and loss of connectivity from time to time. Interference from other forms of radio frequency transmissions, such as radio and television broadcasts, cell phones, and computer wireless networks, is probable and should be expected.
 - g. Ford is not responsible for the performance, testing, or configuration of owner-furnished data networks that are used to transmit audio, video, and lighting program data and control signal data. IP-based videoconferencing systems rely upon data networks that can provide consistent bandwidth for the transmission. Videoconferencing that is transmitted over the Internet is subject to the intermittent and unreliable nature of the public network. In the event that the Customer's network is found to be the cause of defects in the quality of the audio/video signals, is unreliable, or has insufficient bandwidth to support the A/V/L system and Ford's network engineers are required to troubleshoot or configure the Customer's network, the cost of this service will be invoiced to the Customer.
 - h. The term "Software" as used in this document includes all editable source files, un-editable compiled files, graphical user interface files and functionality, audio digital signal processor (DSP) files, in whole and in part, produced under the terms of this agreement.

Unless otherwise expressly agreed in writing, all Software created by Ford remains the property of Ford, and the Customer is hereby provided a license to use the Software for this project only. The Software may not be used on any other project, nor used for any purposes outside of this project, nor shared nor disclosed to anyone who is not an employee of the Customer's company.
 - i. Any adjustments made by the Customer or the Customer's agent(s), other than routine operational adjustments, shall not be covered under this warranty statement. Re-calibration of settings shall be considered by Ford to be billable time to the Customer at Ford's standard engineering rates.

- j. Procedures such as routine preventative maintenance functions (e.g., keeping filters clean, keeping system environment free from foreign materials, etc.) are the responsibility of the Customer and is not included within this warranty agreement. Failure on the part of the Customer to perform these routine maintenance functions shall void this warranty.
- k. If warranty work is necessary within the warranty period, Ford will, at its option, repair the defective equipment or return it to the manufacturer for repair.
- l. Repairs, modifications, or other work performed by personnel not authorized by Ford during the period of warranty on any equipment of the system may invalidate the warranty.
- m. Ford will not be responsible for damages or cost of repairs due to modifications, adjustments, or additions to the system performed by personnel not authorized by Ford prior to acceptance of the system by the Customer.
- n. Ford may withhold warranty service in the event that the Customer has an unpaid balance due to be paid to Ford.

2. OWNER-FURNISHED EQUIPMENT (OFE):

- a. Ford's intent is to provide a complete system including all equipment. In some cases, the Customer may own equipment which they desire to be included with the installation. Ford identifies this as OFE.
- b. The use of OFE is solely for the convenience of the Customer and is not included in the warranty or guarantee provided.
- c. Ford shall take reasonable care in handling OFE and install it according to standard industry practices; however, Ford takes no responsibility for the operation, performance, appearance, or effects of OFE before, during, or after its integration into the system. Ford reserves the right to accept or reject OFE based on the equipment's service record, or lack thereof, poor condition, or out of date software/firmware. Ford will not accept OFE that is purchased by the Customer to replace equipment that is specified in this proposal.
- d. In the event that OFE does not function properly, Ford shall notify the Customer to determine if the OFE is to be a) repaired, b) an alternate unit provided by the Customer, c) the unit is not to be used, or d) Ford is to provide a new unit. Ford shall provide a cost to the Customer for the work to be done. The Customer will authorize any additional costs to the job.
- e. The existing equipment, removed as a courtesy by Ford, that is not being reused, shall be handed over to the Customer. Ford is not responsible for the existing equipment or its condition when received by the Customer.

G. TRAINING AND DOCUMENTATION

1. TRAINING INCLUDED:

- a. Ford will host a training session near the completion of installation. All system users and interested persons should attend this training so that all questions can be answered during this training.

- b. During the training, if requested, Ford personnel will attend the initial first use of the system and assist the Customer's operators and users in the operation of the Ford-installed system.
- c. Ford shall provide a training agenda for scheduled training.
- d. Ford shall provide a quick start guide (QSG) for each room type. The QSG is a generic, brief description, of how to operate the system. One (1) copy of a laminated document, for each room type, shall be provided to the Customer.

2. **ADVANCED TRAINING - OPTIONAL:**

Ford is committed to providing the highest quality and most modern training experience possible to its Customers. In addition to the training included with this project, for an additional fee, Ford offers multiple, customizable options to fit the needs of any Customer. The possible programs include:

- a. Ford shall supply a training video consisting of a visual tutorial or tutorials, if multiple room type videos are purchased, that will explain how to operate specific AV systems. This training tutorial, narrated by a Ford trainer, is a self-paced, always-available, online video, viewable on any mobile device which give the learner a step-by-step process on how to use the technology.
- b. In consultation with the Customer, Ford will develop and execute a custom curriculum and curriculum schedule.
- c. Ford will provide in-person presentation(s), as needed, including presentation materials such as PowerPoint or Prezi presentation.
- d. Ford will develop a custom Orientation & Operations Handbook, which shall include detailed, user-friendly information on solutions, functionality, troubleshooting, curriculum, and other useful reference materials.
- e. The Ford Training Center also highly recommends follow-up training sessions six months to a year following the initial session(s) to ensure that all concepts are anchored and being employed by each user as well as providing opportunities for new employees to receive the same level and style of training existing employees received. The Ford Training Center will work with customers to develop a long-term training strategy and/or ongoing training curriculum.
- f. Additional materials include documents in electronic format, additional hard and/or laminated copies of Quick-Start Guides and Orientation & Operations Handbooks, as well as CDs or DVDs of these curriculum materials.
- g. All training curriculum and components will be developed and executed by a Ford Master Trainer.
- h. The components of the optional training are to be determined by the Customer, Account Manager, and Ford Master Trainer to best meet the needs of the Customer. The cost of the additional materials and training is based on the desired program.

- i. Please contact Ford to receive a customized price quote on the Advanced Training Program option.

H. BUILDING CONSTRUCTION AND SYSTEM INSTALLATION

1. VISUAL INSPECTION:

- a. This proposal is based upon a visual inspection of the site conditions. It is agreed that some buildings may have inherent design and/or construction that is not visibly recognizable and is outside of normal standard and customary building procedures. If the walls, floors or ceiling are found to be constructed in a manner that wire cannot be pulled or equipment cannot be mounted or otherwise installed without labor or materials in excess of those anticipated by both parties and proposed herein, the Customer agrees to be responsible for any adjustments in the labor and materials required to perform the installation.

2. EXISTING CONDITIONS:

- a. Acoustics and Noise

In facilities where Ford is providing a sound or audio system, the Customer is responsible for providing an environment free of ambient noise and excessive reverberation and echoes.

- 1) Typically, ambient noise is created by HVAC systems (Heating, Ventilation, and Air Conditioning), plumbing or other mechanical systems in the building. In general, Ford recommends that the ambient noise sound pressure level not exceed NC35 (Noise Criteria) or 35 dB A scale.
- 2) Long reverberation times and echoes are normally the result of hard wall, floor, and ceiling surfaces found in some rooms. Typically, Ford recommends that the reverb time does not exceed 1.5 seconds where the primary use is the communication of speech. The production of other types of music may require longer reverberation times. In the event that echoes exist, absorptive or diffusive wall and ceiling panels may be required to eliminate or minimize the detrimental effects of the echoes.
- 3) Ford is not responsible for any costs related to reducing the ambient noise or modifying the acoustics of the Customer's facilities.

I. DISCUSSION OF TECHNOLOGY

The following information is a general discussion of equipment and technologies normally used in systems similar to the one being presented in this proposal. This information is provided to the Customer as an educational overview of typical systems. Some of the equipment and technologies discussed may not be included in this proposal.

1. SPEAKER SYSTEMS

- a. Distributed Speaker System

A distributive speaker system consists of a number of speakers installed in the ceiling over the seating areas. Each speaker is pointed down and has a conical coverage pattern that is between 60 and 90 degrees wide. This type of system is typically used in auditoriums or meeting rooms where the ceiling is low or where the distance that sound must be projected from the platform to the rear is long. Depending upon the length of the room, the speakers may be divided into separate zones with each zone being placed on a signal delay and timed so that the sound travels through the room properly. In that case, each zone will be powered by a separate amplifier.

2. **DIGITAL SIGNAL PROCESSING (DSP):** DSP based audio signal processing provides a simple and flexible alternative to current analog based systems. DSP systems convert the audio signal into a digital format that can be manipulated and stored similar to computer data. The audio signal is processed in the digital domain using "algorithms" that mimic standard audio devices such as equalizers, crossovers, signal delays and mixers. The processed digital audio is converted back to analog audio and routed to the power amplifiers and speakers.
 - a. DSP based system provides the following benefits:
 - 1) **FLEXIBILITY:** The functionality of the DSP unit is software controlled. A PC is used to program the unit to perform specific design requirements of the sound system. The DSP unit may be configured to operate as multiple crossovers, equalizers, signal delays, and/or mixers. The operational parameters of each crossover, equalizer, etc. may be different and changed within the software at any time. For example a crossover may be programmed to operate at 6, 12, 18, or 24 dB per octave. An equalizer may be programmed to be a graphic or a parametric equalizer. In the same manner, all parameters may be changed with the software at any time. This flexibility allows adjustments to be made to the design components throughout the design and during the final testing and balancing.
 - 2) **SECURITY:** Typically, DSP electronics have no exterior controls. Once the unit has been programmed, it cannot be changed without the use of the software. After the final settings have been made, the unit is secure from accidental changes that might degrade or affect the operation of the system.
 - 3) **PRE-SETS:** Due to being computer and software based, the setting of a DSP unit may be stored in memory for later recall. Most DSP units have multiple Presets which may be utilized for different portions of a program. In the event a setting is lost or changed by accident, the original setting may be recalled and activated.
 - 4) **SIMPLICITY:** Due to the fact that all of the processing is internal to the DSP unit, the wiring of the system is minimized which reduces the number of wires and connector terminations.
 - b. The DSP unit may be programmed to provide the following functions:
 - 1) **ELECTRONIC CROSSOVER:** An electronic crossover divides the sound into high, mid, and low frequencies prior to amplification of the sound by the power amplifiers. This method of crossover is called bi-amping or tri-amping and affords the following advantages:

- a) Individual control of sound levels for each band of frequencies to be amplified.
 - b) Reduced inter-modulation distortion in the power amplifiers and speakers.
 - c) Improved efficiency of the power transferred from the amplifiers to the speakers. This method provides only the power necessary for each speaker type and the band of frequencies to be amplified.
- 2) **BROAD BAND EQUALIZATION:**
- a) Every large room, when filled with sound, will exhibit peaks and dips in the sound due to the acoustics of the room such based upon its size, shape, volume, wall coverings, carpet, curtains, and construction. These peaks and dips may deteriorate the quality of sound being projected to the listeners.
 - b) A broad band equalizer is used to reduce the peaks and increase the dips in order to "tune" the sound system to the particular room acoustics. The result is higher quality sound and an improvement of the feedback threshold.
- 3) **NARROW BAND EQUALIZATION:**
- a) As the gain (volume) of a sound system is increased, a point is reached at which feedback occurs. This point (feedback threshold) is the limiting factor and determines the maximum sound system gain.
 - b) There are many potential feedback frequencies in every auditorium. However, if the most predominant feedback frequencies are reduced in level, the gain of the sound system can be raised several decibels.
 - c) A narrow band equalizer is used to reduce the level of the major feedback frequencies. The result is improved sound quality and increased volume before feedback.
- 4) **SIGNAL DELAY SYSTEM:** The architecture of an auditorium may require the use of multiple speaker clusters, delayed speaker clusters and delayed speakers under and over balconies. Programming a DSP unit to act as a Digital Signal Delay allows sound to arrive at all the seating areas simultaneously, correcting for audible timing delays between the main speaker system and other speaker systems providing sound for under balcony, over balcony and over flow areas. If necessary the speakers in these areas are placed into zones, powered by separate amplifiers, and signal delayed appropriately according to the distance between the main speaker system and each zone.
- 5) **MIXING AND DISTRIBUTION:** Audio signals may be mixed together and then distributed to various outputs.
- 6) **LIMITING, COMPRESSION AND GATING:** Audio signals may need to be limited, compressed, or gated to control the dynamic range of the program

material. Compression improves the quality of the audio. Limiting is normally used to protect peaks from damaging equipment and speakers. Gating is used to automatically turn sound signals on and off based upon their volume.

- c. Caution should be used when relying on a single DSP based processing unit due to the fact that all audio processing is performed by one device. In the event the DSP unit fails, the audio system will not operate.
- d. Ford recommends that an Uninterruptible Power Supply (UPS) or surge suppressor be used to condition the AC power on DSP units and all system components that are computer or microprocessor based. The use of an UPS or surge suppressor minimizes failures and outages due to AV power loss, noise in the AC power source, and voltage spikes.

3. VIDEO PROJECTION SYSTEM

A video projection system should provide high visual impact of the presentation of computer data and video images from video tape, DVD (Digital Versatile Disc), cameras, and video production equipment. Communication of ideas and detailed material is greatly improved with the addition of high quality visual information. Due to the rapid change and improvement of technology, the selection of a video projection system should be carefully studied. The following items are important and should be considered prior to the selection of the system:

- a. **BRIGHTNESS:** Providing a high impact image for the viewer requires that the projector provide more than 2,000 ANSI lumens for small screens and more than 6,000 ANSI lumens for larger screens in auditoriums. Auditoriums with seating of greater than 4,000 seats should consider a projector with 10,000 or more ANSI lumens. Ford recommends that the customer purchase the highest intensity projector that will fit into their budget.
- b. **RESOLUTION:** Picture quality is improved with increased detail. Resolution is the measure of the capability of the projector to project small detail data and video. Currently the most commonly used resolutions are 1280 by 800 (WXGA) and 1280 by 1024 (SXGA) pixels. HD resolutions have recently been introduced at 1920 by 1200 (WUXGA) and 2560 by 1600 (WQXGA). Ford recommends that the customer purchase a projector with the highest resolution that will fit within their budget.
- c. **LENS:** A video projector should be capable of utilizing a selection of various lenses so that it may be placed conveniently in the room and project an image that fills the screen. Lenses are available that allow the projector to be close to the screen or far away. Lenses are available that will zoom the image in and out to fill the screen. Projectors with a fixed focal length lens cost less, however, they restrict the physical placement of the projector and screen and they are not adjustable.
- d. **LAMP LIFE:** A major cost of a video projector is the replacement of the lamps that provide the light. The life of the lamp in hours and the cost of the lamp should be considered. Most lamps lose brightness over time and may change color temperature. The location and accessibility of the video projector has an impact on the ease of lamp replacement and cost of service. Projectors suspended in the air higher than can be reached with a standard ladder will be difficult to reach and thus more expensive to service.
- e. **AMBIENT LIGHT:** It is critical that ambient light be controlled in the viewing area. Excessive light that falls on the screen can "wash out" the image. This is seen as a loss of

contrast which is the visual difference from full brightness (completely white) to no light (completely black). Newer technologies in screen materials are capable of providing higher contrast ratios that can help minimize the effects of ambient light. Possible sources of ambient light include:

- 1) **WINDOWS:** The customer should consider the location of windows and skylights with respect to the location of a screen. Morning or evening sun should be examined for all seasons to determine the impact of direct light entering the viewing area. Alternative methods to control objectionable light intrusion should be considered if daylight presents a problem. Curtains and shutters are two of the available alternatives.
 - 2) **LIGHTING SYSTEMS:** Architectural and theatrical/television lighting systems can project unwanted ambient light onto the viewing screen. The customer's Architect or Electrical Engineer should verify that all architectural lights that project light on the screen can be controlled and turned off, or re-aimed if necessary. Fixtures used in theatrical/television lighting systems should be evaluated. Fixtures that provide a means to control their projected pattern of light should be used on wall areas next to screens. PAR lights throw light in many directions and should be avoided. Ellipsoidal spot lights are recommended due to their ability to control the pattern of light projected. Ellipsoidal lights typically have small coverage patterns and therefore require a greater number of fixtures as compared to PAR lights. Shiny floors, glass or plastic podiums, and shiny piano lids may cause problems by reflecting light onto the screen.
- f. **FRONT/REAR/CEILING/TABLE-TOP MOUNTING:** Each projector should be evaluated based on its ability to project an image in front of or behind a screen and to be mounted upright for table-top projection or inverted for ceiling mount. The projector may be moved to various locations over its life. Rear screen projection is considered to provide the best image; however, this option requires adequate space behind the screen. Typically, as a minimum, a distance of one and one-half times the width of the screen is required to place the projector behind the screen. This distance will vary based upon the lens selected. In some applications the distance between the projector and the screen can be reduced with the addition of a mirror bounce system. If a room is dedicated for rear screen projections, the room should be painted flat black. No equipment that will create noise should be placed in a projection room.
- g. **VIEWING ANGLE:** In general, all persons viewing the screen should not be more than 45 degrees off of the center axis of the screen. Although some screens can be viewed at angles greater than 45 degrees, the enjoyment is reduced and there is a strain placed upon the viewer, particularly when viewing text or detailed computer data.
- h. **WALL SURFACES:** All wall surfaces surrounding the video screen should have a non-reflective finish and be a flat color that is not a bright white. Highly reflective, white colors will diminish the visual quality of the image. Highly polished or shiny wall surfaces will reflect the image from the screen, causing the viewer to see double images around the sides of the screen.
- i. **VIDEO SOURCE EQUIPMENT:** Each projector requires a video or data source. Typically, in each system there are multiple video and data sources using multiple signal formats. The various signal formats will need to be converted to a common format before

being switched and routed to the video projector. The format conversion may be accomplished in a separate piece of equipment ahead of the video switcher or by the switcher itself if that capability is built into the switcher. Most video projectors accept the RGB-HV signal format. The format conversion and switching system must accommodate various formats of video and computer data, as follows:

- 1) **Composite Analog Video:** A video signal where the luminance (brightness) and chrominance (color) components of the image are combined and encoded into one signal (NTSC). It requires one video cable for transmission. Examples: VHS VCR, camera, DVD player, or TV tuner line output.
 - 2) **Component Analog Video:** A video signal where the video is divided into separate signals of luminance and chrominance. Component video is higher quality than composite video. It requires two or more video cables for transmission. Examples: S-video and RGB-HV. RGB-HV video is divided into the component colors of red, green and blue. It is synchronized by using a horizontal and vertical timing signal.
 - 3) **Digital Video** is available in composite and component formats. The industry standard is "D1" (CCIR 601), which is a serial digital signal transmitted over a single video cable. This format is used in professional broadcast applications and occasionally for video projection.
 - 4) **Computer Data:** Standard formats and resolutions are WXGA 1280 by 800, SXGA 1280 by 1024, and WUXGA 2560 by 1600.
- j. **FORMAT CONVERSION:** Prior to the video signal of the various video sources being transmitted to the video projector, the format of each signal should be converted to the signal format (native resolution) of the video projector.
- k. **VIDEO SWITCHING AND ROUTING:** A video switcher is used to select the desired video source and route the signal to the video projector.
- l. **VIDEO ENHANCEMENT:** The video signal may be enhanced to improve the quality of the image. Standard techniques include:
- 1) **Video Scaler**
- m. **HIGH-DEFINITION:** While the majority of current projectors are capable of reproducing true high-definition signals, the image can only be true high-definition if the source signal and all other components in the video signal chain are high-definition capable.
- n. **SERVICE AND WARRANTY:** The video projector and its associated video processing equipment compose a complex, technical system that will require routine maintenance. Video projectors are pushed to their limits to produce high brightness and it is likely that the projector will require quarterly maintenance each year of operation. The total cost of ownership of the projector should be based upon the reliability of the projector and the quality of the warranty. Some manufacturers provide next day air replacement of the video projector in the event that it fails. The customer should consider the value of the quality of the warranty when reviewing the cost and in selecting the projector.

4. CONTROL OF AUDIO, VIDEO, AND LIGHTING SYSTEMS

The control of audio, video, and lighting systems has completely changed with the introduction of computers, touch sensitive display screens, data networks, wireless connectivity, and the internet. Prior to these technologies being adapted to the control of A/V/L systems, the control and operation of A/V/L systems were "manual". An operator would manually turn a knob, slide a fader, or push a button. These actions changed the volume or level of the sound, video, and lighting we heard and viewed. The pressing of buttons and movement of knobs and sliders turned systems on and off, routed signals to outputs, and controlled the actions and motions of recording and playback devices such as video recorders and DVD players.

All the capabilities of manual control consoles are now available through the use of computers.

a. COMPUTER CONTROL

Virtually all audio, video, and lighting equipment manufactured today has a "control port" which allows a computer to control the functions and operation of the device. Originally, connection from the computer to the control port was by industry standard RS232 or RS485 control protocols and infrared transmission, however most new equipment is being controlled over Cat 5 wiring using Ethernet and TCP/IP computer data communication.

Computer control has the following features and benefits:

- 1) **CONTROL OVER COMPUTER NETWORK:** All A/V/L devices that are connected to a computer data network can be controlled by any computer on the same network. The network can extend around the world via the Internet.
- 2) **UNLIMITED CONTROL OF EQUIPMENT:** Virtually all A/V/L electronic equipment plus all types of auxiliary equipment such as curtains, stage lifts, acoustical panels, and various other machines are easily controlled.
- 3) **STANDARD COMPUTER HARDWARE:** The user interface to control the equipment uses standard computer equipment including the keyboard, mouse, and display screen.
- 4) **TOUCH CONTROL SCREEN:** Advanced user interfaces include computer "touch screens" that allow the user to use their finger or a stylus to touch the screen and change settings and operation. The touch screen can be designed using colorful graphics that are customized for the customer. "Virtual" buttons and other types of controls are graphically drawn on the screen. Multiple screens can be accessed with each screen being designed to control specific functions such as sound, video, or lighting.
- 5) **WIRELESS:** Many computer control systems are wireless enabled which permits the user to be mobile. This is especially effective when managing "live" presentations and being able to move about an auditorium, classroom, church, or conference room without the restriction of being attached to a cable.
- 6) **PRESETS:** Computer control systems have memory where multiple settings ("Presets") can be stored and recalled and enacted at a later date. This allows a complex system to be setup for a special activity and the same setup be recalled at

a later date when the activity or a similar activity is held. In the event that the system is misadjusted by another user, the original system configuration may be recalled and the system will be set to its original setup.

- 7) **PROGRAMMABLE AND CUSTOMIZED:** The control system is "software based" and custom programmed for the specific operation of the customer's system. In the event that the customer desires the control system to be changed, the software may be reprogrammed to the new requirements. This flexibility extends the useful life and viability of the complete system.
- 8) **EASE OF SERVICE:** With the control system being accessible via a computer network or the internet, service and maintenance is simplified and efficient. Service personnel can "trouble shoot", monitor, and make changes to the system remotely without having to travel the customer's location.

5. WIRELESS SYSTEMS

Modern audio/video systems have communicated using Radio Frequency transmissions for more than thirty years, first beginning with wireless microphones and listening devices for the hearing impaired. Today wireless systems are used extensively in audio, video, and lighting (A/V/L) systems.

- a. **APPLICATION OF WIRELESS SYSTEMS:** Wireless systems are used for transmitting audio/video program signals and for transmitting digital data that is used to control the functions and operation of A/V/L systems.
 - 1) The primary use is for the transmission of the actual audio and video program signals such as wireless microphones, in-ear audio monitoring systems, or video to a video projector. Most of these systems convert the analog audio and video into a digital format that is transmitted and manipulated much like computer data.
 - 2) The secondary use is for controlling the functions and operation of A/V/L systems. Although wireless control has been used for many years using "RF" transmitters and receivers, the wide adoption of computer systems using the 802.11b (a & g) or "Wi-Fi" industry standard has allowed the A/V/L industry to rapidly expand the control of complex systems. Based on computer industry standards for the transmission of wireless data, the wireless control of A/V/L systems is common and routinely installed. As a side note, most A/V/L systems designed today use the full functionality of PC's, laptops, tablet PC's, handhelds, local area networks (LAN), wide area networks (WAN), data switches, data routers, and the internet. Most control system manufactures are moving toward Ethernet-based communication.
- b. **BENEFIT:** A Wireless system has only one benefit and that is it allows the user to connect to an A/V/L system without having the user's movement restricted by connection to a wire. Wireless connectivity allows "mobility".
- c. **LIMITATIONS:** Other than providing the benefit of mobility, wireless systems are inferior to wired systems in terms of quality, reliability, range of connectivity, and security. Any person that has used a cell phone is aware of the potential for distortion and lost signals. Any person that has used a wireless laptop computer has experienced the loss of

connection and in some cases the loss of data. Current wireless systems use much of the same technology as computer systems and are subject to similar failures. Below are specific limitations of wireless systems A/V.

- 1) **QUALITY:** The transmission of audio and video signals by wireless is accomplished by limiting the frequency bandwidth and dynamic range (signal to noise ratio) of the original signals. The conversion process to digital, the transmission process, and the conversion back to analog introduces distortion. Most wireless systems compress the original signal, transmit the signal, and then expand the signal. This process introduces non-linearity which is a form of distortion.
- 2) **RELIABILITY:** A wireless system is inherently unreliable due to the nature of electromagnetic Radio Frequency transmission. Each of the following elements contributes to unexpected and unreliable performance.
 - a) The expansion of wireless transmission use has led to "spectrum congestion", which results in frequency bands being overused and transmissions being interfered with by other transmissions in the same frequency band. There is no guarantee that your wireless signal will not be interfered with at any time.
 - b) Other types of dissimilar wireless transmissions may interfere with A/V program and control signals. In addition to FM broadcasts, the expansion of High Definition Television (HDTV) channels and cell phone usage may interfere with A/V wireless systems. FM broadcasts produce harmonics that fall squarely in channels of wireless mics. The use of cell phones in close proximity to an A/V wireless system typically causes electronic noise in the audio signal.
 - c) The range of transmission is limited to a maximum of approximately 100 feet. Although wireless systems will on occasion appear to work at longer distances, their performance will be intermittent and unusable for A/V systems where a high-quality and consistent signal is required. The limited range is due to the limited transmission power which is mandated by the FCC. The structure of a building (steel studs and floors) will limit the transmission range. Ford recommends that wireless systems be used where the transmitter and receiver are in close proximity to each other and have a direct line of sight between the two units.
 - d) While using a wireless system, physical movement by the user changes the transmission path between the transmitter and the receiver. This constant change of the transmission path causes interruptions of the signal. The wireless system may work in one position and then fail to work when the user moves. Wireless systems with diversity antennas minimize this problem, but do not always provide an uninterrupted, noise-free signal.
 - e) It is common today to use multiple wireless microphones and wireless in-ear monitors for musicians and performers. Multiple wireless systems when operated together will interfere with each other. Frequencies bands

for systems with multiple transmitters must be selected carefully so that combinations of frequency bands do not interfere with one another.

6. DIGITAL TECHNOLOGY FOR AUDIO, VIDEO, AND LIGHTING SYSTEMS

Over the past 10 years a vast majority of all audio, video, and lighting systems have been transformed from "analog" to "digital". The conversion is almost complete with virtually all new products being based upon digital technology.

Audio and video program signals are transmitted over data networks and audio, video, and lighting control systems use data networks to remotely manage and control the operation of these systems. PC's, laptops, data switches, and other computer devices are now the primary method of transmitting and controlling A/V/L systems.

- a. **ANALOG SIGNALS:** Prior to this transformation we listened to and viewed analog signals which are an electrical "analog" of the real world sound or light waves that we hear and see. Analog audio and video equipment electronically duplicate, modify, amplify, and transmit the "wave form" of the original sound and light waves that are created in nature.
- b. **BENEFITS OF ANALOG:** The primary benefit of using an analog signal is that it is an exact "replica" of the original signal. Using modern low distortion electronics, analog equipment produces sound and video that is very close to the original physical signal that we hear and see.
- c. **LIMITATIONS OF ANALOG:** The primary limitation of analog is that the signal is easily corrupted and distorted by electromagnetic interference. Each time the signal is amplified, copied, or transmitted it is susceptible to becoming distorted and noise being added. The original signal is no longer an accurate representation of the original signal. The transmission of analog signals is not secure.
- d. **DIGITAL SIGNALS:** A digital signal is created from the original analog signal by the process of "digitizing". The analog to digital conversion (ADC) process measures the volume of the analog signal many times in one second. This is called the "sample rate" and for a CD the sample rate is 44,100 per second. The volume of each sample is converted to a number and the number is converted to "binary digits". The result is that the analog wave form is converted into a series of binary numbers (1's and 0's). Binary numbers can be stored on computers and transmitted over computer data networks. To retrieve the original analog signal, a digital to analog converter (DAC) is used to read the numbers and reconstruct the original analog signal so that we can hear and see.
- e. **BENEFITS OF DIGITAL:** Once the signal is in the digital domain, it is represented as a series of numbers. The numbers are easily transmitted, manipulated, and stored by computers, digital signal processors (DSP), and data networks. The whole process becomes computer and data network based.
 - 1) The primary benefit of digital technology is that "numbers" are transmitted and stored. Moderate levels of interference and noise do not affect the accuracy of the transmission. This results in an exact duplicate of the original numbers being received without the addition of distortion or noise.

- 2) Digital data can be managed and processed like computer data. It can be stored on computers and transmitted over data networks including local area networks (LAN), wide area networks (WAN), and the internet.
 - 3) Computers and digital signal processors can be programmed to manipulate and control the signals. DSP is capable of complex processing of the signal that is not possible using analog techniques. DSP processors can mimic virtually any type of analog processor including compressors, limiters, gates, signal delays, mixers, routers, equalizers, filters, crossovers, and echo cancellers.
 - 4) Software can be written and computers can be used to control A/V/L systems. Although the hardware remains the same, software can be programmed so that each system is individually designed and configured for the customer's requirements. Software applications allow the audio and video programs to be edited and enhanced with special effects to create professional presentations.
 - 5) Multiple digital copies can be made and each copy is an exact duplicate of the original.
 - 6) Digital data is easily encrypted for secure storage and transmission.
- f. LIMITATIONS OF DIGITAL: There are two main limitations of digital technology:
- 1) The DAC process creates a digital representation of the analog signal and DAC process attempts to recreate the original signal. This process inherently is inaccurate and not precise. However, with the use of high sampling rates and a high number of bits, the digital process will produce audio and video program material that is imperceptibly different from the original analog signal.
 - 2) The digital process creates exact copies of the input signal until the digits (numbers) cannot be recognized by the electronics processing and transmitting the data. When this occurs the digital transmission abruptly fails. This is called the "cliff effect" which is demonstrated by a digital system apparently working correctly and then without warning it completely fails.

J. ACCEPTANCE

1. The Customer's personnel will be notified by Ford upon completion of the installation.
2. Demonstration of system performance will be during the training session.
3. Participants at the performance demonstration shall include personnel representing Ford and personnel representing City of Grand Prairie who are authorized to accept the system as complete and make final payment.

This proposal shall not be deemed as accepted by Ford until the executed contract is returned to Ford's credit department for final review and acceptance. If a purchase order is required by the Customer, it must be transmitted with the signed install agreement for review and acceptance.

This proposal contains confidential pricing, design, engineering, and installation information that is proprietary to Ford. It is provided for your private use, and is not to be disclosed, in part or in whole, without the express, written authorization of Ford.

We appreciate the opportunity to work with you on this project. If you have any questions or need additional information, please contact me at 972-241-9966.

Sincerely,

FORD AUDIO-VIDEO SYSTEMS, LLC

M. Ehren Rutherford
Senior Account Manager

Voice: 972-241-9966
E-mail: ruthe@fordav.com
Website: www.fordav.com

SYSTEM INSTALLATION AGREEMENT

Between

CITY OF GRAND PRAIRIE

and

FORD AUDIO-VIDEO SYSTEMS, LLC

This is to signify that City of Grand Prairie and Ford Audio-Video Systems, LLC have entered into a contract, in the amount of \$59,336.00, for the purchase and installation of equipment and services described in the attached proposal.

PREVENTATIVE MAINTENANCE: \$300.00

Customer Accepts

City of Grand Prairie and Ford Audio-Video Systems, LLC, by and through their respective signatories to the agreement, each represent to the other that they are authorized to enter into this agreement.

We do both agree to abide by the terms and conditions of this Agreement.

FORD AUDIO-VIDEO SYSTEMS, LLC

CITY OF GRAND PRAIRIE

M. Ehren Rutherford
Senior Account Manager

Authorized Signature

Mathew Scott Hall
Division Manager

Printed Name and Title

Date

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 402590/02011403
 Project Title: Municipal Court Audio-Video System
 Current Request: \$59,336.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Small Computer Equipment	\$0	\$0	\$59,336	\$59,336	\$59,336
				\$0	\$0
				\$0	\$0
				\$0	\$0
				\$0	\$0
				\$0	\$0
TOTAL	\$0	\$0	\$59,336	\$59,336	\$59,336



Legislation Details (With Text)

File #:	20-9797	Version:	1	Name:	CO #6 - PGA - Hill & Wilkinson - PlayGrand Adventures Phase I Construction
Type:	Ordinance	Status:		Status:	Consent Agenda
File created:	2/12/2020	In control:		In control:	Parks & Recreation
On agenda:	3/3/2020	Final action:		Final action:	
Title:	Ordinance amending the FY 2019/2020 Capital and Lending Reserve Fund and Capital Improvement Projects Budget; Change Order/Amendment #6 with Hill and Wilkinson, in an amount not to exceed \$500,000, for additional concrete parking expansion, parking lot lighting, landscape and irrigation, and drainage additions for PlayGrand Adventures Phase 1				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Mini FS Capital and Lending Reserve Fund 2021.pdf 20-9797 PlayGrand Parking Lot				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Steve Plumer, Sr Park Planning Project Manager

Title
Ordinance amending the FY 2019/2020 Capital and Lending Reserve Fund and Capital Improvement Projects Budget; Change Order/Amendment #6 with Hill and Wilkinson, in an amount not to exceed \$500,000, for additional concrete parking expansion, parking lot lighting, landscape and irrigation, and drainage additions for PlayGrand Adventures Phase 1

Presenter
Cheryl De Leon, Director of Parks, Arts and Recreation

Recommended Action
Approve

Analysis
On June 17, 2018, the City Council awarded the Construction Manager at Risk (CMAR) contract to Hill & Wilkinson, Inc. for Pre-Construction services in the amount of \$3,000. This award provided the CMAR services including development of project estimates, preliminary construction schedule, value engineering and constructability review during the design phase.

Change Order/Amendment No. 1, in the amount of \$5,549,995 was approved by City Council on November 6, 2018 for the GMP contract for construction.

Change Order/Amendment No. 2, in the amount of \$74,493.35 was approved by City Council on May 7, 2019 for soil conditioning, additional site work, revisions to a concrete retaining wall, and various credits for deletion

of work and included a credit for sidewalk, landscape and irrigation at the intersection of Warrior Trail and EPIC Place.

Change Order/Amendment No 3, in the amount of \$25,541.95 was approved by City Council on September 9, 2019 for masonry, concrete foundations, electrical & lighting, drainage, site work, and various credits for deletion of work.

Change Order/Amendment No. 4, in the amount of \$116,180.01 was approved by City Council on December 17, 2019 for additional drainage, masonry, wood fiber and sod, retaining wall footing revisions, PIP rubber surfacing, triangular column stone addition and credit for deletion of work.

Change Order/Amendment No. 5, in the amount of \$392,694.05 was approved by City Council on February 4, 2020 for additional concrete parking expansion, irrigation repairs, drainage additions, and signage.

Change Order/Amendment No. 6; in an amount not to exceed \$500,000, is for additional concrete parking expansion, parking lot lighting, landscape and irrigation, and drainage additions.

All items will be incorporated into the current Hill & Wilkinson, Inc. contract for a revised total contract amount of \$6,661,904.36. With approval of this agenda item, the original contract value will have been increased by 20% in total, which is within the 25% maximum allowed by state procurement laws.

This item was presented to the Finance and Government Committee on March 3, 2020 for review and approval.

Financial Consideration

Funding is available by approving an ordinance transferring and appropriating from the unobligated fund balance in the FY 2019/2020 Capital And Lending Reserve Fund (402690) to Parks Capital Projects Fund (317193) to WO #01613303 (PlayGrand) 68540 (Construction). An annual reimbursement payment will be made to the Capital and Lending Reserve Fund commencing in FY 2021 and will be based on available surplus revenues in the Park Venue Fund (3170); reimbursement will not exceed three fiscal years.

Body

AN ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AMENDING THE FY 2019/2020 CAPITAL AND LENDING RESERVE FUND BY TRANSFERRING AND APPROPRIATING FROM THE UNOBLIGATED FUND BALANCE IN THE AMOUNT OF \$500,000 TO THE PARK CAPITAL PROJECTS FUND (317193) TO WO #01613303 (PlayGrand Adventures Phase 1)

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1. THAT THE FY 2019/2020 Capital Lending and Reserve Fund Budget be amended by transferring and appropriating \$500,000 from the unobligated fund balance to the Park Capital Projects Fund (317193) to WO #01613303 (PlayGrand Adventures Phase 1).

SECTION 2. THAT the Park Venue Fund (3170) will commence paying back the Capital Lending and Reserve Fund in FY 2021 with surplus revenues; reimbursement will not exceed three fiscal years.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, MARCH 3, 2020.

**CITY OF GRAND PRAIRIE
CAPITAL AND LENDING RESERVE FUND
2019/2020**

**2019/2020
APPR/MOD**

Beginning Resources	\$6,387,394
Approved Revenues	1,026,962
TOTAL REVENUES	\$1,026,962
Reserve for Encumbrances	\$240,258
TOTAL RESOURCES	\$7,654,614
Approved Expenditures	3,843,936
Add: Transfer to Park Capital Projects Fund for Parking Lot Expansion	500,000
TOTAL EXPENDITURES	\$4,343,936
TOTAL APPROPRIATIONS	\$4,343,936
Ending Resources	\$3,310,678

**CITY OF GRAND PRAIRIE
CAPITAL PROJECTS BUDGET SUMMARY**

Fund/Activity Account: 317193 - 01613303
 Project Title: PlayGrand
 Current Request: \$500,000.00

ACCOUNT DESCRIPTION	1 CURRENT BUDGET	2 AVAILABLE BALANCE	3 CURRENT REQUEST	2+3 REVISED BALANCE	1+3 AMENDED BUDGET
Minor Equip (60520)	\$135,132	\$27,825	\$0	\$27,825	\$135,132
Contract Service (61065)	\$1,500	\$0	\$0	\$0	\$1,500
Surveys & Studies (61405)	\$4,000	\$0	\$0	\$0	\$4,000
Misc Services (61485)	\$4,025	\$0	\$0	\$0	\$4,025
Land Purchase (68090)	\$370,147	\$0	\$0	\$0	\$370,147
Design - (68450)	\$375,650	\$44,950	\$0	\$44,950	\$375,650
Construction (68540)	\$6,234,378	\$392,695	\$500,000	\$892,695	\$6,734,378
Equipment/Supplies (68640)	\$1,793,994	\$0	\$0	\$0	\$1,793,994
TOTAL	\$8,918,826	\$465,470	\$500,000	\$965,470	\$9,418,826



Legislation Details (With Text)

File #: 20-9815 **Version:** 1 **Name:** S181009A - Site Plan - Creekside at Grand Prairie

Type: Agenda Item **Status:** Public Hearing Consent Agenda

File created: 2/19/2020 **In control:** Planning and Zoning Commission

On agenda: 3/3/2020 **Final action:**

Title: S181009A - Site Plan - Creekside at Grand Prairie (City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Location Map](#)
[Exhibit B - Amended Site Plan](#)
[Exhibit C - Building Elevations](#)
[Exhibit D - Landscape Plan](#)
[PZ Draft Minutes 02-24-2020.pdf](#)

Date	Ver.	Action By	Action	Result
2/24/2020	1	Planning and Zoning Commission		

From
Chris Hartmann

Title
S181009A - Site Plan - Creekside at Grand Prairie (City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Presenter
David P. Jones, AICP, Chief City Planner

Recommended Action
Approve

Analysis

SUMMARY:

Amendment to Site Plan originally approved as Luxe at Grand Prairie. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy.

PURPOSE OF REQUEST:

The purpose of the request is to increasing unit count from 315 to 318 units and to expand the overall building footprint by 25,153 square feet.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-250	Retail Commercial
South	PD-50	Single-Family Residential
West	PD-30; PD-44	Undeveloped; Bank; Retail Commercial
East	PD-30; PD-372	Undeveloped; Industrial

HISTORY:

- June 4, 2019: Planning and Zoning Commission approved a Preliminary Plat for Lots 1 and 2, Block 1, MBC GSW Bardin Addition, consisting of one commercial lot and one multi-family lot.
- June 19, 2018: City Council approved Planned Development No. 378 (Lux Grand Prairie) consisting of Multi-Family uses.
- February 3, 2020: Planning and Zoning Commission approved a Final Plat for Lot 1, Block 1, Creekside at Grand Prairie Addition.

SUMMARY OF USES:

The Site Plan depicts six residential apartment buildings with 318 units along with a leasing office and clubhouse. Although this is an increase of 3 units and approximately 25,000 square feet of building area, the layout and density of the buildings and residential units substantially complies with the approved Concept Plan.

DENSITY AND DIMENSIONAL STANDARDS:

Table 2: Conformance with Residential Development Standards

Standard	PD-378 Standard	Approved Plan	Proposed Plan	Meets?
Max Density	14.13 du per acre	13.47 du per acre	13.59 du per acre	Yes
Unit Mix	1 bed = 59%	1 bed = 59%	1 bed = 59%	Yes

	2 & 3 bed = 41%	2 & 3 bed = 41%	2 & 3 bed = 41%	
Frt Setback	45 feet	45 feet	45 feet	Yes
Rear Setback	60 feet	60 feet	60 feet	Yes
Side Setback	25 feet	25 feet	25 feet	Yes
Max Ht	3 story/50 feet	3 story/36 feet	3 story/37 feet	Yes

ACCESS:

One full access point is shown to Bardin Road. The full access will align with existing Sgt. Greg L. Hunter Lane. A second point of access will also be provided from Bardin.

BUILDING DESIGN:

Buildings are shown with a mix of Fiber Cement siding, stucco, and applied stone in earth tone colors, which meets the masonry recommendations of Appendix W and are substantially similar to the approved Site Plan. Horizontal and vertical articulation are shown, and the building utilize a hipped roof with architectural shingles. Maximum height has increased from 36 to 37 feet, which is still under the maximum height of 50 feet per standards of PD-378.

AMENITIES:

The applicant will provide amenities per the requirements of the PD. Amenities include:

Table 3: Proposed Amenities

Fitness Center	Swimming Pool
Pool Cabana	BBQ Grill
Outdoor Game Area with Trellis	Playground
Walking Trail	2 Dog Parks
Business Center/Wifi Café	Yoga Room
Party Kitchen	Club Room with Covered Patio

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval of the proposed Site Plan with the condition that the developer dedicate easement along the east and north property boundaries for a future public trail to be constructed by the City.



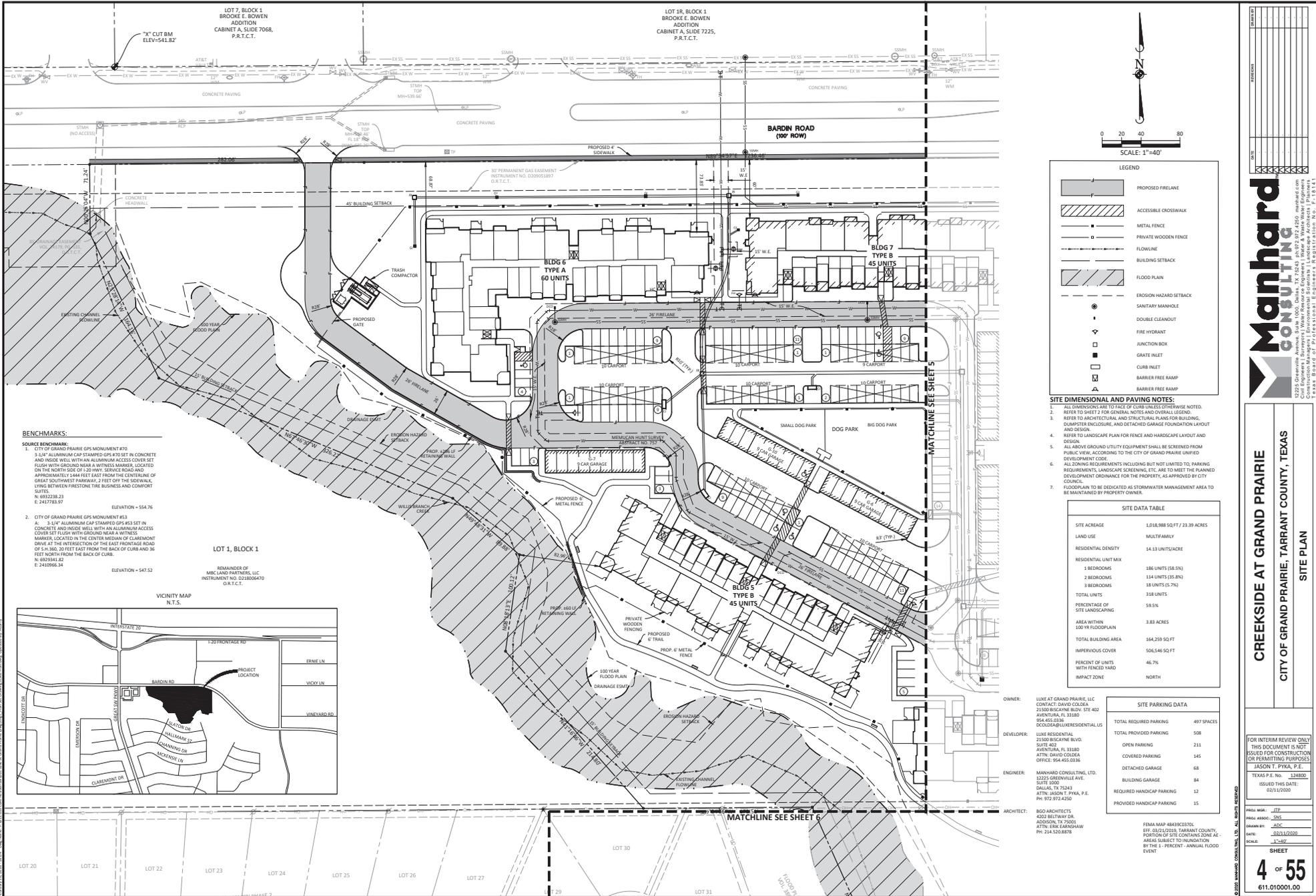
CASE LOCATION MAP
Case Number S181009A
Creekside at Grand Prairie



City of Grand Prairie
Development Services

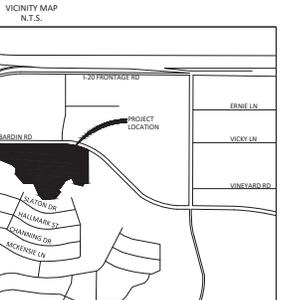
(972) 237-8255
www.gptx.org

Exhibit B - Amended Site Plan
Page 1 of 2



- BENCHMARKS:**
- CITY OF GRAND PRAIRIE GPS MONUMENT #70
SOURCE BENCHMARK:
3.14" ALUMINUM CAP STAMPED GPS #70 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLUSH WITH GROUND NEAR A WITNESS MARKER, LOCATED ON THE NORTH SIDE OF 120' HWY SERVICE ROAD AND APPROXIMATELY 1,444 FEET EAST FROM THE CENTERLINE OF GREAT SOUTHWEST PARKWAY, 2 FEET OFF THE SIDEWALK LYING BETWEEN FIRESTONE TIRE BUSINESS AND COMFORT SUITES.
N: 4922238.23
E: 2417783.97
ELEVATION = 554.76
 - CITY OF GRAND PRAIRIE GPS MONUMENT #83
A. 3.14" ALUMINUM CAP STAMPED GPS #83 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLUSH WITH GROUND NEAR A WITNESS MARKER, LOCATED IN THE CENTER MEDIAN OF CLAREMONT DRIVE AT THE INTERSECTION OF THE EAST FRONTAGE ROAD OF S.H. 360, 20 FEET EAST FROM THE BACK OF CURB AND 36 FEET NORTH FROM THE BACK OF CURB.
N: 4922641.82
E: 242066.34
ELEVATION = 547.52

LOT 1, BLOCK 1
SEPARATORS OF M&C LAND PARTNERS, LLC
INSTRUMENT NO. 211808470
O.R.T.C.T.



LEGEND

- PROPOSED FIRELINE
- ACCESSIBLE CROSSWALK
- METAL FENCE
- PRIVATE WOODEN FENCE
- FLOWLINE
- BUILDING SETBACK
- FLOOD PLAIN
- EROSION HAZARD SETBACK
- SANITARY MANHOLE
- DOUBLE CLEANOUT
- FIRE HYDRANT
- JUNCTION BOX
- GRATE INLET
- CURB INLET
- BARRIER FREE RAMP
- BARRIER FREE RAMP

SITE DIMENSIONAL AND PAVING NOTES:

- CONVEYORS USE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO SHEET 2 FOR GENERAL NOTES AND OVERALL LEGEND.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING, DAMPTER ENCLOSURE, AND DETACHED GARAGE FOUNDATION LAYOUT AND DESIGN.
- REFER TO LANDSCAPE PLAN FOR FENCE AND HARDSCAPE LAYOUT AND DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW, ACCORDING TO THE CITY OF GRAND PRAIRIE UNIFIED DEVELOPMENT CODE.
- ALL ZONING REQUIREMENTS INCLUDING BUT NOT LIMITED TO, PARKING REQUIREMENTS, LANDSCAPE SCREENING, ETC. ARE TO MEET THE PLANNED DEVELOPMENT ORDINANCE FOR THE PROPERTY, AS APPROVED BY CITY COUNCIL.
- FLOODPLAIN TO BE DEDICATED AS STORMWATER MANAGEMENT AREA TO BE MAINTAINED BY PROPERTY OWNER.

SITE DATA TABLE

SITE ACREAGE	1,028,988 SQ FT / 23.39 ACRES
LAND USE	MULTIFAMILY
RESIDENTIAL DENSITY	14.13 UNITS/ACRE
RESIDENTIAL UNIT MIX	
3 BEDROOMS	186 UNITS (88.5%)
2 BEDROOMS	114 UNITS (55.8%)
3 BEDROOMS	18 UNITS (5.7%)
TOTAL UNITS	318 UNITS
PERCENTAGE OF SITE LANDSCAPING	59.5%
AREA WITHIN 100' W/ FLOODPLAIN	3.83 ACRES
TOTAL BUILDING AREA	164,259 SQ FT
IMPERVIOUS COVER	505,546 SQ FT
PERCENT OF UNITS WITH FENCED YARD	46.7%
IMPACT ZONE	NORTH

SITE PARKING DATA

TOTAL REQUIRED PARKING	497 SPACES
TOTAL PROVIDED PARKING	508
OPEN PARKING	211
COVERED PARKING	145
DETACHED GARAGE	68
BUILDING GARAGE	84
REQUIRED HANDICAP PARKING	12
PROVIDED HANDICAP PARKING	15

OWNER: LIVE AT GRAND PRAIRIE, LLC
CONTACT: DAVID COUSA
21500 BISCAYNE BLVD, STE 402
AVENTURA, FL 33180
ATTN: DAVID COUSA
OFFICE: 954.455.0336
MOBILE: 954.455.0336

DEVELOPER: LIVE RESIDENTIAL
21500 BISCAYNE BLVD.
SUITE 402
AVENTURA, FL 33180
ATTN: DAVID COUSA
OFFICE: 954.455.0336

ENGINEER: MANHARD CONSULTING, LTD.
13225 GREENVILLE AVE.
SUITE 3000
DALLAS, TX 75243
ATTN: JASON T. FYKAL, P.E.
PH: 972.974.4200

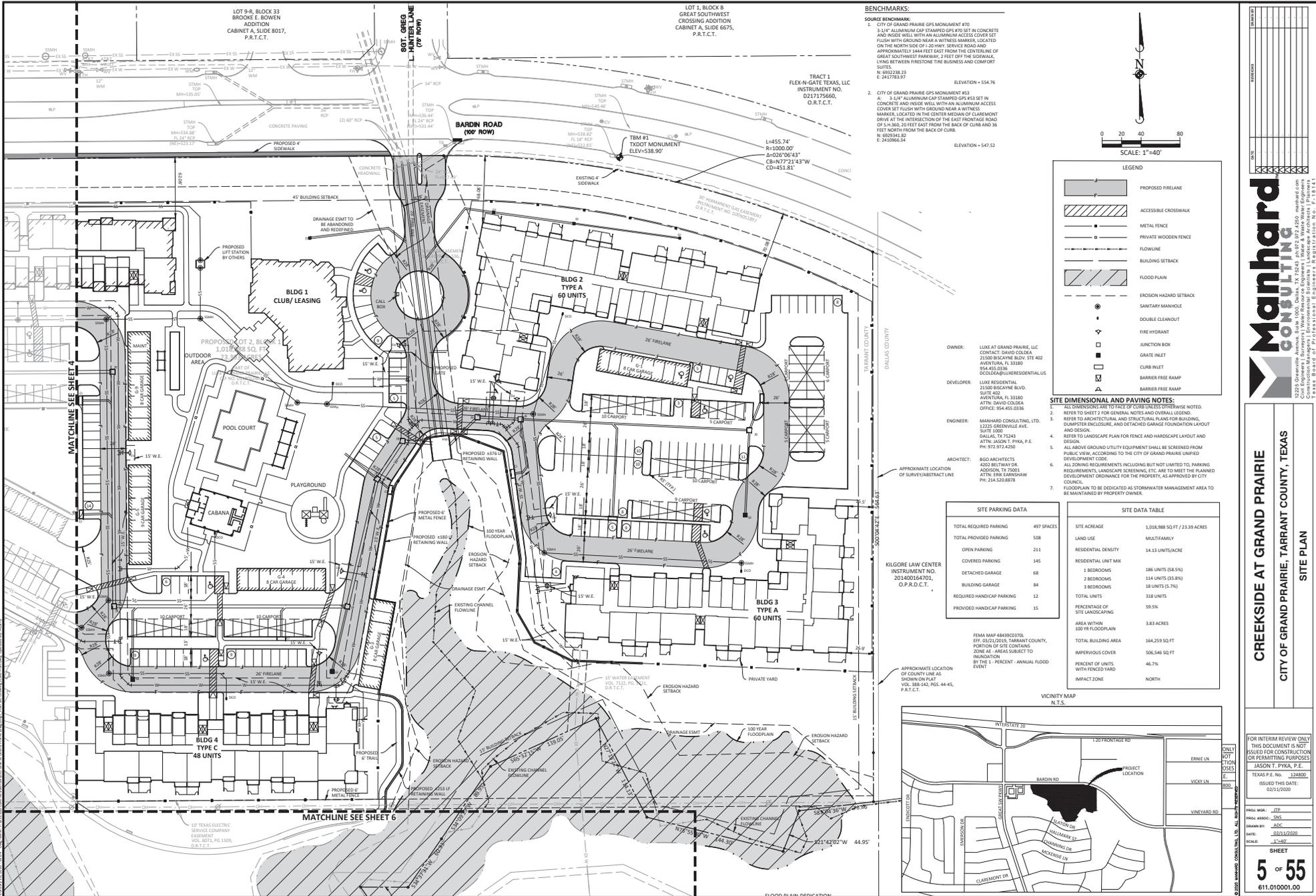
ARCHITECT: 860 ARCHITECTS
4002 BELTWAY DR.
ADDISON, TX 75010
ATTN: ERIC EARGHAW
PH: 214.520.8878

Manhard CONSULTING
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.8500, manhard.com
Construction Management | Environmental Services | Landscape Architecture | Primavera
Texas Board of Professional Engineers, Registration No. P-18311

CREEKSIDE AT GRAND PRAIRIE
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS
SITE PLAN

FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT
ISSUED FOR CONSTRUCTION
OR PERMITTING PURPOSES
JASON T. FYKAL, P.E.
TEXAS P.E. No. 124800
ISSUED THIS DATE:
03/14/2020

FILED WITH: JTF
M&C ASSOC: SWS
DRAWN BY: JSC
DATE: 03/12/2020
SCALE: 1"=40'
SHEET
4 of 55
611.010001.00



BENCHMARKS:
SOURCE BENCHMARK:
1. CITY OF GRAND PRAIRIE GPS MONUMENT #70
3-1/4" ALUMINUM CAP STAMPED GPS #70 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLUSH WITH GROUND NEAR A WITNESS MARKER. LOCATED ON THE NORTH SIDE OF 10-WAY SERVICES ROAD AND APPROXIMATELY 3444 FEET EAST FROM THE CENTERLINE OF GREAT SOUTHWEST HIGHWAY, 3 FEET OFF THE SIDEWALK LING BETWEEN FIRESTONE TIRE BUSINESS AND COMFORT SUITES.
N: 692328.23
E: 245783.97
ELEVATION = 554.76

2. CITY OF GRAND PRAIRIE GPS MONUMENT #53
3-1/4" ALUMINUM CAP STAMPED GPS #53 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLUSH WITH GROUND NEAR A WITNESS MARKER. LOCATED IN THE CENTER MEDIAN OF CLAREMONT DRIVE AT THE INTERSECTION OF THE EAST FRONTAGE ROAD OF S.H. 360, 20 FEET EAST FROM THE BACK OF CURB AND 36 FEET NORTH FROM THE BACK OF CURB.
N: 692341.82
E: 245986.84
ELEVATION = 547.52

LEGEND

- PROPOSED FIRELINE
- ACCESSIBLE CROSSWALK
- METAL FENCE
- PRIVATE WOODEN FENCE
- FLOWLINE
- BUILDING SETBACK
- FLOOD PLAIN
- EROSION HAZARD SETBACK
- SANITARY MANHOLE
- DOUBLE CLEANOUT
- FIRE HYDRANT
- JUNCTION BOX
- GATE INLET
- CURB INLET
- BARBER FREE RAMP
- BARBER FREE RAMP

SITE DIMENSIONAL AND PAVING NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO SHEET 2 FOR GENERAL NOTES AND OVERALL LEGEND.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING, DAMPSTER ENCLOSURE, AND DETACHED GARAGE FOUNDATION LAYOUT AND DESIGN.
- REFER TO LANDSCAPE PLAN FOR FENCE AND HARDSCAPE LAYOUT AND DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW, ACCORDING TO THE CITY OF GRAND PRAIRIE UNIFIED DEVELOPMENT CODE.
- ALL ZONING REQUIREMENTS INCLUDING BUT NOT LIMITED TO, PARKING REQUIREMENTS, LANDSCAPE SCREENING, ETC. ARE TO MEET THE PLANNED DEVELOPMENT ORDINANCE FOR THE PROPERTY, AS APPROVED BY CITY COUNCIL.
- FLOODPLAIN TO BE DEDICATED AS STORMWATER MANAGEMENT AREA TO BE MAINTAINED BY PROPERTY OWNER.

OWNER: LUXE AT GRAND PRAIRIE, LLC
CONTACT: DAVID COLDEA
21300 BISCAINE BLVD, STE 402
ARLINGTON, TX 76010
954.455.0318
DCOLDEA@LUXERESIDENTIAL.US

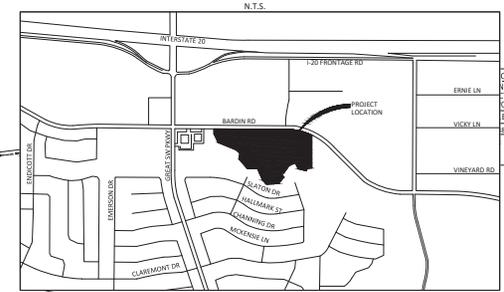
DEVELOPER: LUXE RESIDENTIAL
21300 BISCAINE BLVD.
SUITE 402
ARLINGTON, TX 76010
ATTN: DAVID COLDEA
OFFICE: 954.455.0318

ENGINEER: MANHARD CONSULTING, LTD.
12225 GREENVILLE AVE.
SUITE 1000
DALLAS, TX 75243
ATTN: JASON T. PYKA, P.E.
PH: 972.972.4258

ARCHITECT: RISO ARCHITECTS
4302 BELTWAY DR.
ADDISON, TX 75001
ATTN: ERIC EARNSHAW
PH: 214.505.8878

SITE PARKING DATA		SITE DATA TABLE	
TOTAL REQUIRED PARKING	497 SPACES	SITE ACREAGE	1,018,988 SQ FT / 23.39 ACRES
TOTAL PROVIDED PARKING	508	LAND USE	MULTIFAMILY
OPEN PARKING	211	RESIDENTIAL DENSITY	14.13 UNITS/ACRE
COVERED PARKING	145	RESIDENTIAL UNIT MIX	
DETACHED GARAGE	64	1 BEDROOMS	386 UNITS (8.5%)
BUILDING GARAGE	88	2 BEDROOMS	114 UNITS (9.5%)
REQUIRED HANDICAP PARKING	12	3 BEDROOMS	18 UNITS (2.0%)
PROVIDED HANDICAP PARKING	15	TOTAL UNITS	318 UNITS
		PERCENTAGE OF SITE LANDSCAPING	59.5%
		AREA WITHIN 100' YEAR FLOODPLAIN	3.83 ACRES
		TOTAL BUILDING AREA	164,259 SQ FT
		IMPERVIOUS COVER	506,546 SQ FT
		PERCENT OF UNITS WITH FENCED YARD	46.7%
		IMPACT ZONE	NORTH

FEMA MAP 4818C0207D
EFFECTIVE DATE: 03/22/2018
PORTION OF SITE CONTAINS ZONE AE AREAS SUBJECT TO INUNDATION BY 1 PERCENT ANNUAL FLOOD EVENT
VOL. 588 S42, PGS. 44-45, P.A.T.C.



Manhard CONSULTING

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.4250, manhard.com
Construction Management | Environmental Services | Landscaping | Architecture | Planning

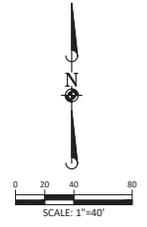
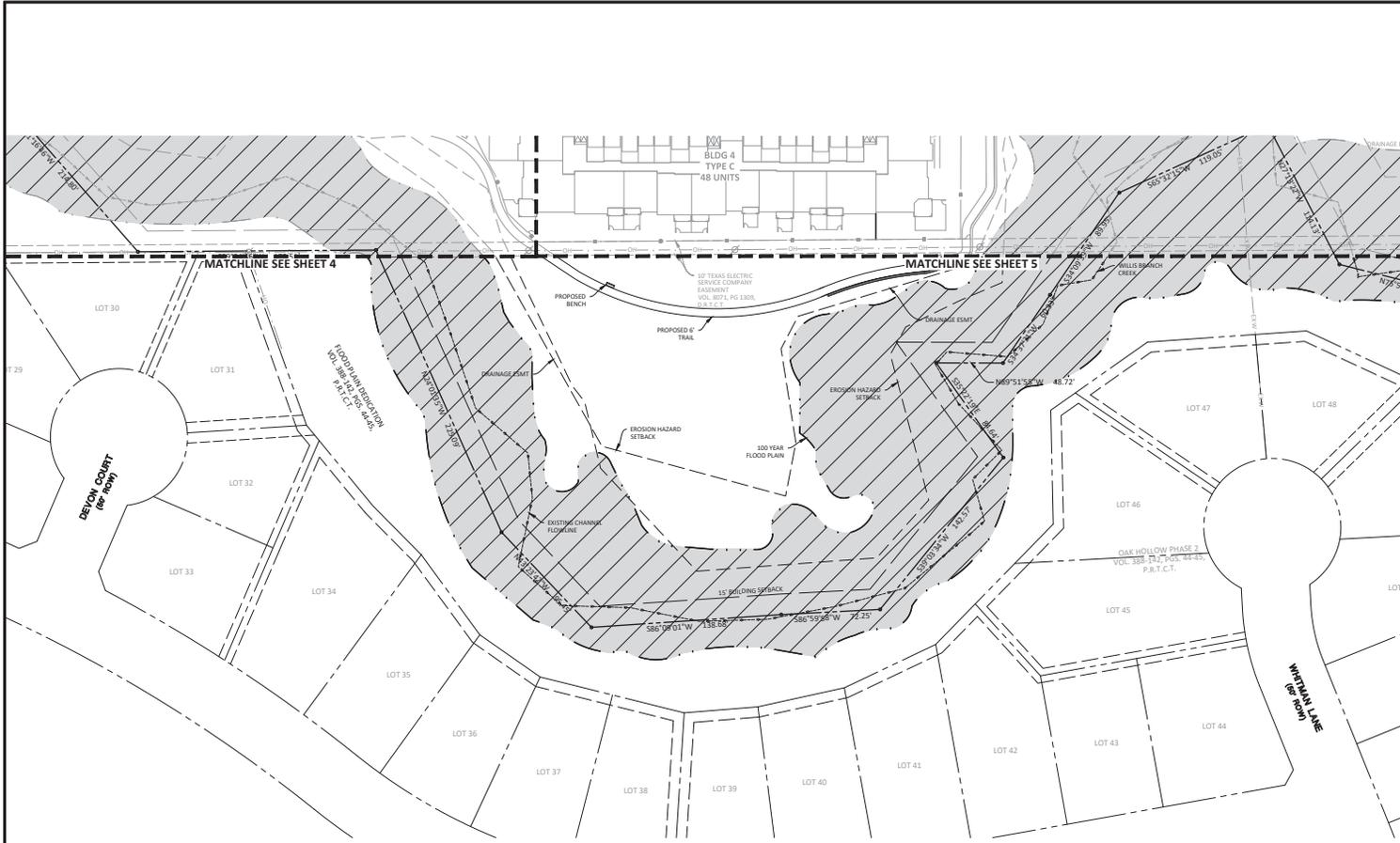
CREEKSIDE AT GRAND PRAIRIE, TARRANT COUNTY, TEXAS

SITE PLAN

FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT
SUAED FOR CONSTRUCTION
OR PERMITTING PURPOSES
JASON T. PYKA, P.E.
TEXAS P.E. No. 134880
ISSUED THIS DATE:
03/14/2020

PHOTO: JTP
MOLO ASB: SKS
DRAWN BY: JSC
DATE: 03/14/2020
SCALE: 1"=40'

SHEET
5 of 55
611.010001.00



LEGEND

- PROPOSED FIRELANE
- ACCESSIBLE CROSSWALK
- METAL FENCE
- PRIVATE WOODEN FENCE
- FLOWLINE
- BUILDING SETBACK
- FLOOD PLAN
- EROSION HAZARD SETBACK
- SANITARY MANHOLE
- DOUBLE CLEANOUT
- FIRE HYDRANT
- JUNCTION BOX
- GRATE INLET
- CURB INLET
- BARRIER FREE RAMP
- BARRIER FREE RAMP

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO SHEET 2 FOR GENERAL NOTES AND OVERALL LEGEND.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING, DUMPSTER ENCLOSURE, AND DETACHED GARAGE FOUNDATION LAYOUT AND DESIGN.
 - REFER TO LANDSCAPE PLAN FOR FENCE AND HARDSCAPE LAYOUT AND DESIGN.
 - ALL ABOVE GROUND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ACCORDING TO THE CITY OF GRAND PRAIRIE UNIFIED DEVELOPMENT CODE.
 - ALL ZONING REQUIREMENTS INCLUDING BUT NOT LIMITED TO, PARKING REQUIREMENTS, LANDSCAPE SCREENING, ETC. ARE TO MEET THE PLANNED DEVELOPMENT ORDINANCE FOR THE PROPERTY, AS APPROVED BY CITY COUNCIL.
 - FLOODPLAIN TO BE DEDICATED AS STORMWATER MANAGEMENT AREA TO BE MAINTAINED BY PROPERTY OWNER.

SITE DATA TABLE

SITE ACREAGE	1,018,988 SQ FT / 23.39 ACRES
LAND USE	MULTIFAMILY
RESIDENTIAL DENSITY	14.13 UNITS/ACRE
RESIDENTIAL UNIT MIX	
1 BEDROOMS	186 UNITS (8.5%)
2 BEDROOMS	114 UNITS (5.8%)
3 BEDROOMS	18 UNITS (0.7%)
TOTAL UNITS	318 UNITS
PERCENTAGE OF SITE LANDSCAPING	59.5%
AREA WITHIN 100 YR FLOODPLAIN	3.83 ACRES
TOTAL BUILDING AREA	164,259 SQ FT
IMPERVIOUS COVER	506,546 SQ FT
PERCENT OF UNITS WITH FENCED YARD	46.7%
IMPACT ZONE	NORTH

SITE PARKING DATA

TOTAL REQUIRED PARKING	497 SPACES
TOTAL PROVIDED PARKING	508
OPEN PARKING	211
COVERED PARKING	145
DETACHED GARAGE	68
BUILDING GARAGE	84
REQUIRED HANDICAP PARKING	12
PROVIDED HANDICAP PARKING	15

OWNER: LUXE AT GRAND PRAIRIE, LLC
CONTACT: DAVID COLDEA
21500 BISCAINE BLVD, STE 402
AVENTURA, FL 33180
564 455-0316
DCC026@LUXERESIDENTIAL.US

DEVELOPER: LUXE RESIDENTIAL
SUITE 402
AVENTURA, FL 33180
ATTN: DAVID COLDEA
OFFICE: 564 455-0316
PH: 972-972-4250

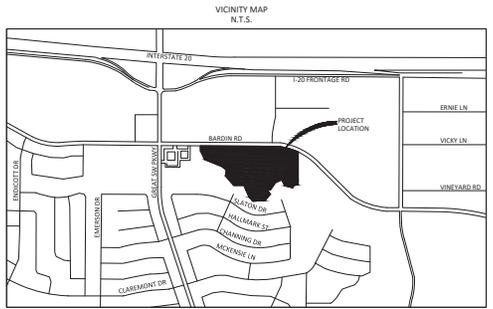
ENGINEER: MANHARD CONSULTING, LTD.
12225 GREENVILLE AVE.
SUITE 3000
DALLAS, TX 75243
ATTN: JASON T. PYKA, P.E.
PH: 972-972-4250

ARCHITECT: R800 ARCHITECTS
4002 BELLEVUE DR.
ADDISON, TX 75001
ATTN: ERIK SANDHAWK
PH: 214-530-8878

BENCHMARKS:

SOURCE BENCHMARK:

- CITY OF GRAND PRAIRIE GPS MONUMENT #70
3/4" ALUMINUM CAP STAMPED GPS 470 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLOOD WITH GROUND NEAR A WITNESS MARKER. LOCATED ON THE NORTH SIDE OF I-20 HWY. SERVICE ROAD AND APPROXIMATELY 1444 FEET EAST FROM THE CENTERLINE OF GREAT SOUTHWEST PARKWAY, 2 FEET OFF THE SIDEWALK LING BETWEEN FIRESTONE THE BUSINESS AND COMFORT SUITES.
N: 6932318.23
E: 24127783.97
ELEVATION = 554.76
- CITY OF GRAND PRAIRIE GPS MONUMENT #51
3/4" ALUMINUM CAP STAMPED GPS #51 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLOOD WITH GROUND NEAR A WITNESS MARKER. LOCATED IN THE CENTER MEDIAN OF CLEARBLANK DRIVE AT THE INTERSECTION OF THE EAST FRONTAGE ROAD OF S-1305, 20 FEET EAST FROM THE BACK OF CURB AND 36 FEET NORTH FROM THE BACK OF CURB.
N: 6932341.52
E: 24129664.34
ELEVATION = 547.52



Manhard CONSULTING
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972-972-4250, manhard.com
Construction Management, Environmental Services, Litigation & Arbitration, Primavera
Texas Board of Professional Engineers, Registration No. P-1814

CREEKSIDE AT GRAND PRAIRIE
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS
SITE PLAN

FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT ISSUED FOR CONSTRUCTION OR PERMITTING PURPOSES
JASON T. PYKA, P.E.
TEXAS P.E. No. 124880
ISSUED THIS DATE: 02/14/2020

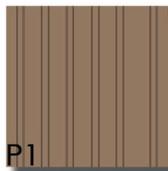
PHOTO: JTP
MHO ASSOC: SKS
DRAWN BY: ASC
DATE: 02/12/2020
SCALE: 1"=40'

SHEET
6 of 55
611.010001.00



S1
STONE 1
NEVILSTONE

STYLE: AUSTIN STONE
COLOR: AZURE
MORTAR: ARGOS WHITE
OR APPROVE EQUAL



P1
PAINT 1-
BOARD AND BATTEN
AND RAILING

JAMES HARDIE
OR APPROVE EQUAL

SHERWIN WILLIAMS
PORTABELLO
SW 6102



P2
PAINT 2- MAIN TRIM,
SOFFITS, FASCIAS, EAVES,
TRIM, BANDING,
SURROUNDS, STUCCO TRIM,
WINDOW TRIMS, DOOR TRIMS
AND DOOR PANELS, COPING
TO MATCH COLOR WHERE IT
OCCURS

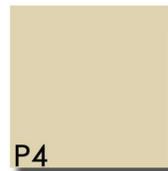
SHERWIN WILLIAMS
KAFFEE
SW 6104



P3
PAINT 3- ACCENT
COLOR

STUCCO

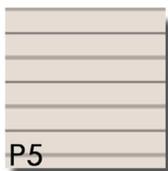
SHERWIN WILLIAMS
PAVILION BEIGE
SW 7512



P4
PAINT 4- MAIN
ACCENT COLOR

STUCCO BODY

SHERWIN WILLIAMS
RICE PADDY
SW 6414



P5
PAINT 5- BALCONY
SIDING

JAMES HARDIE
OR APPROVE EQUAL

SHERWIN WILLIAMS
MODEST WHITE
SW 6084



P6
PAINT 5- MAIN
STUCCO BODY

SHERWIN WILLIAMS
SANDERLING
SW 7513



R1
TIMBERLINE HD
GAF
FOX HOLLOW GRAY
ASPHALT SHINGLE



R2
STANDING SEAM
ROOF AND METAL
AWNINGS

METAL ROOF, GUTTERS,
FASCIA AND EAVES

BERRIDGE
ZINC GREY OR
APPROVE EQUAL



DS
DOWNSPOUTS &
GUTTERS

SENOC CORP.
OR APPROVE EQUAL
ROYAL BROWN

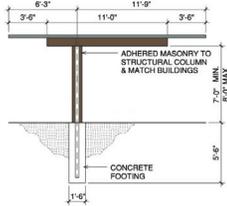


W1
WINDOWS
PLY-GEM OR
APPROVE EQUAL
BRONZE

THE LUX AT GRAND PRAIRIE- MATERIAL BOARD
GRAND PRARIE, TEXAS

SCALE 1/8"=1'-0"
0' 10' 20'

NOTE:
CARPORTS TO BE PROVIDED BY OTHERS.
DESIGN TO MEET ALL LOCAL JURISDICTIONAL LOADING REQUIREMENTS.



8 CARPORT ELEVATION
SCALE: 3/16"=1'-0"
REFER TO CARPORT MANUFACTURER FOR ENGINEERING AND INSTALLATION



6 3 CAR GARAGE HC-FRONT ELEVATION
SCALE: 3/16"=1'-0"



4 SIDE ELEVATION - TYP
SCALE: 3/16"=1'-0"



2 SIDE ELEVATION - HC
SCALE: 3/16"=1'-0"



7 6 CAR CARPORT ELEVATION
SCALE 3/16"=1'-0"

Carport Elevations - Total		
MATERIAL	SF	%
Fiber Cement	41	6%
Stone	11	2%
Adhered Stone	441	100%
Total	493	100.00%

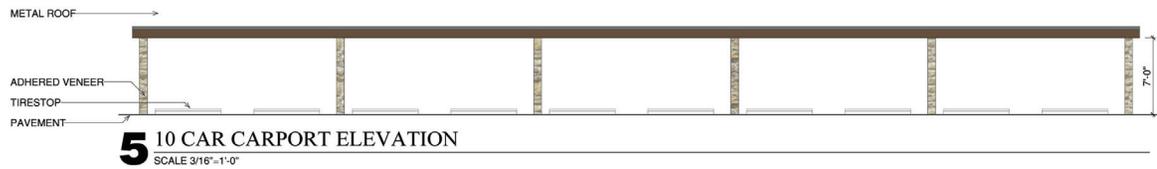
Garage Elevations - Total		
MATERIAL	SF	%
Fiber Cement	862	63%
Stone	16	2%
Adhered Stone	608	37%
Total	1486	100.00%

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.B.a



5 10 CAR CARPORT ELEVATION
SCALE 3/16"=1'-0"



3 3 CAR GARAGE-REAR ELEVATION
SCALE: 3/16"=1'-0"



1 8 CAR GARAGE-FRONT ELEVATION
SCALE: 3/16"=1'-0"



REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

BGO architects
4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

DATE
9-17-2018

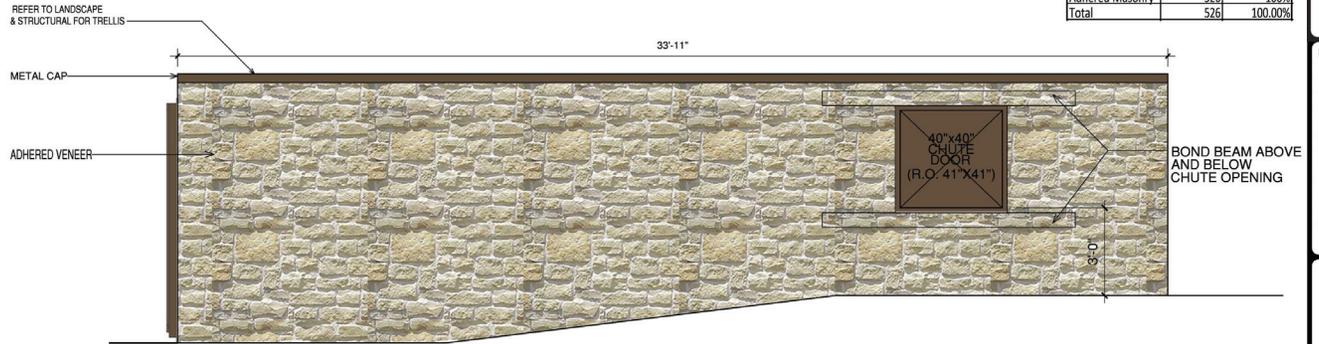
PROJECT
17249

SHEET NUMBER

A2-32
GARAGE & CARPORT ELEVATIONS

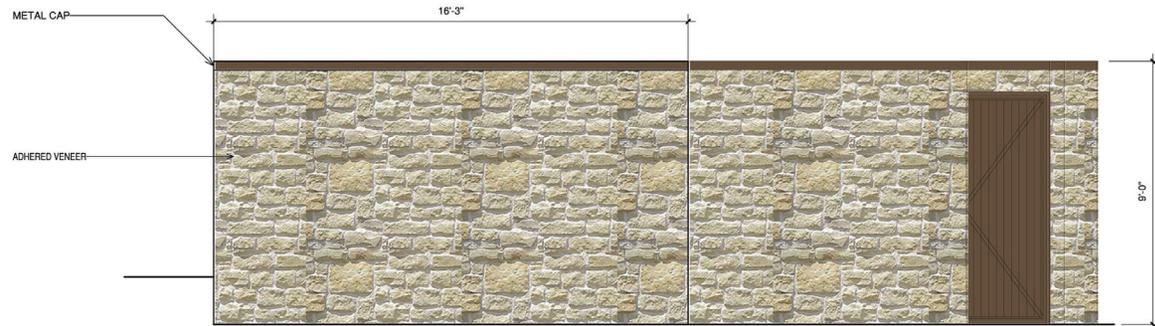
COPYRIGHT © BGO Architects. ALL RIGHTS RESERVED.

Trash Elevations - Total		
MATERIAL		
	SF	%
Fiber Cement	0	0%
Stucco	0	0%
Adhered Masonry	526	100%
Total	526	100.00%

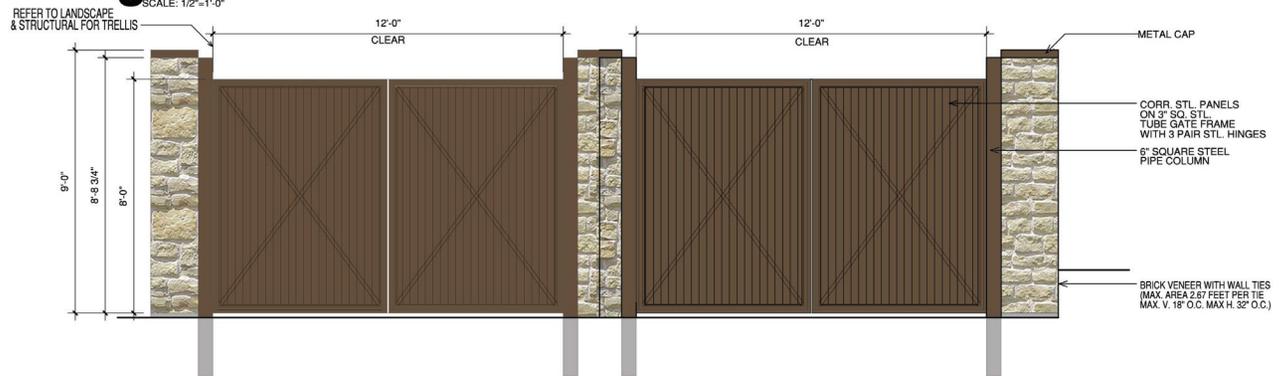


5 TRASH ENCLOSURE - SIDE ELEVATION CHUTE
SCALE: 1/2" = 1'-0"

SECURITY DOOR FITS WALLS FROM 6 TO 14 INCHES THICK



3 TRASH ENCLOSURE-REAR ELEVATION
SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE-FRONT ELEVATION
SCALE: 1/2" = 1'-0"

REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT
SUBMITTAL



4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

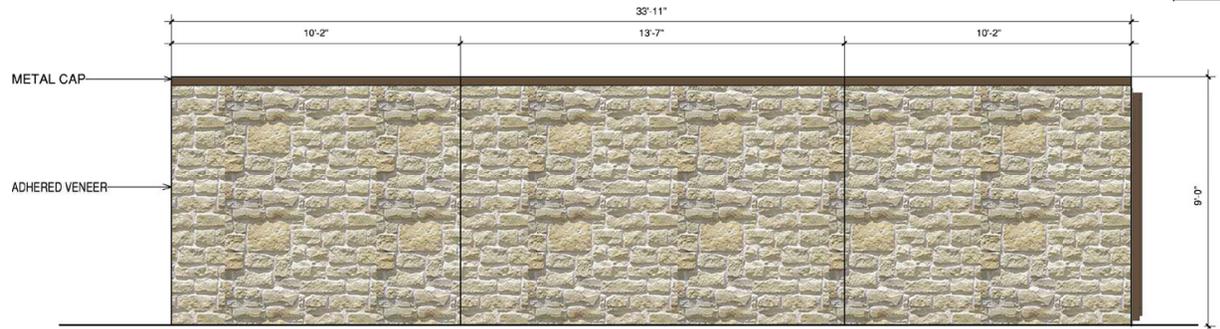
DATE
9-17-2018

PROJECT
17249

SHEET NUMBER

A2-42
TRASH ELEV./
DETAILS

COPYRIGHT © BGO architects. ALL RIGHTS RESERVED.



Trash Elevations - Total		
MATERIAL	%	
	SF	%
Fiber Cement	0	0%
Stucco	0	0%
Adhered Masonry	526	100%
Total	526	100.00%

6 TRASH ENCLOSURE-SIDE ELEVATION RECYCLING
SCALE: 1/2"=1'-0"



REVISIONS

NO.	DATE	DESCRIPTION

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT
SUBMITTAL

BGO
architects
4202 Bellway Drive
Addicks, TX 75001
714.221.0019
bgoarchitects.com

DATE
9-17-2018

PROJECT
17249

SHEET NUMBER

A2-43
TRASH ELEV./
SECTIONS

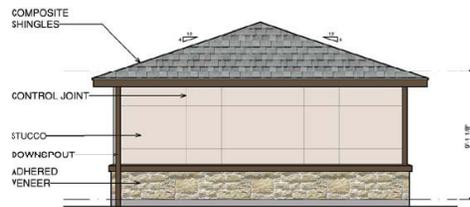
COPYRIGHT © BGO Architects ALL RIGHTS RESERVED



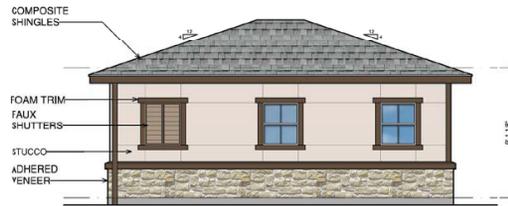
7 MAINT. FRONT ELEVATION
SCALE: 1/4" = 1'-0"



6 MAINT. SIDE ELEVATION
SCALE: 1/4" = 1'-0"



5 MAINT. REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 MAINT. SIDE ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- ① - SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- ② - MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- ③ - 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY LOC APPRX. 28A.

NON-INDUSTRIAL BUILDING DESIGN:

- ① PROVIDE EXTERIOR ELEVATIONS
- ② INDICATE THE SURFACE AREA OF EACH FACADE
- ③ LOCATION OF DESIGNATED PRIMARY FACADES
- ④ INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
- ⑤ INDICATE BUILDING HEIGHT (H)
- ⑥ HORIZONTAL ARTICULATION OF PRIMARY ELEVATIONS
- ⑦ VERTICAL ARTICULATION OF PRIMARY FACADES
- ⑧ INDICATE THE DESIGN ELEMENTS FOR BANE, FIELD PANEL AND PARAPET WITH CORNICE
- ⑨ INDICATE WINDOWS AND COVERED WALKWAYS (SEE WINDOWS REQ.)
- ⑩ INDICATE HOOP PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- ⑪ INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- ⑫ INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- ⑬ INDICATE AMOUNT AND LOCATION OF CONCRETE TO WALL APPLIQUES
- ⑭ INDICATE AMOUNT AND LOCATION OF 2" OF PRINCIPAL MASONRY MATERIALS OR FORMALINET TEXTURE ON REMAINING TO EXTERIOR SURFACES
- ⑮ INDICATE AMOUNT AND LOCATION OF THE 20% SUPPLEMENTAL STONE (REQUIREMENT)

NON-INDUSTRIAL MATERIAL SELECTIONS:

- ① INDICATE AMOUNT AND LOCATION OF 2" OF PRINCIPAL MASONRY MATERIALS OR FORMALINET TEXTURE ON REMAINING TO EXTERIOR SURFACES
- ② INDICATE AMOUNT AND LOCATION OF THE 20% SUPPLEMENTAL STONE (REQUIREMENT)

Materials	Quantity	Unit	%
Stone	0	sq ft	0%
Fiber Cement	0	sq ft	0%
Adhered Stone	0	sq ft	0%
Stucco	178	sq ft	100%
Concrete	0	sq ft	0%
Substitute	0	sq ft	0%

09-17-2018

REVISIONS

LUX AT GRAND PRAIRIE

GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

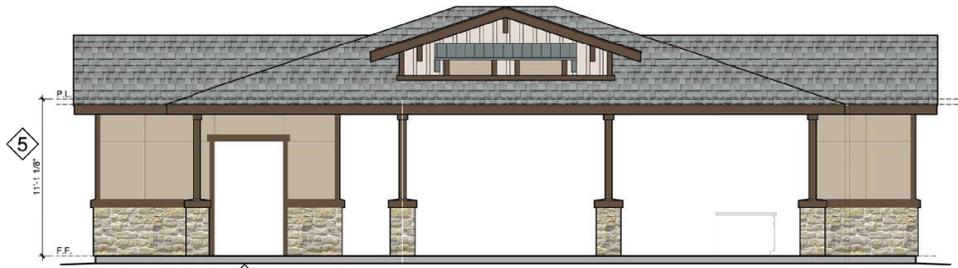
4202 Beltway Drive
Addicks, TX 75001
214.260.8919
bgoarchitects.com

DATE
9-17-2018

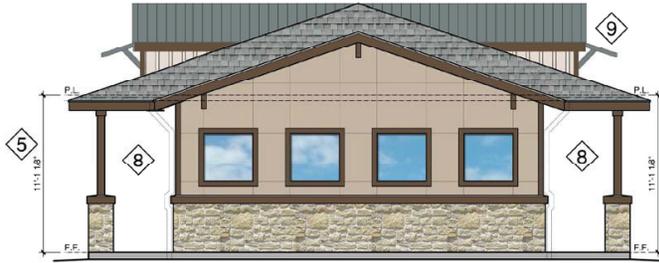
PROJECT
17249

SHEET NUMBER
A2-50
MAINTENANCE BUILDING

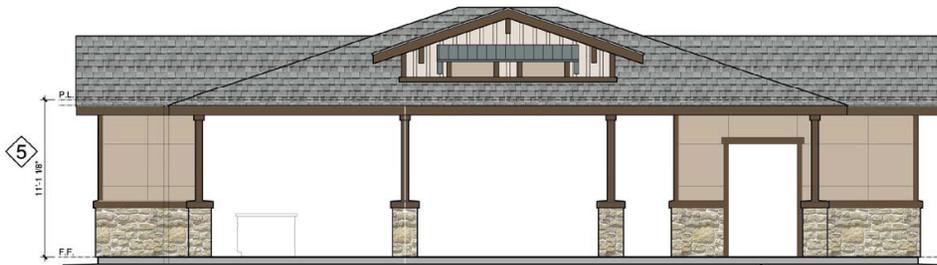
COPYRIGHT © BGO Architects. ALL RIGHTS RESERVED.



7 CABANA - ELEVATION
SCALE 1/4"=1'-0"



6 CABANA - ELEVATION
SCALE 1/4"=1'-0"



5 CABANA - ELEVATION
SCALE 1/4"=1'-0"



4 CABANA - ELEVATION
SCALE 1/4"=1'-0"

Cabana Elevations - Total		
MATERIAL		
	SF	%
Fiber Cement	96	49%
Stucco	709	63%
Adhered Stone	312	25%
Total	1127	100.00%
GLAZING		
S.F.	BLDG S.F.	%
49	1176	4%

- 10
- 11
- 12
- 3

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.8.a

NON-INDUSTRIAL BUILDING DESIGN:

- 1 PROVIDE EXTERIOR ELEVATIONS
- 2 INDICATE THE SURFACE AREA OF EACH FACADE
- 3 LOCATION OF DESIGNATED PRIMARY FACADES
- 4 LOCATION OF ARTICULATED PUBLIC ENTRANCES
- 5 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
- 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 7 VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 8 INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
- 9 INDICATE WINDOWS AND COVERED WALKWAYS ARE PROVIDED (25% WINDOWS REQ'D)
- 10 INDICATE REQUIRED ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- 11 INDICATE BUILDING HEIGHT (H)

NON-INDUSTRIAL MATERIAL SELECTIONS:

- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- 12 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
- N/A INDICATE AMOUNT AND LOCATION OF 2" REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
- 12 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT.



REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

BGO architects
4202 Bellway Drive
Addicks, TX 75001
214.221.0018
bgoarchitects.com

DATE
9-17-2018

PROJECT
17249

SHEET NUMBER
1

A2-60
CABANA PLAN AND ELEVATIONS

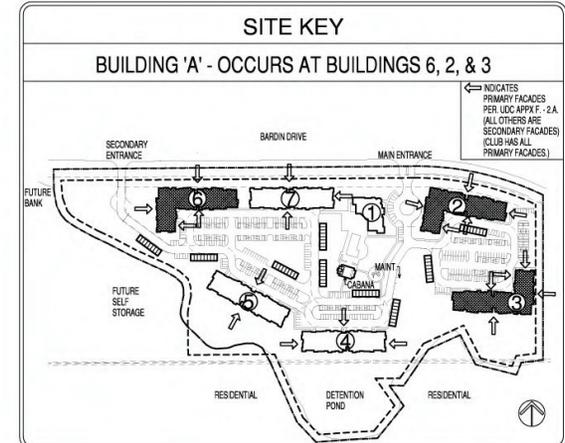
COPYRIGHT © BGO Architects. ALL RIGHTS RESERVED.



3 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UCC APPX F - 2.2.4.

BUILDING TYPE 'A' - ELEVATION KEY

BUILDING TOTALS	
MATERIAL	AMOUNT
ADHERED MASONRY - STONE	1,200
FIBER CEMENT - BOARD & BATTEN	1,200
STUCCO & CONTROL JOINTS	1,200
GLASSING	1,200
ST. BRG. S.L.	1,200
ST. BRG. S.L.	1,200

- NON-INDUSTRIAL BUILDING DESIGN:**
- PREVIEW EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF DESIGNATED PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - INDICATE BUILDING HEIGHT (ft)
 - NON-INDUSTRIAL ARTICULATION OF PRIMARY FACADES (REFER TO ELEVATION 1) (1/4"=0')
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADES (REFER TO ELEVATION 2) (1/4"=0')
 - INDICATE THE DESIGN ELEMENTS FOR MAINT. FIELD WALL AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PROPOSED 20% WINDOWS (REQD)
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF 2" REBAR OR FORM LIME STONE TEXTURE ON REMAINING TILT WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF THE SOLID SUPPLEMENTAL STONE REQUIREMENT
 - INDICATE AMOUNT AND LOCATION OF 2" OF CONCRETE TILT WALL APPLIQUER REQUIREMENT

08-27-2019

REVISIONS

CREEKSIDE AT GRAND PRAIRIE

GRAND PRAIRIE, TX

PERMIT SET

2429 BELTWAY DRIVE ADDICKSON, TX 75001
214-520-8878
fedk.com

DATE

08-27-19

PROJECT

17249

SHEET NUMBER

A4-01

BUILDING A
EXTERIOR ELEVATIONS

COPYRIGHT © FED ARCHITECTS ALL RIGHTS RESERVED



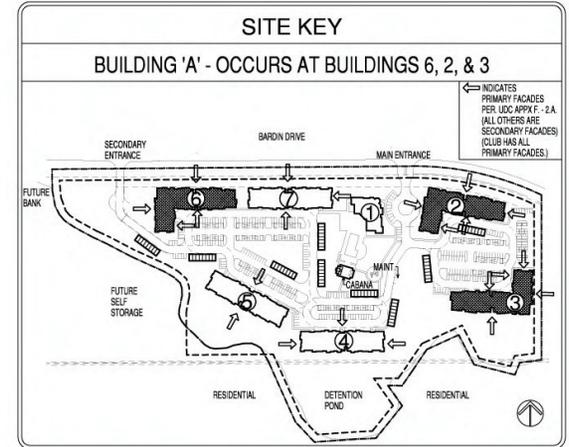
5a BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



5b BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



6 BUILDING TYPE 'B' - TWO ELEVATIONS (ONE O.H.)
SCALE: 1/8" = 1'-0"

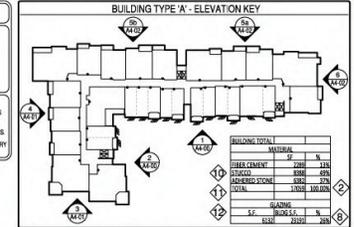


MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MATERIALS AS REQUIRED BY UCC APP'F - 2B.A



- NON-INDUSTRIAL BUILDING DESIGN:**
- PREVIEW EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF UNFINISHED PRIMARY FACADES
 - LOCATION OF ARTICULATED PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - INDICATE BUILDING HEIGHT (H)
 - HORIZONTAL ARTICULATION OF PRIMARY FACADES (REFER TO ELEVATION 1/A-03)
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADES (REFER TO ELEVATION 2/A-05)
 - INDICATE THE DESIGN ELEMENTS FOR RAIL, FELD WALL, AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS
 - INDICATE WINDOW TYPES AND WINDOW RECS
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT WALL APPLIQUES
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT WALL APPLIQUES
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT WALL APPLIQUES



5 BUILDING TYPE 'A' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



08-27-2019

REVISIONS

CREEKSIDE AT GRAND PRAIRIE

GRAND PRAIRIE, TX

PERMIT SET



DATE

08-27-19

PROJECT

17249

SHEET NUMBER

A4-02

BUILDING A
EXTERIOR ELEVATIONS

COPYRIGHT © F&K ARCHITECTS ALL RIGHTS RESERVED



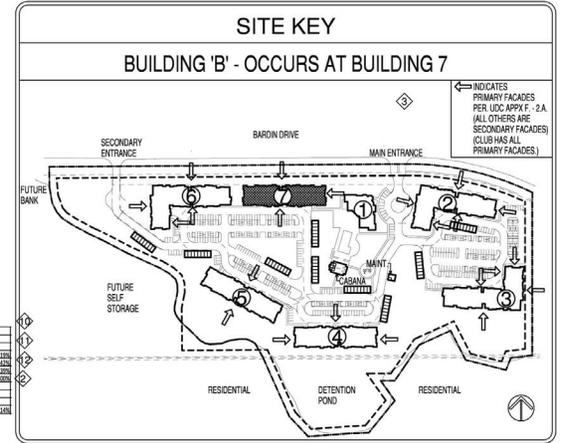
1 BUILDING TYPE 'B' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



1a BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



1b BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



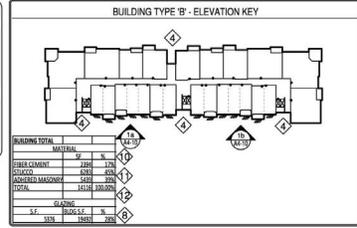
ELEVATION	MATERIAL	SF	%
1	Stone Cement	1120	39%
2	Brick	2240	42%
3	Adhered Masonry	2240	39%
4	Other	640	10.00%
TOTAL			
S.F.	GLAZING	%	%
100	740	7.4	7.4

MATERIAL LEGEND:

- Adhered Masonry - Stone
- Fiber Cement - Board & Batten
- Stucco & Control Joints

NOTES:

- Square Footage is an estimation for city purposes only. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.8.



ELEVATION	MATERIAL	SF	%
1	Stone Cement	1120	39%
2	Brick	2240	42%
3	Adhered Masonry	2240	39%
4	Other	640	10.00%
TOTAL			
S.F.	GLAZING	%	%
100	740	7.4	7.4

- NON-INDUSTRIAL BUILDING DESIGN:**
- Provide exterior elevations
 - Indicate the surface area of each facade
 - Location of separator
 - Location of articulation
 - Public entrances
 - Indicate required roof
 - Indicate building height (ft)
 - Vertical articulation of primary facade (refer to elevation 1 (A-8))
 - Vertical roofline articulation of primary facade (refer to elevation 2 (A-8))
 - Indicate the design elements for base, field wall and parapet with cornice
 - Indicate windows and covered walkways and porches (SPK, window profile)
 - Indicate roof profile component used
 - Indicate amount and location of principal masonry material
 - Indicate amount and location of substitute materials
 - Indicate amount and location of concrete tilt-wall applies
 - Indicate the design elements for base, field wall and parapet with cornice
 - Indicate windows and covered walkways and porches (SPK, window profile)
 - Indicate roof profile component used
 - Indicate amount and location of 2" of principal masonry material
 - Indicate amount and location of remaining tilt wall surfaces
 - Indicate amount and location of the 2" or supplemental stone of requirement.
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- Indicate amount and location of principal masonry material
 - Indicate amount and location of substitute materials
 - Indicate amount and location of concrete tilt-wall applies

ELEVATION	MATERIAL	SF	%
1	Stone Cement	1120	39%
2	Brick	2240	42%
3	Adhered Masonry	2240	39%
4	Other	640	10.00%
TOTAL			
S.F.	GLAZING	%	%
100	740	7.4	7.4

REVISIONS

LUXE AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

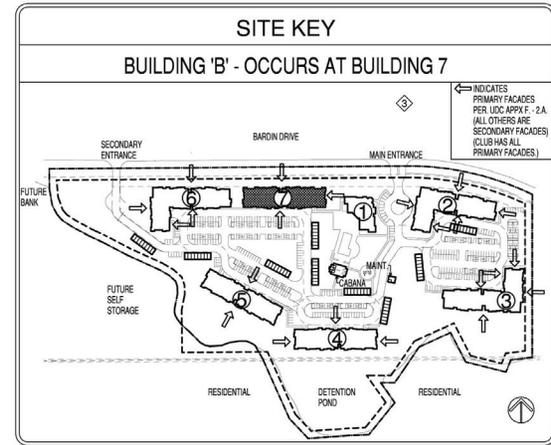
BGO architects
4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

DATE: 9-26-2018
PROJECT: 17249
SHEET NUMBER: A4-10
BUILDING B EXTERIOR ELEVATIONS

COPYRIGHT © BGO Architects. ALL RIGHTS RESERVED.



ELEVATION 2		MATERIAL		sq. ft.	%
Block Cement	1228	1228			
Stone	2752	2752	CKN		
Adhered Stone	2968	2968			
Other	1825	1825	100.00%		
GLAZING		BLOCKS		sq. ft.	%
GLAZING		BLOCKS		1112	36.1%



MATERIAL LEGEND:

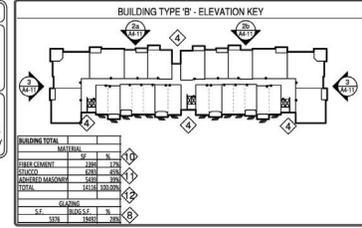
- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.

MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.

80% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.B.1



ELEVATION 2		MATERIAL		sq. ft.	%
Block Cement	1228	1228			
Stone	2752	2752	CKN		
Adhered Stone	2968	2968			
Other	1825	1825	100.00%		
GLAZING		BLOCKS		sq. ft.	%
GLAZING		BLOCKS		1112	36.1%

- NON-INDUSTRIAL BUILDING DESIGN:**
- PROVIDE EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF OBSERVABLE PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF HEIGHT
 - INDICATES BUILDING HEIGHT (ft)
 - HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 (A-08))
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 (A-09))
 - INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PROPOSED SPIR, WINDING PROTECT
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
 - INDICATE AMOUNT AND LOCATION OF FINICAL OR FORMAL TEXTURE ON REMAINING TILT-WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF THE PRE-SUPPLEMENTAL STONE REQUIREMENT.



SECTION 1 & 2 O.H.		MATERIAL		sq. ft.	%
Block Cement	396	396			
Stone	832	832	CKN		
Adhered Stone	436	436			
Other	1326	1326	100.00%		
GLAZING		BLOCKS		sq. ft.	%
GLAZING		BLOCKS		232	17.5%

REGISTERED ARCHITECT
STATE OF TEXAS
09-26-2018
REVISIONS

LUXE AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

BGO architects
4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

DATE
9-26-2018

PROJECT
17249

SHEET NUMBER
A4-11
BUILDING B
EXTERIOR ELEVATIONS

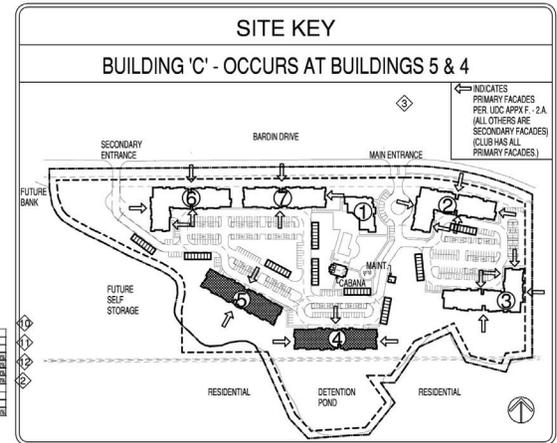
Copyright © BGO Architects. All Rights Reserved.



1 BUILDING TYPE 'C' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



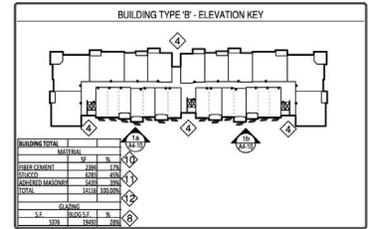
1a BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"



SITE KEY
BUILDING 'C' - OCCURS AT BUILDINGS 5 & 4

INDICATES PRIMARY FACADES PER LOC APPX F - 2.A (ALL OTHERS ARE SECONDARY FACADES) (CLUB HAS ALL PRIMARY FACADES)

ELEVATION 1		MATERIAL	
S.F.	%	S.F.	%
1200	100	1200	100
Stucco	50	600	50
Adhered Masonry	50	600	50
Total	1200	1200	100.00
S.F.		S.F.	
1200	100	1200	100



BUILDING TOTAL		MATERIAL	
S.F.	%	S.F.	%
1200	100	1200	100
Stucco	50	600	50
Adhered Masonry	50	600	50
Total	1200	1200	100.00
S.F.		S.F.	
1200	100	1200	100

- MATERIAL LEGEND:**
- ADHERED MASONRY - STONE
 - FIBER CEMENT - BOARD & BATTEN
 - STUCCO & CONTROL JOINTS
- NON-INDUSTRIAL BUILDING DESIGN:**
- PROVIDE EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF OBSERVABLE PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF HEIGHT
 - INDICATE BUILDING HEIGHT (ft)
 - HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 (A-08))
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 (A-09))
 - INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PROTECTIVE SPR. WINDING PROTECT.
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL



1b BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"

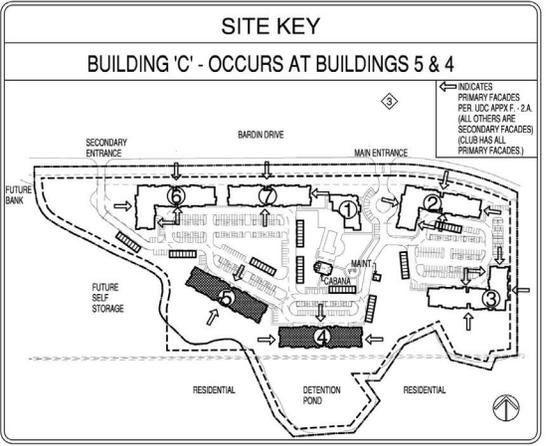
ELEVATION 1		MATERIAL	
S.F.	%	S.F.	%
1200	100	1200	100
Stucco	50	600	50
Adhered Masonry	50	600	50
Total	1200	1200	100.00
S.F.		S.F.	
1200	100	1200	100

REVISIONS
LUXE AT GRAND PRAIRIE
 GRAND PRAIRIE, TX
 DEVELOPMENT SUBMITTAL

 4202 Bellway Drive
 Addison, TX 75001
 214.220.8879
 bgoarchitects.com
 DATE: 9-26-2018
 PROJECT: 17249
 SHEET NUMBER: A4-20
 BUILDING C EXTERIOR ELEVATIONS
 COPYRIGHT © BGO Architects. ALL RIGHTS RESERVED.



2 BUILDING TYPE 'C' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



SITE KEY

BUILDING 'C' - OCCURS AT BUILDINGS 5 & 4

INDICATES PRIMARY FACADES PER LOC APPX F - 2A (ALL OTHERS ARE SECONDARY FACADES) (CLUB HAS ALL PRIMARY FACADES)

ELEVATION 1	
MATERIAL	%
Fiber Cement	200
Stucco	200
Adhered Masonry	400
Stone	200
Total	1000

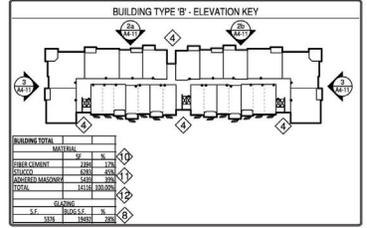


2a BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION 2	
MATERIAL	%
Fiber Cement	200
Stucco	200
Adhered Masonry	400
Stone	200
Total	1000



2b BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING TOTAL	
MATERIAL	%
Fiber Cement	200
Stucco	200
Adhered Masonry	400
Stone	200
Total	1000

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NON-INDUSTRIAL BUILDING DESIGN:

- PROVIDE EXTERIOR ELEVATIONS
- INDICATE THE SURFACE AREA OF EACH FACADE
- LOCATION OF OBSERVABLE PUBLIC ENTRANCES
- INDICATE REQUIRED ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- INDICATE BUILDING HEIGHT (ft)

NON-INDUSTRIAL MATERIAL SELECTIONS:

- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF SUBSTITUTED MATERIALS
- INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS
- INDICATE ANTICIPATION OF PRIMARY FACADE (REFER TO ELEVATION 1 (A-01))
- VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 (A-02))
- INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
- INDICATE WINDOWS AND COVERED WALKWAYS AND PRODUCT (SIP, WINDOW PROFILE)
- INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF SUBSTITUTED MATERIALS
- INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AND INCLUDE EXTERIOR CORNICES AS REQUIRED BY LOC APPX F - 2B.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY LOC APPX F - 2B.



3 BUILDING TYPE 'C' - TWO ELEVATIONS (ONE O.H.)
SCALE: 1/8" = 1'-0"

ELEVATION 1 (O.H.)	
MATERIAL	%
Fiber Cement	200
Stucco	200
Adhered Masonry	400
Stone	200
Total	1000

REGISTERED ARCHITECT
STATE OF TEXAS
09-26-2018
REVISIONS

LUXE AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

BGO architects
4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

DATE
9-26-2018

PROJECT
17249

SHEET NUMBER
A4-21
BUILDING C
EXTERIOR ELEVATIONS

COPYRIGHT © BGO Architects. ALL RIGHTS RESERVED.



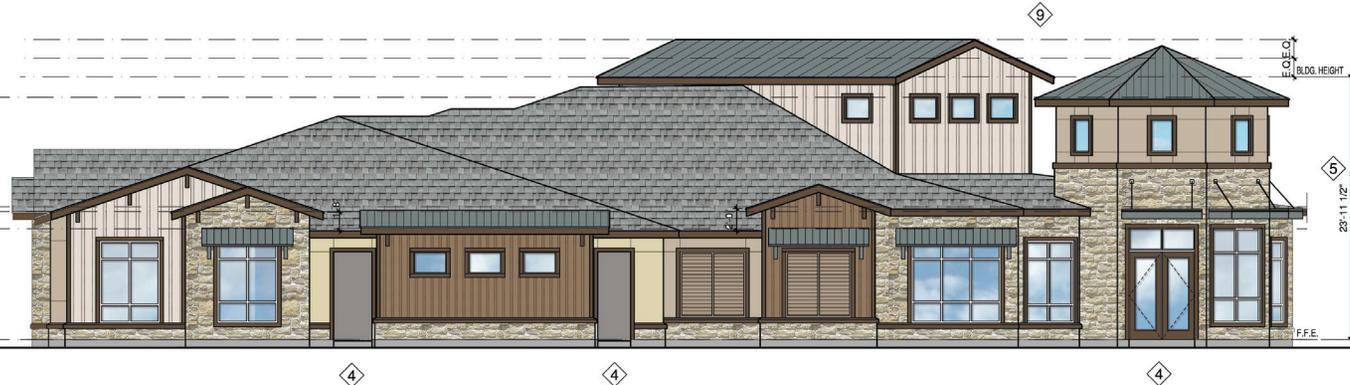
ELEVATION 3/A4-20			
MATERIAL			
	SF	%	
Fiber Cement	101	8%	
Stucco	678	55%	
Adhered Stone	846	68%	
Total	1225	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
630	1855	34%	

3 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



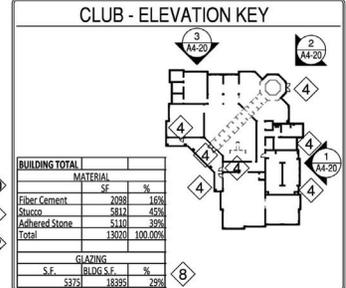
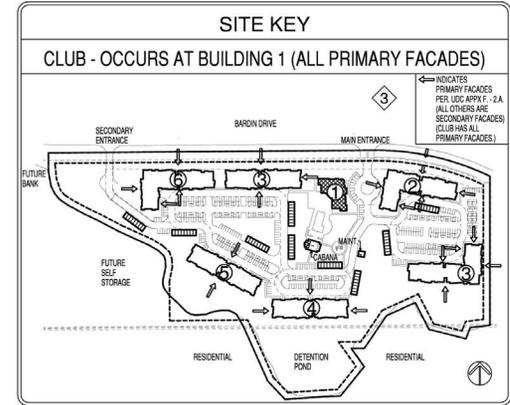
ELEVATION 2/A4-20			
MATERIAL			
	SF	%	
Fiber Cement	330	96%	
Stucco	5	1%	
Adhered Stone	10	3%	
Total	341	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
694	51%		

2 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



ELEVATION 1 / A4-20			
MATERIAL			
	SF	%	
Fiber Cement	532	40%	
Stucco	273	20%	
Adhered Masonry	532	40%	
Total	1337	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
306	1643	19%	

1 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



- NON-INDUSTRIAL BUILDING DESIGN:**
- 1 PROVIDE EXTERIOR ELEVATIONS
 - 2 INDICATE THE SURFACE AREA OF EACH FACADE
 - 3 LOCATION OF DESIGNATED PRIMARY FACADES
 - 4 LOCATION OF ARTICULATED, PUBLIC ENTRANCES
 - 5 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
 - 7 VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
 - 8 INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
 - 9 INDICATE WINDOWS AND COVERED WALKWAYS ARE PROVIDED (25% WINDOWS REQ'D)
 - 10 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - 11 INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE

- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - 12 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
 - 13 INDICATE AMOUNT AND LOCATION OF 2 REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
 - 14 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT.

- MATERIAL LEGEND:**
- ADHERED MASONRY - STONE
 - FIBER CEMENT - BOARD & BATTEN
 - STUCCO & CONTROL JOINTS

- NOTES:**
- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
 - MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
 - 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F. - 2.B.a



09-17-2018

REVISIONS

LUX AT GRAND PRAIRIE

GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

BGO architects

4202 Beltway Drive
Addicks, TX 75001
214.520.8878
bgoarchitects.com

DATE
9-17-2018

PROJECT
17249

SHEET NUMBER
A4-30

CLUB
EXTERIOR ELEVATIONS

copyright © BGO architects. ALL RIGHTS RESERVED.



ELEVATION 3/A4-21			
MATERIAL			
	SF	%	
Fiber Cement	89	6%	
Stucco	689	50%	
Adhered Stone	604	44%	
Total	1384	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
504	1888	27%	

3 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



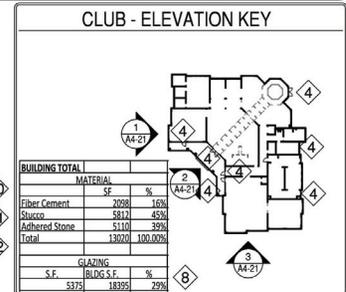
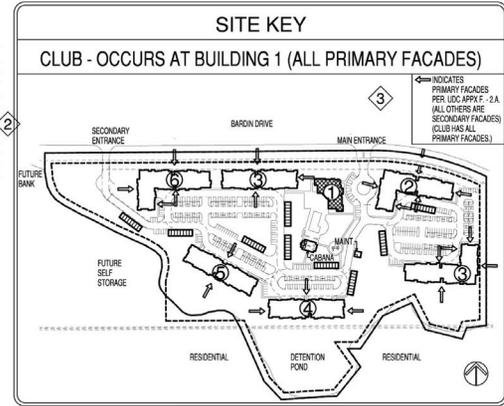
ELEVATION 2/A4-21			
MATERIAL			
	SF	%	
Fiber Cement	760	14%	
Stucco	2507	46%	
Adhered Stone	2147	40%	
Total	5414	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
2394	7898	31%	

2 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



ELEVATION 1/A4-21			
MATERIAL			
	SF	%	
Fiber Cement	290	9%	
Stucco	1660	50%	
Adhered Stone	1369	41%	
Total	3319	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
1188	4507	26%	

1 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



- NON-INDUSTRIAL BUILDING DESIGN:**
- 1 PROVIDE EXTERIOR ELEVATIONS
 - 2 INDICATE THE SURFACE AREA OF EACH FACADE
 - 3 LOCATION OF DESIGNATED PRIMARY FACADES
 - 4 LOCATION OF ARTICULATED PUBLIC ENTRANCES
 - 5 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
 - 7 VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
 - 8 INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
 - 9 INDICATE WINDOWS AND COVERED WALKWAYS ARE PROVIDED (25% WINDOWS REQ'D)
 - 10 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - 11 INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - 12 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
 - 13 INDICATE AMOUNT AND LOCATION OF 2" REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
 - 14 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT.

- MATERIAL LEGEND:**
- ADHERED MASONRY - STONE
 - FIBER CEMENT - BOARD & BATTEN
 - STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.B.a

REGISTERED ARCHITECT
BGO architects
09-17-2018

REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

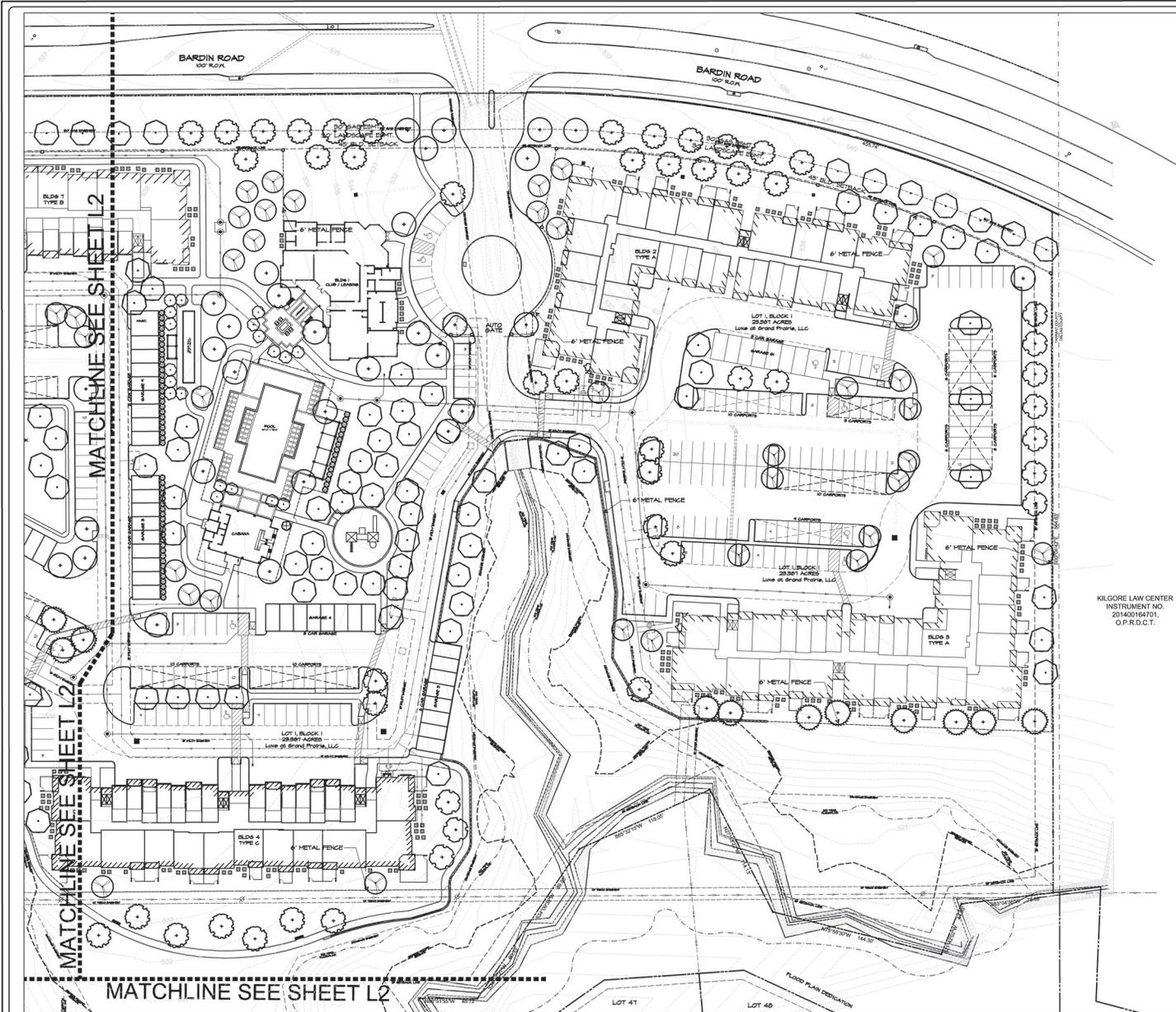
DEVELOPMENT SUBMITTAL

BGO architects
4202 Beltway Drive
Addicks, TX 75001
214.520.8878
bgoarchitects.com

DATE
9-17-2018

PROJECT
17249

SHEET NUMBER
A4-31
CLUB EXTERIOR ELEVATIONS



LANDSCAPE TABULATIONS

SITE AREA
 REQUIRED LANDSCAPE AREA 15%

OVERALL SITE AREA (23,548 ACRES) 1,019,480 S.F.
 REQUIRED LANDSCAPE AREA (3.50 ACRES) 82,848 S.F.
 PROVIDED LANDSCAPE AREA (4.18 ACRES) 440,000 S.F.

SITE TREES REQUIRED:
 1-8" CAL. TREE PER 500 S.F. OF REQUIRED LANDSCAPE AREA
 STREET TREES AND PARKING LOT TREES TO BE INCLUDED WITHIN TOTAL TREE CALCULATION.

SITE TREES REQUIRED (82,848 / 500 =) 165.7 TREES
 SITE TREES PROVIDED 165 TREES

STREET TREES REQUIRED:
 1-8" CAL. STREET TREE PER MINIMUM OF 25 LF. APART TO A MAXIMUM OF 50 LF. APART.

FRONTAGE L.F. (1474.26' - BARDIN ROAD) 1475 L.F.
 REQUIRED STREET TREES (1475/ 50 =) 40 TREES
 STREET TREES PROVIDED 52 TREES

PARKING LOT TREES REQUIRED:
 1-8" CAL. STREET TREE PER 20 PARKING SPACES

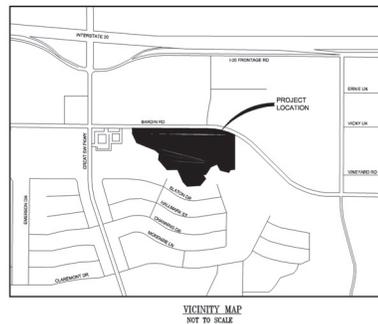
PARKING SPACES 1475 L.F.
 REQUIRED PARKING TREES (866/ 20 =) 43 TREES
 PARKING TREES PROVIDED 45 TREES

SIGN NOTE
 ALL SIGNAGE MUST BE APPROVED BY BUILDING INSPECTION. LOCATIONS SHOWN ON THIS PLAN DO NOT INDICATE APPROVAL. ALL LANDSCAPE AREAS TO RECEIVE UNDERGROUND AUTOMATIC IRRIGATION

LARGE TREES

QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
50		RED OAK	<i>Quercus shumardii</i>	8" caliper, 12' H/ 5'-6" spread, 84B, straight trunk.
104		CEDAR ELM	<i>Ulmus crassifolia</i>	8" caliper, 12' H/ 5'-6" spread, 84B, straight trunk.
21		BUR OAK	<i>Quercus macrocarpa</i>	8" caliper, 12' H/ 5'-6" spread, 84B, straight trunk.
52		LIVE OAK	<i>Quercus virginiana</i>	8" caliper, 12' H/ 5'-6" spread, 84B, straight trunk.
24		CHINKAPIN OAK	<i>Quercus muhlenbergii</i>	8" caliper, 12' H/ 5'-6" spread, 84B, straight trunk.
51		PISTACHE	<i>Pinus strobus</i>	8" caliper, 12' H/ 5'-6" spread, 84B, straight trunk.

KILGORE LAW CENTER
 INSTRUMENT NO.
 201400164701
 O.P.R.D.C.T.



Date: _____

Revisions:

Issued For:
SUBMITTAL

Job No.
 18130

Scale
 1" = 40'-0"

Drawn By:
 JDS

Date
 2-10-2020

**Creekside
 at Grand Prairie**
 Grand Prairie Texas



Landscape Plan

Sheet Title:
 Sheet Number:
L1
 of L2 sheets



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
FEBRUARY 24, 2020**

COMMISSIONERS PRESENT: Chairperson Josh Spare, Vice-Chairperson Shawn Connor, Secretary Max Coleman, and Commissioners, Clayton Fisher, Eric Hedin, Cheryl Smith, Bill Moser, Warren Landrum, Eduardo Carranza.

COMMISSIONERS ABSENT: None

CITY STAFF PRESENT: Deputy City Manager Bill Crolley, David Jones, Chief City Planner, Savannah Ware, Senior Planner, Nyliah Acosta, Planner, Charles Lee, Senior Planner, Mark Dempsey, Deputy City Attorney, Brett Huntsman, Transportation Planner, and Chris Hartmann, Executive Assistant.

Chairperson Josh Spare called the meeting to order in the Council Chambers in the City Hall Building at 6:30 p.m. Commissioner Moser gave the invocation, commissioner Fisher led the pledge of allegiance to the US Flag, and the Texas Flag.

Citizen Comments: None

AGENDA ITEM: #1 - APPROVAL OF MINUTES: To approve the minutes of the Planning and Zoning Commission meeting of February 3, 2020.

PUBLIC HEARING CONSENT AGENDA: Item #2 – P200203 - Final Plat - Avilla Traditions, Lot 1, Block A (Commissioner Connor/City Council District 4). Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr. The consultant is Mike Martinie, Spiars and Engineering and the owner is Jason Flory, NexMetro Communities.

Item #3-RP200202 - Replat - Farmers Industrial Addition, Lot 6-R, Block 3 (Commissioner Fisher/City Council District 1). Replat of Lot 4-R and Lot 5-R, Block 3, Farmers Industrial Addition, to create one lot for industrial development. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas. The agent is Alexander Camunez, Pacheco Koch and the owner is Hamilton Peck, Hamilton Commercial.

Item #4-S181009A - Site Plan - Creekside at Grand Prairie (Commissioner Connor/City Council District 4). Chief City Planner David Jones presented the case report and gave a Power Point presentation for an amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie.

Motion was made to approve the minutes of January 6, 2020, approve public hearing consent agenda items P200203, RP200202, and S181009A.

Motion: Connor

Second: Moser

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Moser, Smith, Spare

Nays: None

Approved: 9-0

Motion: **carried.**



Legislation Details (With Text)

File #: 20-9793 **Version:** 1 **Name:** Z200203 – Civic Campus and Calvary Baptist Church

Type: Ordinance **Status:** Public Hearing on Zoning Applications

File created: 2/11/2020 **In control:** Planning and Zoning Commission

On agenda: 3/3/2020 **Final action:**

Title: Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block D, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Zoning Comparison.pdf](#)
[Exhibit C - Letter of Support.pdf](#)
[PZ Draft Minutes 02-24-2020.pdf](#)

Date	Ver.	Action By	Action	Result
2/24/2020	1	Planning and Zoning Commission		

From

Chris Hartmann

Title

Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block D, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Presenter

Savannah Ware, AICP, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

Zoning change from Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas’ Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block JD, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street.

PURPOSE OF REQUEST:

The purpose of the request is to rezone subject properties to Central Area (CA) District. The properties included in this request are described below. This will not rezone any existing residential properties.

City of Grand Prairie Properties

- Parks Administration Building
- CVE Training Facility
- City Hall West (former City Hall)
- City Hall Central (new City Hall)
- City Hall East (former Development Center)

Calvary Baptist Church Properties

- Calvary Baptist Church and Offices
- Undeveloped land west of church buildings and east of NW 6th Street
- Buildings located at 421 W Church Street and 114 NW 5th Street

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-67, PD-148, 2F, SF-4	Single & Two Family Residential
	GR	Community Organizations/Offices
South	CA, SF-4, O-1, GR-1	Commercial, City Offices, Residential
West	SF-1, 2F, GR-1	Single & Two Family Residential, Office
East	CA	City Offices, County Office
	GR	Community Organizations/Offices

HISTORY:

- November 6, 2007: City Council approved a text amendment creating a Central Business District Overlay with four sub-areas (TA071001). The subject properties are within Central Business District No. 2, which is historically the cultural core of Grand Prairie and is projected as a Mixed Use area including residential units above retail and commercial uses.

- January 14, 2020: The City of Grand Prairie initiated a development request to rezone the subject properties to Central Area (CA) District.
- February 18, 2020: Staff met with Trustees of Calvary Baptist Church to review the proposed zoning change.
- February 19, 2020: Trustees of Calvary Baptist Church submitted a letter of support for the proposed zoning change.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The 2018 Comprehensive Plan’s Future Land Use Map (FLUM) designates this area as Mixed Use. Mixed Use areas are intended for a mixture of non-residential and residential uses that are oriented around the pedestrian.

The subject properties are also within the study area of the 2019 Downtown Master Plan. The purpose of the Downtown Master Plan is to create a unique and identifiable downtown that serves the local residents and community, supports economic vibrancy, and offers destination-oriented uses to create greater regional gravity.

The proposed zoning change is consistent with the Comprehensive Plan and the Downtown Master Plan.

RECOMMENDATION:

At its February 24, 2020 meeting, the Planning and Zoning Commission voted 9-0 to recommend approval.

The Development Review Committee (DRC) recommends approval.

Body

AN ORDINANCE AMENDING THE ZONING ORDINANCE AND MAP TO REZONE LOTS 1-14, BLOCK B2, LOTS 1-6, BLOCK C3, LOTS 8-14, BLOCK E5, LOTS 1-8, BLOCK H8, LOTS 1-4, BLOCK J9, LOTS 5-8, BLOCK K10, W.H. THOMAS’ SECOND ADDITION; LOTS 1-2, BLOCK 229/A1, THOMAS SECOND REVISED; LOTS 7-11, BLOCK JD, JD DUNCANS CHASE; LOTS 1-2, BLOCK B, CHASE; ALL OF THAT TRACT OF LAND DESCRIBED TO THE CITY OF GRAND PRAIRIE IN VOLUME 91135, PAGE 2216, SITUATED IN THE MCKINNEY AND WILLIAMS SURVEY, ABSTRACT NO. 1003; CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS, FROM SINGLE FAMILY FOUR (SF-4) DISTRICT, TWO-FAMILY (2F) DISTRICT, AND GENERAL RETAIL (GR) DISTRICT TO CENTRAL AREA (CA) DISTRICT; SAID ZONING MAP AND ORDINANCE BEING ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990, REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; CONTAINING A SAVINGS CLAUSE; AND TO BECOME EFFECTIVE UPON ITS PASSAGE AND APPROVAL.

WHEREAS, the City of Grand Prairie initiated an amendment of the Zoning Ordinance and map of said city so as to rezone and reclassify said property from its classification of **Single Family Four (SF-4) District, Two-Family (2F) District, and General Retail (GR) District to Central Area (CA) District**; and

WHEREAS, City staff met with the Board of Trustees of Calvary Baptist Church on February 18, 2020 to discuss the proposed rezoning of said property; and

WHEREAS, the Board of Trustees of Calvary Baptist Church submitted a letter of support for the proposed rezoning of said property; and

WHEREAS, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said

application on February 24, 2020, after written notice of such public hearing before the Planning and Zoning Commission on the proposed rezoning had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

WHEREAS, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted 9 to 0 to recommend approval to the City Council of Grand Prairie, Texas, of the request that the hereinafter described property be rezoned from its classification of **Single Family Four (SF-4) District, Two-Family (2F) District, and General Retail (GR) District to Central Area (CA) District**; and

WHEREAS, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 o'clock P.M. on March 3, 2020, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Grand Prairie, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the proposed rezoning and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the use proposed on said property, as well as, the nature and usability of surrounding property, have found and determined that the property in question, as well as, other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance, changing the zoning from its classification of **Single Family Four (SF-4) District, Two-Family (2F) District, and General Retail (GR) District to Central Area (CA) District**; and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1.

THAT Ordinance Number 4779, being the Zoning Ordinance and Map of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

“AN ORDINANCE AMENDING IN ITS ENTIRETY CHAPTER 28 OF THE CODE OF ORDINANCES KNOWN AS THE ZONING ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A

COMPREHENSIVE PLAN...”

and passed and approved November 20, 1990, as amended, is hereby further amended so as to rezone from its classification of **Single Family Four (SF-4) District, Two-Family (2F) District, and General Retail (GR) District to Central Area (CA) District**; as depicted in **Exhibit A - Location Map** and as further described below:

LOTS 1-14, BLOCK B2, LOTS 1-6, BLOCK C3, LOTS 8-14, BLOCK E5, LOTS 1-8, BLOCK H8, LOTS 1-4, BLOCK J9, LOTS 5-8, BLOCK K10, W.H. THOMAS' SECOND ADDITION; LOTS 1-2, BLOCK 229/A1, THOMAS SECOND REVISED; LOTS 7-11, BLOCK JD, JD DUNCANS CHASE; LOTS 1-2, BLOCK B, CHASE; ALL OF THAT TRACT OF LAND DESCRIBED TO THE CITY OF GRAND PRAIRIE IN VOLUME 91135, PAGE 2216, SITUATED IN THE MCKINNEY AND WILLIAMS SURVEY, ABSTRACT NO. 1003; CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS

SECTION 2.

THAT any development on the property described herein shall substantially comply with the development standards for Central Area (CA) District and land uses shall be restricted to those uses permitted in the Central Area (CA) District, as specified in Article 4 - “Permissible Uses” of the Unified Development Code of the City of Grand Prairie, Texas, as amended.

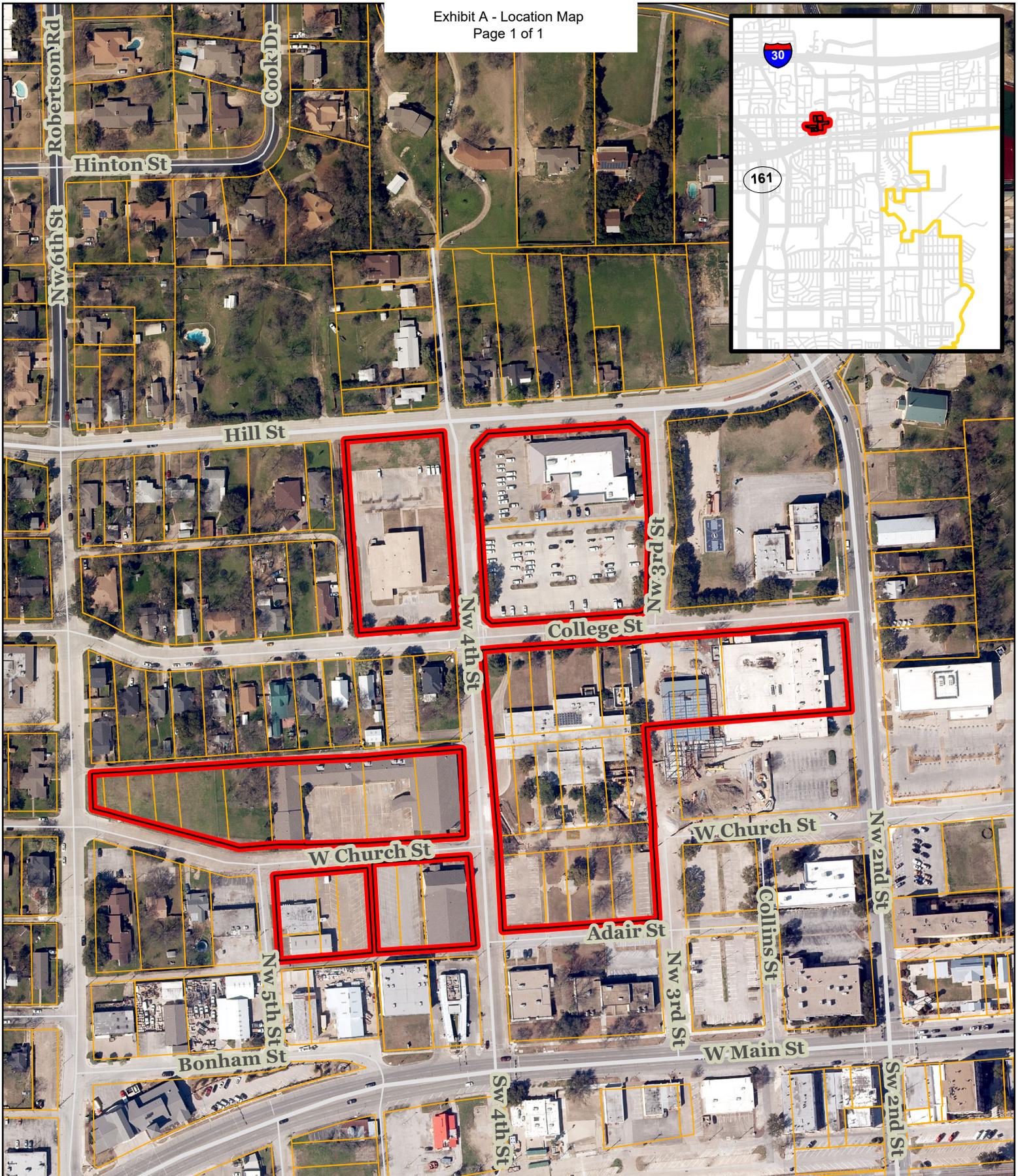
SECTION 3. THAT it is further provided, that in case a section, clause, sentence, or part of this Ordinance shall be deemed or adjudged by a Court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair, or invalidate the remainder of this Ordinance.

SECTION 4. THAT all ordinances or parts of ordinances in conflict herewith are specifically repealed.

SECTION 5. THAT this Ordinance shall be in full force and effect from and after its passage and approval.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, this the 3rd day of March, 2020.

**Ordinance No.
Zoning Case No. Z200203**

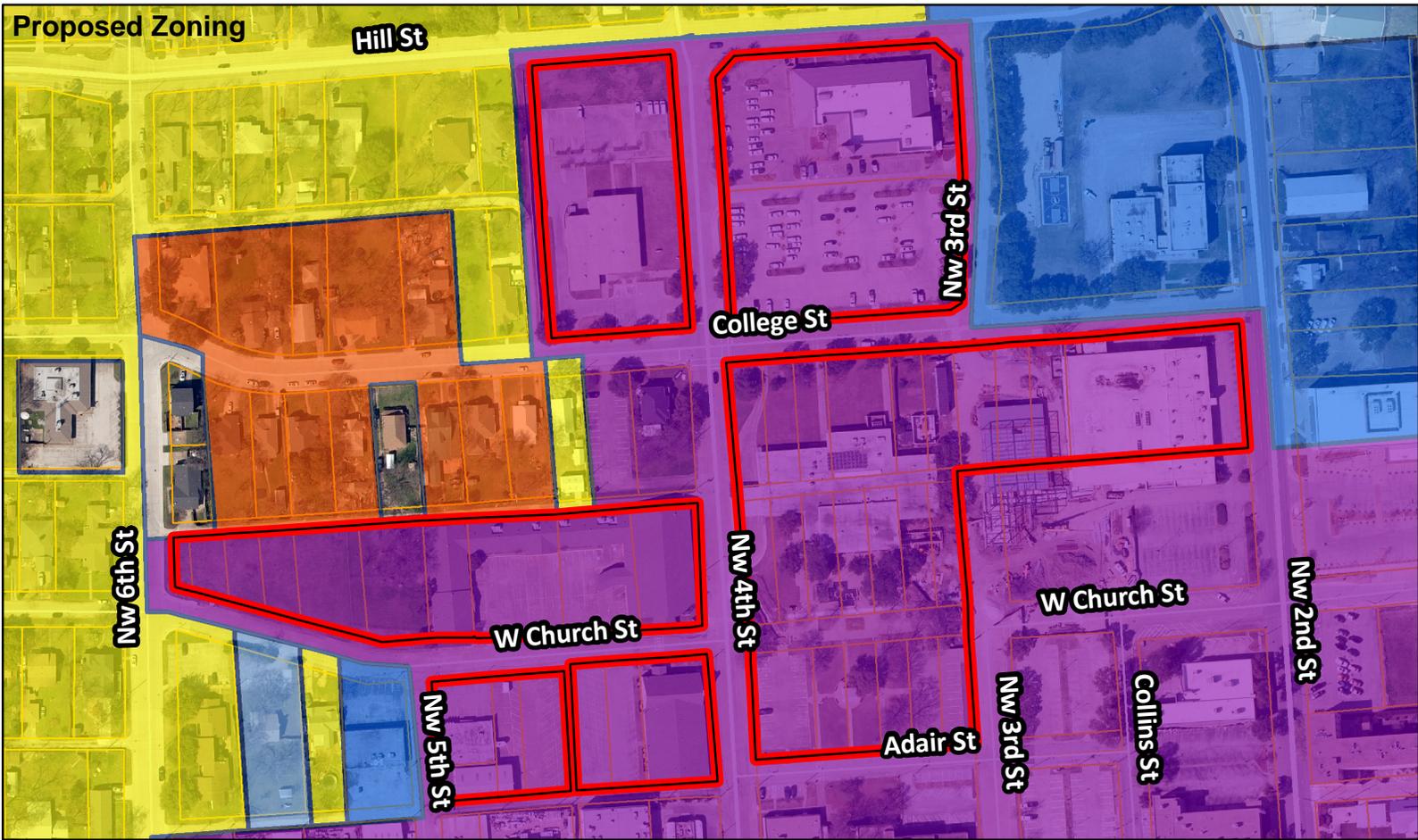
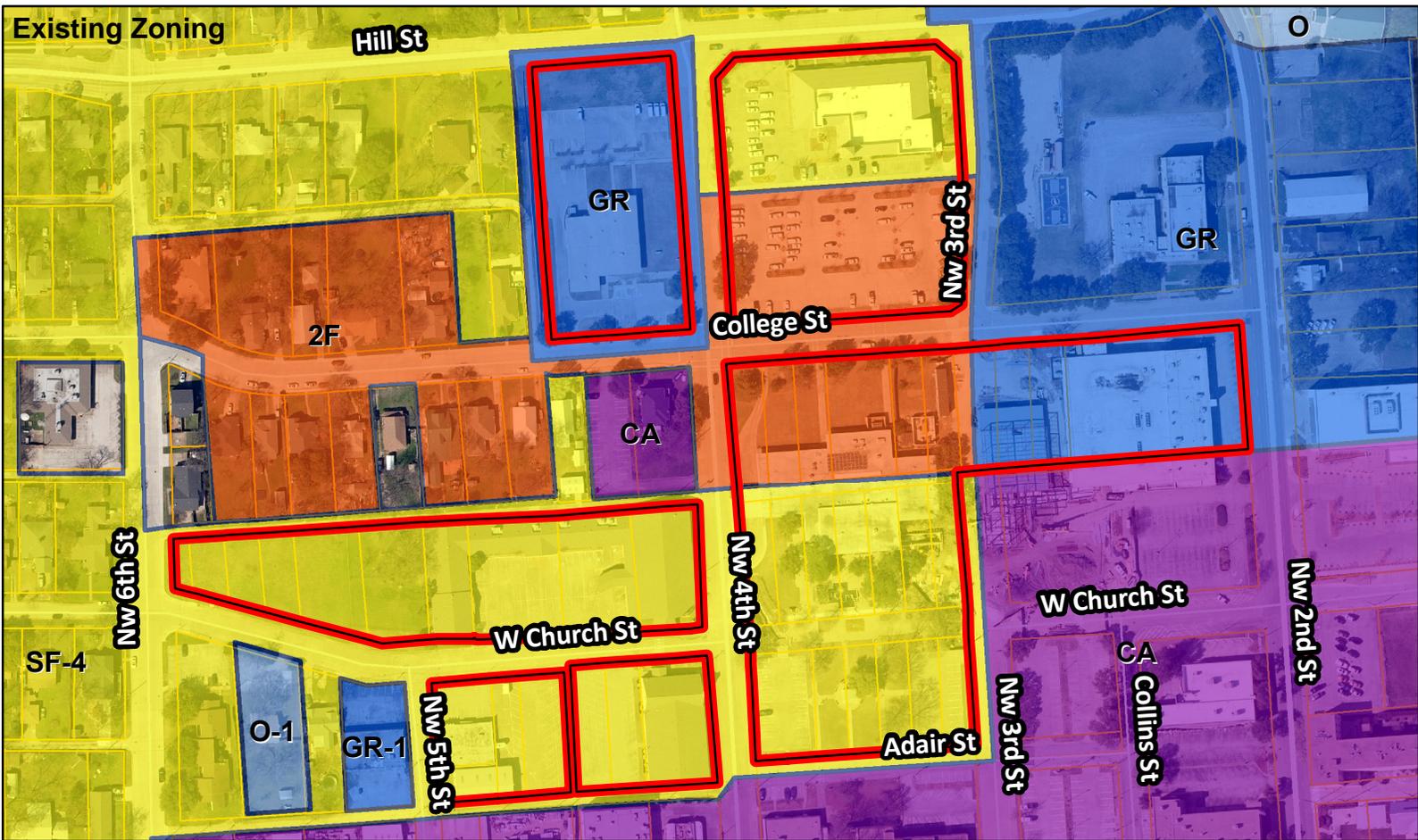


CASE LOCATION MAP
Case Number Z200203
Civic Campus and Calvary Baptist Church



City of Grand Prairie
Development Services

☎ (972) 237-8255
🌐 www.gptx.org



February 19, 2020

Planning Department

FEB 19 2020

Received

City of Grand Prairie, Texas

Josh Spare

Chairman

Planning and Zoning Commission

Dear Mr. Chairman and Commission Members

The Trustees of Calvary Baptist Church have reviewed the proposed rezoning of our properties. We are supportive of the rezoning as presented to us by Ms. Ware.

Let me emphasize that we do not currently have any plans for new development on our existing properties.

We will be celebrating our 85th year of the founding of our church on March 15th

All of you are invited to attend our service.

We request that this letter be read into the minutes of your Meeting.

Sincerely,



Lynn Motley

Deacon, Trustee and Chairman of the Board

Calvary Baptist Church



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
FEBRUARY 24, 2020**

COMMISSIONERS PRESENT: Chairperson Josh Spare, Vice-Chairperson Shawn Connor, Secretary Max Coleman, and Commissioners, Clayton Fisher, Eric Hedin, Cheryl Smith, Bill Moser, Warren Landrum, Eduardo Carranza.

COMMISSIONERS ABSENT: None

CITY STAFF PRESENT: Deputy City Manager Bill Crolley, David Jones, Chief City Planner, Savannah Ware, Senior Planner, Nyliah Acosta, Planner, Charles Lee, Senior Planner, Mark Dempsey, Deputy City Attorney, Brett Huntsman, Transportation Planner, and Chris Hartmann, Executive Assistant.

Chairperson Josh Spare called the meeting to order in the Council Chambers in the City Hall Building at 6:30 p.m. Commissioner Moser gave the invocation, commissioner Fisher led the pledge of allegiance to the US Flag, and the Texas Flag.

PUBLIC HEARING AGENDA Item #5 - Z200203 – Zoning Change – Civic Campus and Calvary Baptist Church (Commissioner Moser/City Council District 5). Senior Planner Savannah Ware presented the case report and gave a Power Point presentation for a zoning change from Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block D, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street.

Ms. Ware stated the purpose of the request is to rezone properties to Central Area District. On November 6, 2007: City Council approved a text amendment creating a Central Business District Overlay with four sub-areas. The subject properties are within Central Business District No. 2, which is historically the cultural core of Grand Prairie and is projected as a Mixed Use area including residential units above retail and commercial uses. On January 14, 2020: The City of Grand Prairie initiated a development request to rezone the subject properties to Central Area District. On February 18, 2020: Staff met with Trustees of Calvary Baptist Church to review the proposed zoning change. On February 19, 2020: Trustees of Calvary Baptist Church submitted a letter of support for the proposed zoning change. The 2018 Comprehensive Plan's Future Land Use Map designates this area

as Mixed Use. Mixed Use areas are intended for a mixture of non-residential and residential uses that are oriented around the pedestrian. The subject properties are also within the study area of the 2019 Downtown Master Plan. The purpose of the Downtown Master Plan is to create a unique and identifiable downtown that serves the local residents and community, supports economic vibrancy, and offers destination-oriented uses to create greater regional gravity. The proposed zoning change is consistent with the Comprehensive Plan and the Downtown Master Plan. The Development Review Committee recommends approval.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. There being no one to speak on the case.

Chairperson Spare read the following letter into the record; Dear Mr. Chairman and Commission Members, Trustees of Calvary Baptist Church have reviewed the proposed re-zoning of our properties. We are supportive of the rezoning as presented to us by Ms. Ware. Let me emphasize that we do not currently have any plans for new development on our existing properties. We will be celebrating our 85th year of the founding of our church on March 15th. All of you are invited to attend our service. We request that this letter be read into the minutes of your Meeting. Sincerely, Lynn Motley, Deacon, Trustee and Chairman of the Board Calvary Baptist Church.

There being no further discussion on the case commissioner Moser moved to close the public hearing and approve case Z200203 as presented by staff. The action and vote being recorded as follows:

Motion: Moser

Second: Smith

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Moser, Smith, Spare

Nays: None

Approved: 9-0

Motion: **carried.**



Legislation Details (With Text)

File #: 20-9794 **Version:** 1 **Name:** Z060601A – Zoning Change – PD Amendment, Greenway Trails

Type: Ordinance **Status:** Public Hearing on Zoning Applications

File created: 2/11/2020 **In control:** Planning and Zoning Commission

On agenda: 3/3/2020 **Final action:**

Title: Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Location Map](#)
[Exhibit B - Zoning Document](#)
[Exhibit C - Garage Calculations](#)
[PZ Draft Minutes 02-24-2020.pdf](#)

Date	Ver.	Action By	Action	Result
2/24/2020	1	Planning and Zoning Commission		

From

Chris Hartmann

Title

Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake. (On February 24, 2020, the Planning and Zoning Commission recommended approval of this request by a vote of 9-0).

Presenter

David P. Jones, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Planned Development Amendment (City Council District 6). For 384.267 acres out of the J. Lawrence Survey,

Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.

PURPOSE OF REQUEST:

The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	AG; City of Mansfield	Undeveloped
South	PD-328; AG	Undeveloped; US-287
West	AG; City of Mansfield	Single and Multi-Family Residential; S
East	AG	Undeveloped; FM-661

HISTORY:

- August 8, 2006: City Council approved PD-322 (Z060601/CPA060601), zoning 384.27 acres for single-family residential, including TND (Traditional Neighborhood Development) and mixed use regional/employment center uses.
- 2007-2008: Multiple gas wells were permitted in and around the property which impacted the potential layout of residential lots within PD-322: Merrill 1H & 2H, permitted 2007; and Orr Unit 1H-4H, permitted 2008
- August 30, 2016: Planning and Zoning Commission approved a Preliminary Plat (P160301) for Greenway Trails, including a preliminary layout for 5 residential phases and depicting 135’ Tarrant Regional Water District (TRWD) pipeline easement cutting through majority of TND portion of original PD.
- 2016-2019: TRWD constructs water line through majority of TND portion of original PD.
- April 1, 2019: Planning and Zoning Commission approved Final Plat for Greenway Trails, Ph. 1 consisting of 98 residential lots and 4 non-residential lots.

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The amendment does not change the approved uses on the property, but removes the TND elements from Phase 5 in favor of contemporary homes on 62’ and 72’ lots. The developer further requests that since the TND homes required 100% non-front entry garages, that the homes within that phase be allowed the same percentage of front-entry garages as the other phases in the PD.

DEVELOPMENT STANDARDS:

The applicant is proposing that the over percentage of non-front entry garage units required go from 58% under the existing scheme, which included TND lots, to 39%, which will remove TND lots.

The calculations are summarized in the table below:

Table 2a: Lot Width and Garage Summary (Existing PD)

Lot Width	# Lots	% Non-Front Entry Gara;
60-69 feet	438	30%
70+ feet	155	50%
TND	330	100%
TOTAL	923	58.3%

Table 2b: Lot Width and Garage Summary (Proposed PD)

Lot Width	# Lots (per Prelim Plat)	% Non-Front Entry Gara;
60-69 feet	352 (-86)	50% (+20%)
70+ feet	256 (+101)	50%
TND	0 (-330)	0
TOTAL	608 (-315)	50%

ANALYSIS:

The ability to develop the TND lots conceived in the original PD was severely hampered by two factors that occurred between 2006 and 2016: the construction of two gas wells and an associated fracking pond, and the extension of a water service line by TRWD. Since TND development relies on clustered blocks of homes in a predominantly grid-like street pattern to achieve walkability, the construction of the gas wells and water line had a devastating effect on the layouts that were achievable at the time these facilities were put in place. The subsequent approval of a preliminary plat showing lots arranged around the facilities altered the vision of the approved concept plan.

While these modifications call into question the viability of a TND-style development in this lot configuration, staff believes that the subject of garage orientation in a separate matter from lot and street configuration. Under the PD, more than half of all lots (if TND is included) were required to be non-front entry. Were the percentage of non-front entry garages kept the same for 60-69 and 70+ foot lots, the overall percentage of non-front entry garages would fall by nearly 20% due to the loss of the 330 TND lots. The applicant proposes to offset this reduction by increasing the percentage of non-front entry garages on 60-69 foot lots by 20%, bringing the total percentage across the PD to 50% non-front entry garages.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Body

AN ORDINANCE AMENDING THE ZONING MAP AND ORDINANCE TO REZONE A 384.267 ACRE TRACT OF LAND SITUATED IN THE JOSEPH LAWRENCE SURVEY, ABSTRACT NO. 616, THE SETH M. BLAIR SURVEY, ABSTRACT NO. 135, AND THE H. HENDERSON SURVEY, ABSTRACT NO. 432. IN THE CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS, BY AMENDING PD-322 FOR SINGLE-FAMILY DETACHED RESIDENTIAL USES, AND MIXED USE REGIONAL/EMPLOYMENT CENTER (MU) DISTRICT USES; SAID ZONING MAP AND

ORDINANCE BEING NUMBERED ORDINANCE NUMBER 4779 AND PASSED ON NOVEMBER 20, 1990; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; CONTAINING A SAVINGS CLAUSE; AND TO BECOME EFFECTIVE UPON ITS PASSAGE AND APPROVAL.

WHEREAS, the owners of the property described herein below filed application with the City of Grand Prairie, Texas, petitioning an amendment of the Zoning Ordinance and map of said city so as to rezone and reclassify said property from its classification of **PD-322** to **PD-322A** for **Single-Family Detached Residential and Mixed Use Regional/Employment Center Uses**; and

WHEREAS, the Planning and Zoning Commission of Grand Prairie, Texas, held a public hearing on said application on February 24, 2020, after written notice of such public hearing before the Planning and Zoning Commission on the proposed rezoning had been sent to owners of real property lying within 300 feet of the property on which the change of classification is proposed, said Notice having been given not less than ten (10) days before the date set for hearing to all such owners who rendered their said property for City taxes as the ownership appears on the last approved City Tax Roll, and such Notice being served by depositing the same, properly addressed and postage paid, in the City Post Office; and

WHEREAS, after consideration of said application, the Planning and Zoning Commission of the City of Grand Prairie, Texas voted xx to recommend approval to the City Council of Grand Prairie, Texas, of the request that the hereinafter described property be rezoned from its classification of **PD-322** to **PD-322A** for **Single-Family Detached Residential and Mixed Use Regional/Employment Center Uses**; and

WHEREAS, Notice was given of a further public hearing to be held by the City Council of the City of Grand Prairie, Texas, in the City Hall Plaza Building at 6:30 P.M. on March 3, 2020, to consider the advisability of amending the Zoning Ordinance and Map as recommended by the Planning and Zoning Commission, and all citizens and parties at interest were notified that they would have an opportunity to be heard, such Notice of the time and place of such hearing having been given at least fifteen (15) days prior to such hearing by publication in the Fort Worth Star Telegram, Grand Prairie, Texas, a newspaper of general circulation in such municipality; and

WHEREAS, all citizens and parties at interest have been given an opportunity to be heard on all the matter of the proposed rezoning and the City Council of the City of Grand Prairie, Texas, being informed as to the location and nature of the use proposed on said property, as well as, the nature and usability of surrounding property, have found and determined that the property in question, as well as, other property within the city limits of the City of Grand Prairie, Texas, has changed in character since the enactment of the original Zoning Ordinance from its classification of **PD-322** to **PD-322A** for **Single-Family Detached Residential and Mixed Use Regional/Employment Center Uses**; and, by reason of changed conditions, does consider and find that this amendatory Ordinance should be enacted since its provisions are in the public interest and will promote the health, safety and welfare of the community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS:

SECTION 1.

That Ordinance Number 4779, being the Zoning Ordinance and Map of the City of Grand Prairie, Texas, showing the locations and boundaries of certain districts, and said Zoning Ordinance and Map having been made a part of an Ordinance entitled:

“AN ORDINANCE AMENDING IN ITS ENTIRETY CHAPTER 28 OF THE CODE OF ORDINANCES KNOWN AS THE ZONING ORDINANCE OF THE CITY OF GRAND PRAIRIE, TEXAS, AS PASSED AND APPROVED BY THE CITY COUNCIL ON THE 20TH DAY OF NOVEMBER, 1990, TOGETHER WITH ALL AMENDMENTS THERETO AND ENACTING A REVISED ORDINANCE ESTABLISHING AND PROVIDING FOR ZONING REGULATIONS; CREATING USE DISTRICTS IN ACCORDANCE WITH A COMPREHENSIVE PLAN...”

is hereby further amended so as to rezone from its classification of **PD-322** to **PD-322A** for **Single-Family Detached Residential and Mixed Use Regional/Employment Center Uses**; as depicted in **Exhibit A - Location Map and Exhibit B - Zoning Document**.

SECTION 2.

Purpose and Intent

The purpose of this planned development is to amend PD-322 by removing requirements for Traditional Neighborhood Development (TND) and revising requirements pertaining to lot sizes and garages orientation for the remaining lots.

SECTION 3.

Development Standards

I.

SINGLE FAMILY RESIDENTIAL SUBDIVISION DESIGN GUIDELINES

- A. The design and location of single-family detached residential lots, drainage areas and open spaces shall substantially conform to the Concept Plan as shown on the Exhibit B.
- B. Residential streets are to be curvilinear in design or contain round-a-bouts, median diverters or other similar traffic calming measures to discourage speeding.
- C. The Zoning Area should have at least two points of access for traffic distribution. Streets should be “stubbed” out to undeveloped tracts to allow connectivity as adjacent residential tracts develop.
- D. In accordance with Section 12.19.6 of the Unified Development Code (UDC), a residential development with a density of four (4) units or less per developable acre must have a minimum twenty-seven (27) foot wide street. A residential development with a density greater than four (4) units per developable acre must use: (1) a minimum twenty-seven (27) foot wide street with an alley; or (2) a minimum thirty-one (31) foot wide street without an alley. Developable acreage is based on the total platted property less the area used or dedicated for drainage or open space.
- E. In accordance with Section 12.19.14 of the Unified Development Code (UDC), Residential streets adjacent to a school site is required to dedicate sixty (60) feet of right-of-way and

provide thirty-seven (37) feet of paving to accommodate parking and the mixture of pedestrian, cars and busses typically encountered around schools. The additional ten (10) feet of right-of-way shall be dedicated on the school side of the street and shall be designated as parallel parking.

- F. Residential streets with a paved width of twenty-seven (27) feet shall not intersect arterial or collector thoroughfares unless the paving width is flared to thirty-seven (37) feet at the point of intersection with said thoroughfare. The thirty-seven (37) foot paved width shall taper back to a standard twenty-seven (27) foot paved width at a certain distance back from said thoroughfare in accordance with applicable provisions contained in Section 23, Master Transportation Plan of the Unified Development Code (UDC).
- G. Development must include landscaping and open spaces that are planned and coordinated throughout the development.
- H. All utilities shall be placed below ground, except for major high voltage transmission lines.

II.

ARCHITECTURAL, DIMENSIONAL AND DENSITY GUIDELINES FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

- A. The Zoning Area should offer a variety of sub-districts for single family detached housing planned with a variety of unit and lot sizes in conformance with density and dimensional standards as shown on Exhibit B, incorporated herein by reference with said standards being more particularly described below.
 - 1. Type 1 Lots
 - a. Minimum lot size to be 9,000 square feet.
 - b. Minimum lot width to be 75-feet.
 - c. Minimum living area for a residence to be no less than 2,000 square feet.
 - 2. Type 2 Lots
 - a. Minimum lot size to be 7,800 square feet.
 - b. Minimum lot width to be 65-feet.
 - c. Minimum living area for a residence:
 - 1. Twenty percent (20%) of all platted residential lots shall contain a minimum living area of 1,800 square feet or greater.
 - 2. At least eighty percent (80%) of all platted residential lots shall contain a minimum living area in excess of 2,000 square feet.
 - 3. Type 3 Lots
 - a. Minimum lot size to be 8,640 square feet.

- b. Minimum lot width to be 72-feet.
 - c. Minimum living area for a residence to be no less than 2,000 square feet.
 - d. Minimum number of units by phase:
 - Phase 1: 66
 - Phase 2: 37
 - Phase 3
4. Type 4 Lots
- a. Minimum lot size to be 6,820 square feet.
 - b. Minimum lot width to be 62-feet.
 - c. Minimum living area for a residence to be no less than 1,800 square feet.
 - 1. At least eighty percent (80%) of all platted residential lots shall contain a living area in excess of 2,000 square feet.
 - 2. Up to twenty percent (20%) of all platted residential lots may contain a living area between 1,800 and 1,999 square feet.
5. Building, garage and porch setbacks from streets:
- a. A 25-foot front yard building setback is required for residential lots developed with front entry (street facing) garages. Those units with front entry garages shall have a minimum 27-foot front yard setback to the front of the garage that is closest to the street. The additional 2-foot garage setback shall be measured from the front plane wall of the climate controlled residential living unit that is closest to the street. This building setback provision shall be noted on the final plat for all phases of the Zoning Area. *(See Section below 6.d. for offset requirement)*
 - b. A 17-foot minimum front yard setback will be permitted for residential lots that are built with non front entry (J-swing /side swing type) garages. This building setback provision shall be noted on the final plat for all phases of the Zoning Area.
 - c. Covered front yard porches with a minimum depth of 5-feet and a minimum width of 8-feet, built in front of and attached to the front (street facing) side of the climate controlled residential living unit closest to the street, may be constructed with a 17-foot minimum front yard setback. This building setback provision shall be noted on the final plat for all phases of the Zoning Area.
 - d. No building or structure shall be constructed with less than a 17-foot minimum front yard setback. This building setback provision shall be noted on the final plat for all phases of the Zoning Area.
 - e. A building setback of 20-feet is required along all rear and side lot lines that adjoin a street right-of-way greater than 50-feet in width. This building setback provision shall be noted on the final plat for all phases of the Zoning Area.
6. Residential garage alternatives to be provided to the home owner/purchaser:
- a. Minimum fifty percent (50%) of all platted residential lots shall have non-front entry garages that shall include, but not be limited to, side entry, front oriented (J-swing) side entry, or detached rear yard garage configurations.
 - b. Two-car wide single garage doors are not permitted for front entry garages, but may be permitted for non-front entry garages that shall include, but not be limited to, side entry, front oriented (J-swing) side entry, or detached rear yard garage configurations.

- c. Front entry garages shall contain two or more single car wide doors with a minimum 12-inch offset between garage doors.
- d. Front entry garages shall not be permitted on lots directly facing a “T” type street intersection, where said lots has frontage along the visual terminus (or “dead-end” position) facing towards the end of the projecting intersecting street. Where two lots have a common side lot line that generally aligns with the center of the projecting intersecting street, non-front entry garages shall be required for both lots. (See Figures 1 and 2 below for examples.)



Figure 1 - One lot facing “T” intersection

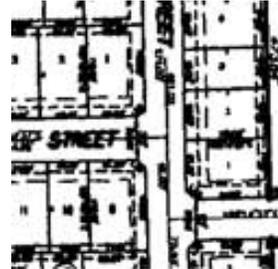


Figure 2 - Two lots facing “T” intersection

- 7. A unifying design theme is required for amenities and streetscape elements with provision for centralized property management to be in place.
 - a. Unified street signage, mail box kiosks, and street lighting are to be coordinated throughout the development.
 - b. A mandatory property-owners association and/or a public improvement district (“PID”) shall be created to enforce the restrictions contained in this ordinance at the expense of the property owners association and/or PID, and said association and/or PID shall also maintain required masonry screening walls, street landscaping, monument signage, common irrigation, and other common areas within the development. Documentation establishing such district and/or association shall be required at time of final plat review.

III.

LANDSCAPING AND SCREENING GUIDELINES FOR SINGLE FAMILY RESIDENTIAL DEVELOPMENT

- A. Screening fences shall be coordinated throughout the residential subdivision. Screening shall consist of masonry walls, berms, landscaping, wrought iron, or a combination of these elements in accordance with the provisions of this Ordinance. Screening walls shall be designed to turn into the neighborhood to avoid uncoordinated fences at all entry points.
 - 1. Six (6) foot high screening fence constructed of masonry with a troweled type mortar bond finish on each side shall be provided along all thoroughfares designated as an arterial or collector street on the City's Master Transportation Plan. Brick columns or pilasters shall be spaced at minimum 50 foot centers or placed on residential lot corners. Where a local street cul-de-sac adjoins a thoroughfare designated as an arterial or collector street on the City's Master Transportation Plan, such cul-de-sac shall be fenced with a 6-foot high wrought iron type fence

with at least one (1) brick column spaced within the cul-de-sac frontage.

2. Screening fences required along designated arterial or collector streets shall extend (or wrap) into and along the side or rear lots lines, where such conditions exist, of residential lots that abut the local residential entry street(s) that extend into the subdivision from the arterial or collector street. The extended (or wrapping) portion of said screen fence shall not encroach into the required front yard set back for any residential lot.
 3. In those instances where two consecutive and adjoining side or rear yard residential fences are located across the street from a front yard condition, a minimum six (6) foot tall wood fence, constructed with a 2" x 6" top rail trim member facing the street, with a 1"x 6" fascia, with 1"x 6" cedar pickets (side-by-side). Such fences shall be supported with galvanized steel posts set in concrete with three (3) 2" x 4" pressure treated pine stringers. Such fences shall be painted with a wood stain and be maintained by a mandatory property-owners association and/or a public improvement district ("PID").
 4. Private residential fences shall consist of cedar and steel posts - no pine allowed.
- B. The residential subdivision shall have entry signage that is coordinated with the development screening wall. The Development Review Committee (DRC) shall be responsible for approval of entry signage. Any building permit issued for screening wall construction shall not be valid until said screen wall plans have been approved by the DRC.
1. One landscaped monument sign feature will be required at a minimum of one street entry along a designated collector or arterial thoroughfare.
- C. Single-family lot landscaping shall include two (2)-3 inch caliper trees and a total of 30 gallons of shrubs.
1. Each house at the time of occupancy shall have the following minimum landscaping:
 - a. One (1)-three-inch caliper tree shall be planted in front of each house with a second three-inch caliper tree to be located per homeowner/builder preference.
 - b. Tree and shrub species shall be in accordance with the City of Grand Prairie approved tree and plant list contained in Article 8 of the Unified Development Code.
 - c. Shrubs shall be provided for each house in any size increment totaling a minimum of 30 gallons per residential lot.
 - d. Residential lots shall be fully sodded in accordance with the requirements of the Unified Development Code with full irrigation for front and side yards.
- D. Tree preservation shall be implemented through development incentives and landscaping requirements.
1. Staff may administratively approve building setback variances for the purpose of preserving existing trees. Tree protection measures meeting the standards of Article 8 of the UDC shall be required of the developer as a condition of approval.
 2. In accordance with Section 8.7.5.7 of the Unified Development Code (UDC), if a single or two

family residential subdivision preserves an average of 30 or more trees per acre by reserving open space to be dedicated to the City, including land required by the City's Park Department, or to be maintained by a homeowners' association or public improvement district, minimum lot size may be reduced by ten (10) percent. The city has the right to review and reject such dedication which, unless maintained by another organization, will not meet the provisions of this section. A tree survey will be required to determine verification of this requirement at the time of final plat approval.

IV.

DEVELOPMENT REQUIREMENTS FOR MIXED USE REGIONAL/EMPLOYMENT CENTER (MU) DISTRICT - ZONING AREA "E"

- A. Zoning Area "E" should offer a variety of mixed use commercial and retail development with a provision for architecturally integrated "residential above commercial" development. All mixed use development with Zoning Area "E" shall conform to the requirements of Section 3.2.15, Table 1 - "Required Mix of Uses", and Section 3.2.16 of the Unified Development Code (UDC), except that additional provisions and restrictions shall be applied as described below.
1. Development shall take place in accordance with the use and development standards established for the "GR" General Retail and "C" Commercial zoning districts in the Unified Development Code (UDC) except as otherwise listed herein. Prior to the issuance of a building permit, the Planning and Zoning Commission and City Council shall review and approve a Site Plan for all development within the Zoning Area "E". Site and building design will be subject to all requirements prescribed in Section 3. "Development Standards" of the IH-20 Overlay District (Ordinance 6811) in Appendix "S" as amended in the UDC except as otherwise provided herein.
 2. Commercial construction.
 - a. All structures for all uses within the Mixed Use district shall be designed and constructed as a commercial type of structure.
 3. No building setbacks are required within the Mixed Use district except for those required by:
 - a. Applicable fire and building codes.
 - b. Appendix F of the UDC as amended.
 - c. The Commercial "C" District for lots that adjoin a residential zoning district as defined in Article 4 of the UDC.
 4. A 30 foot landscape buffer shall only be required along the SH-360 service road and all designated Arterial and Collector thoroughfares designated on the Master Transportation Plan.
 5. Building heights adjacent to a residential zoning district:
 - a. Within 500 feet of an area zoned or developed for residential uses: Two (2) stories with top of roof deck not exceeding 30 feet above finished floor.
 - b. Within 800 feet of an area zoned or developed for residential uses: Four (4) stories with top of roof deck not exceeding 60 feet above finished floor.
 - c. Height restriction for buildings located in excess of 800 feet of an area zoned or developed for residential uses shall be determined during the site plan review.
- B. Architectural requirements for mixed use buildings.

1. Commercial uses shall be located along street frontages and have a minimum building depth of 50 feet.
2. On street corners, the commercial space shall turn (wrap around) the corner of the building for a minimum width of 50 feet.
3. The Development Review Committee shall determine the primary frontage for purposes of compliance with sub section 2. above during site plan review.
4. For buildings with double (back-to-back) street frontages, commercial uses shall be located along both street frontages.
5. Standalone buildings for single use residential live-work units, single use townhome, single-use detached residential, and single-use multi-family developments are prohibited in the Mixed Use district.
 - a. For residential uses, only architecturally integrated “residential above commercial” or other approved mixed use building design, that incorporates residential and commercial uses within the same climate controlled building envelope, is permitted. (See Figures 4 and 5 below for examples.)



Figure 4 - Residential/office over retail example.

Figure 5 - Residential over retail arcade.

6. For mixed use buildings, no one single use within a climate controlled mixed use building envelope shall encompass less than 30% the total area of the building. The ratio of mixed use floor areas (such as residential to commercial area per building) shall be established during the site plan review.
7. As a substitute to the building articulation requirements prescribed in Appendix F of the UDC, the architectural composition of street façades for mixed-use buildings may be designed in module segments of a consistent proportion to provide architectural variety.
 - a. Street façade treatments shall occur within 25 to 50 foot wide modules in a fashion similar to that shown in *Figure 6 below*.
 - b. The façade module spacing may be proportionally combined and expanded for larger users, such as department stores, movie theaters and large entertainment venues.
 - c. All designs for street façades shall be reviewed in conjunction with the site plan

review.



Figure 6 - Example of a modulated architectural street façade showing hypothetical module spacing.

SECTION 4.

All appeals to the density, dimensional, architectural, and land use requirements of this Ordinance, as well as appeals to other applicable requirements of the Unified Development Code relating to this Ordinance, shall require an amendment to this Ordinance. Such amendment shall be considered by the Planning and Zoning Commission and the City Council at a public hearing.

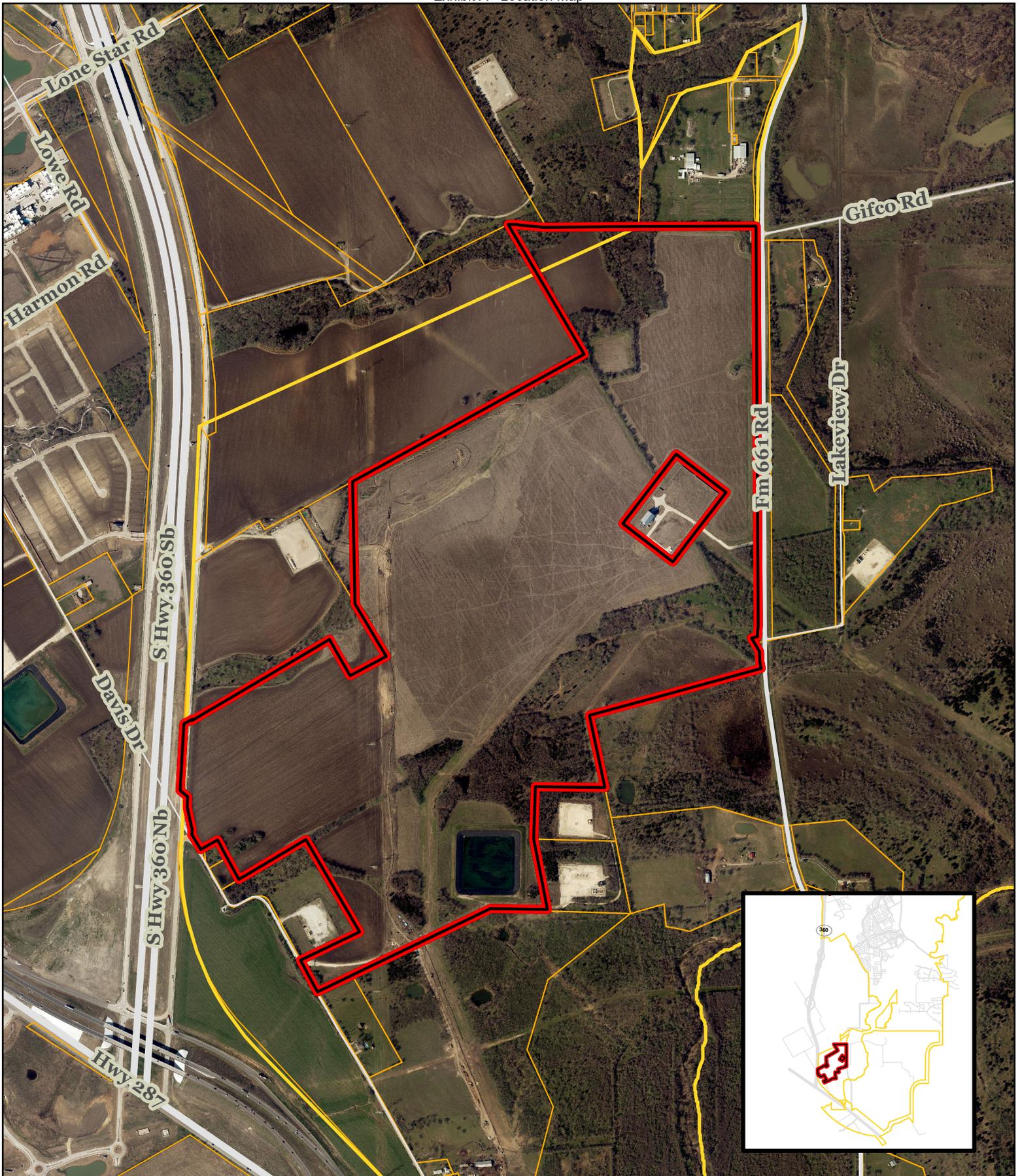
SECTION 5. THAT it is further provided, that in case a section, clause, sentence, or part of this Ordinance shall be deemed or adjudged by a Court of competent jurisdiction to be invalid, then such invalidity shall not affect, impair, or invalidate the remainder of this Ordinance.

SECTION 6. THAT all ordinances or parts of ordinances in conflict herewith are specifically repealed.

SECTION 7. THAT this Ordinance shall be in full force and effect from and after its passage and approval.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF GRAND PRAIRIE, TEXAS, THIS THE 3rd DAY OF MARCH, 2020.

**ORDINANCE NO. xxxxx-2020
PLANNED DEVELOPMENT NO. 322A**

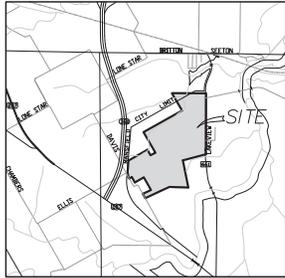


CASE LOCATION MAP
Case Number Z060601A
Greenway Trails PD Amendment



City of Grand Prairie
Development Services

☎ (972) 237-8255
🌐 www.gptx.org



VICINITY MAP
Not to Scale

CITY OF GRAND PRAIRIE
CITY LIMITS

100-YEAR FLOOD PLAIN
BASED ON FEMA MAPS

130' WATER LINE EASEMENT
TO BE UTILIZED AS A LINEAR
PARK

OPEN SPACE LOCATED
NEAR EXISTING CREEK

OPEN SPACE/
DETENTION

PROPOSED FUTURE ROAD P6D
140' ROW

VARIABLE WIDTH ROW DEDICATION

EXISTING BLANKET GAS LINE EASEMENT
TO BE RELOCATED

RELOCATED 50' BLANKET
GAS LINE EASEMENT

GREENWAY TRAILS

CURRENT ZONING

"A" AGRICULTURE

PROPOSED ZONING

"D0" PLANNED DEVELOPMENT FOR SINGLE-FAMILY RESIDENTIAL USES, COMMERCIAL USES, PUBLIC OPEN SPACES, AND MIXED-USES TO INCLUDE RETAIL, COMMERCIAL, AND OFFICE USES.

OWNERS

HT DEVELOPMENT GROUP LP
215 WALNUT
MONROE, LA 71201

CHARLES A ORR ET AL
2707 PONDROSA
ARLINGTON, TX 76014

DOYLE CARLTON ESTATE TRUST
918 CROCKET
MIDLOTHIAN, TX 76065

NEHEMIAH PARTNERS LP
1501 WEST RANDOL MILL RD
ARLINGTON, TX

DEVELOPER

BARUCH PROPERTIES
8235 DOUGLAS AVENUE, SUITE 770
DALLAS, TEXAS 75225
TEL: 214.738.2900
FAX: 214.738.2904
CONTACT: JEFF WILLIAMS

ENGINEER/SURVEYOR

MYOSKIE MCINNIS ASSOCIATES
200 E. ABRAM STREET
ARLINGTON, TEXAS 76010
TEL: 817.469.1671
FAX: 817.274.8757
CONTACT: CLIFF MYOSKIE

LEGAL DESCRIPTION

SEE ATTACHED SURVEY

LEGEND

- A** DESIGNATED ZONING AREA
- A- SINGLE FAMILY RESIDENTIAL
 - B- SINGLE FAMILY RESIDENTIAL
 - C- SINGLE FAMILY RESIDENTIAL
 - D- SINGLE FAMILY RESIDENTIAL
 - E- MIXED USES
- ZONING AREA BOUNDARY
- ▨ ZONING AREA
D-1

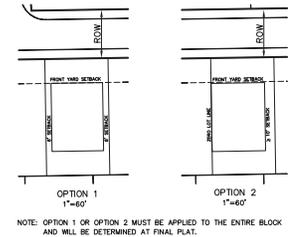
STATE HIGHWAY 360
VARIABLE WIDTH ROW

ZONING AREA	BASE ZONING DISTRICT	ACRES	OPEN SPACE (ACRES)	APPROX. # OF LOTS	MINIMUM LOT SIZE AND DIMENSIONS				MINIMUM YARD SETBACKS						MINIMUM MASONRY/BRICK COVERAGE (PERCENT)	MINIMUM ROOF PITCH		
					MINIMUM LIVING AREA (SQ. FT.)	MINIMUM AREA (SQ. FT.)	MINIMUM WIDTH (FEET)	MINIMUM DEPTH (FEET)	FRONT (FEET)	REAR (FEET)	REAR ALLEY (FEET)	INTERNAL SIDE (FEET)	SIDE ON STREET (FEET)	SIDE REAR (FEET)			MAXIMUM HEIGHT (FEET)	
A	SP-3	39.9	20.94	62	200-1000	8,000	70'	110'	25'	10'	15'	4'	15'	20'	25'	50	80	6:12
B	SP-4	198.2	35.49	438	800-2000	7,800	65'	110'	20'	10'	15'	6'	15'	20'	20'	50	80	6:12
C	SP-3	28.0	8.5	93	200-1000	8,400	70'	110'	20'	10'	15'	6'	15'	20'	20'	50	80	6:12
D	SP-4	73.4	8.57	268	1800	6,000	60'	110'	17'	10'	15'	6"	15'	20'	20'	50	25	6:12

MIXED USE ZONING SUMMARY			
ZONING AREA	BASE ZONING DISTRICT	ACRES	OPEN SPACE (GROSS ACRES)
E	MU	82.7	-
PERMITTED ZONING DISTRICTS			
* ALL NON RESIDENTIAL USES WITH THE EXCEPTION OF HEAVY INDUSTRIAL.			

GENERAL NOTES:

- LOT COUNT AND ACRES ARE APPROXIMATE AND FOR REFERENCE ONLY AND ARE NOT CONSIDERED TO BE A MAXIMUM OR MINIMUM SHOWN IN EACH AREA. LOT COUNTS AND ACRES WILL BE DETERMINED AT TIME OF FINAL PLAT.
- ZONING DISTRICTS SHALL COMPLY WITH THE BASE ZONING DISTRICT, UNLESS OTHERWISE SPECIFIED BY THIS PLANNED DEVELOPMENT.
- FRONT ENTRY GARAGES ARE NOT PERMITTED WITHIN ZONING AREA D.
- A ZERO-LOT LINE MAY BE UTILIZED TO INCORPORATE SIDE ENTRY GARAGES. THESE AREAS ARE DESIGNATED AS ZONING AREA D-1. REFER TO AREA D-1 SIDE YARD DETAIL FOR SET BACK OPTIONS.
- ARCHITECTURAL FACADES WITHIN ZONING AREA D SHALL COMPRISE OF NO MORE THAN 50% BRICK OR STONE MATERIAL AND NO LESS THAN 75% CEMENTITIOUS FIBER BOARD MATERIAL (HARDPLANK).
- ZONING AREA E SHALL COMPLY WITH THE REGULATIONS SET FORTH IN THE INTERSTATE HIGHWAY-20 OVERLAY DISTRICT.
- ZONING DISTRICTS WITHIN ZONING AREA E SHALL BE SPECIFIED BY APPLICANT AT TIME OF BUILDING PERMIT.



AREA D-1 SIDE YARD DETAIL

ZONING CASE: Z060601

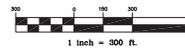
CONCEPT PLAN
FOR
GREENWAY TRAILS
GRAND PRAIRIE, TEXAS
384.267 ACRES
MAY 8, 2006

PREPARED BY

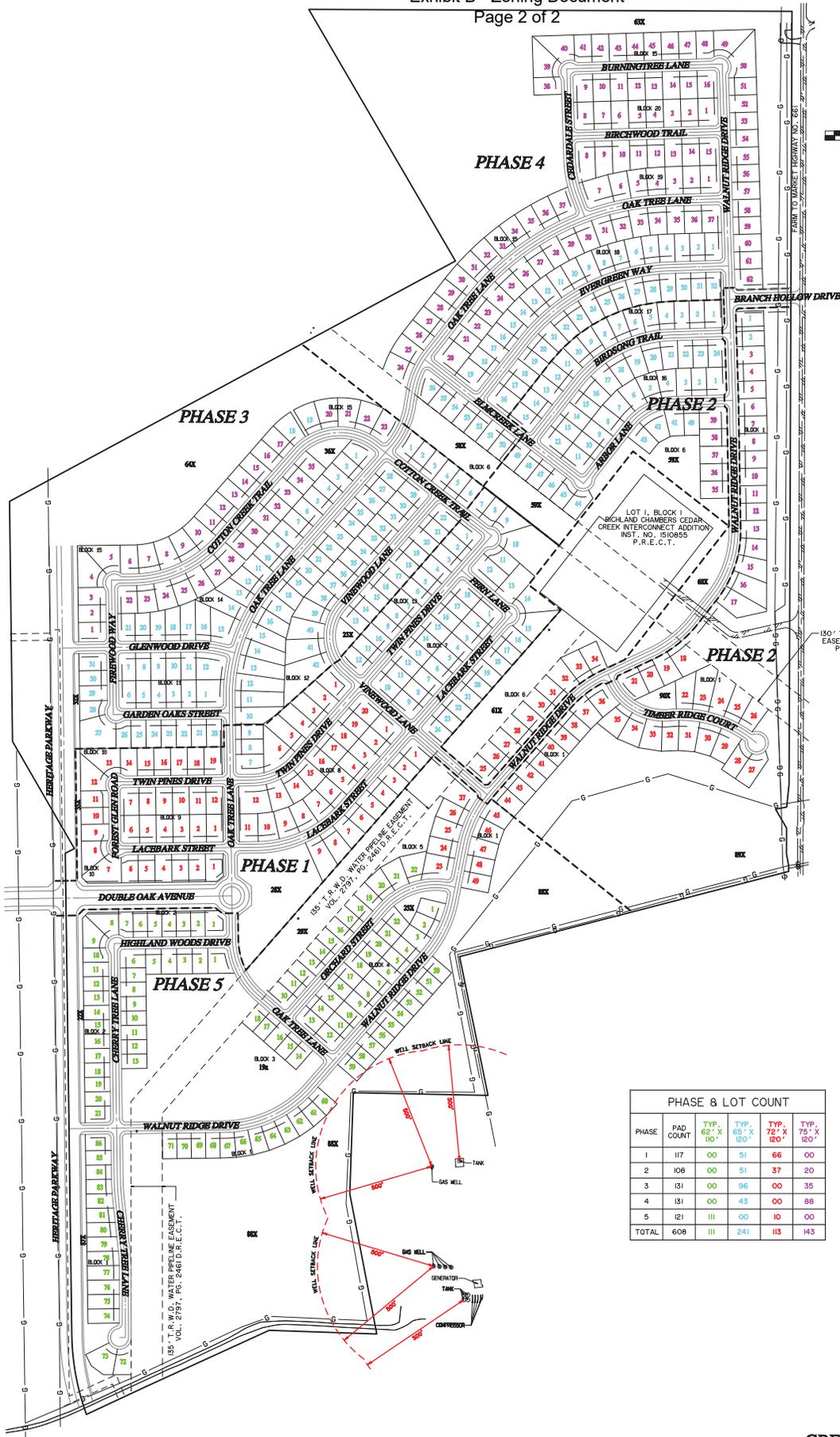
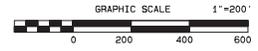
mma

myoskie mcinnis associates
200 east Abram
Arlington, Texas 76010
817-469-1671
fax: 817-274-8757
www.mmatexas.com

THIS DOCUMENT IS RELEASED FOR PLANNED DEVELOPMENT APPROVAL BY THE CITY OF GRAND PRAIRIE AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.



COPYRIGHT © MMA, INC.



PHASE & LOT COUNT					
PHASE	PAD COUNT	TYP. 62' X 110'	TYP. 65' X 120'	TYP. 72' X 120'	TYP. 75' X 120'
1	117	00	51	66	00
2	108	00	51	37	20
3	131	00	96	00	35
4	131	00	43	00	68
5	121	111	00	10	00
TOTAL	608	111	241	103	143

180' T.C.W.C. & I.D. NO. 1
EASEMENT PER VOL. 490,
PG. 551 D.R.E.C.T.

ENGINEER / SURVEYOR:
GOODWIN & MARSHALL
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapevine, Texas 76051
Metro (817) 929-4373

OWNED/DEVELOPED BY:
D.R. HORTON
America's Builder
6751 North Freeway
Fort Worth, Texas 76131
(817) 230-0800
Email: JBoesworth@drhorton.com

LOT MAP
OF
GREENWAY TRAILS
BEING
353.18 ACRES
SITUATED IN THE
608 RESIDENTIAL LOTS AND
LOCATED IN A PORTION OF THE
S. M. BLAIR SURVEY, ABSTRACT NO. 135,
THE H. HENDERSON SURVEY, ABSTRACT NO. 432,
AND THE J. LA WRENCE SURVEY, ABSTRACT NO. 616
CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS
FEBRUARY, 2020

E:\USG78 - Greenway Trails\Greenway Lot Map.dwg The File: 20-18-01-08-2020

Greenway Trails - Grand Prairie, Texas Original Non-Front Entry Garages - Based on 2006 Preliminary Plat

Number of Lots:	
Zone A	62
Zone B	438
Zone C	93
Zone D -TND	330
Total	923

Lot Size Breakdown:		
	60s Lots	70s Lots
Zone A		62
Zone B	438	
Zone C		93
Zone D -TND	330	
Total	768	155

Zone D - TND:	
Alley Loaded Lots:	268
Front Access Lots:	62
Total	330

Non-Front Entry Garages:		
60s Lots	30% of 438 lots	131.4
70s lots	50% of 155 lots	77.5
TND lots	100% of 330 lots	330
Total		538.9

Front Entry Garages:	
60s Lots	306.6
70s lots	77.5
Total	384.1

Percentage of Non-Front Entry Garages:		
Total lots	538.9/923	58.39%

Requirement from Original PD-322:		Source:
Garage Orientation/Entry on Lots 60' to 69' Wide:	Min 30% of all platted lots shall have non-front entry garages.	City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)
Garage Orientation/Entry on Lots 70' or Wider:	Min 50% of all platted lots shall have non-front entry garages.	City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. b. (PD-322)
Garage Orientation for D-1 - TND Areas:	No front entry garages shall be permitted in TND Zoning Area. No garage doors shall be construction within any front street facing wall plane of a residence. Only non-front entry garages shall be permitted for TND Zoning Areas D which shall include J-swing and side swing type garages that are oriented towards the side yard of the lot, or detached rear yard garage configurations.	City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #7. a. & b. (PD-322)

Greenway Trails - Grand Prairie, Texas Current Non-Front Entry Garages - Based on 2017 Preliminary Plat

Number of Lots:

Phase 1	117
Phase 2	108
Phase 3	131
Phase 4	131
Phase 5	121
Total	608

Lot Size Breakdown:

	60s Lots	70s Lots
Phase 1	51	66
Phase 2	51	57
Phase 3	96	35
Phase 4	43	88
Phase 5	111	10
Total	352	256

Non-Front Entry Garages:

60s Lots	30% of 352 lots	105.6
70s lots	50% of 256 lots	128
Total		233.6

Front Entry Garages:

60s Lots	246.4
70s lots	128
Total	374.4

Percentage of Non-Front Entry Garages:

Total lots	233.6/608	38.42%
------------	-----------	---------------

**This calculation is using the lot size to determine entry type of Garages for Phase 5.
Most of Phase 5 lots are 60s, therefore 30% of lots are calculated as Non-Front Entry.*

Requirement from Original PD-322:

Garage Orientation/Entry on Lots 60' to 69' Wide:

Min 30% of all platted lots shall have non-front entry garages.

Source:

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)

Garage Orientation/Entry on Lots 70' or Wider:

Min 50% of all platted lots shall have non-front entry garages.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. b. (PD-322)

Garage Orientation for D-1 - TND Areas:

No front entry garages shall be permitted in TND Zoning Area. No garage doors shall be construction within any front street facing wall plane of a residence. Only non-front entry garages shall be permitted for TND Zoning Areas D which shall include J-swing and side swing type garages that are oriented towards the side yard of the lot, or detached rear yard garage configurations.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #7. a. & b. (PD-322)

Greenway Trails - Grand Prairie, Texas Proposed Non-Front Entry Garages - Based on 2020 Preliminary Plat

Number of Lots:

Phase 1	117
Phase 2	108
Phase 3	131
Phase 4	131
Phase 5	121
Total	608

Lot Size Breakdown:

	60s Lots	70s Lots
Phase 1	51	66
Phase 2	51	57
Phase 3	96	35
Phase 4	43	88
Phase 5	111	10
Total	352	256

Non-Front Entry Garages:

60s Lots	50% of 352 lots	176
70s lots	50% of 256 lots	128
Total		304

Front Entry Garages:

60s Lots	176
70s lots	128
Total	304

Percentage of Non-Front Entry Garages:

Total lots	304/608	50.00%
------------	---------	---------------

Requirement from Original PD-322:

Garage Orientation/Entry on Lots 60' to 69' Wide:

Min 30% of all platted lots shall have non-front entry garages.

Source:

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)

Garage Orientation/Entry on Lots 70' or Wider:

Min 50% of all platted lots shall have non-front entry garages.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. b. (PD-322)

Garage Orientation for D-1 - TND Areas:

No front entry garages shall be permitted in TND Zoning Area. No garage doors shall be construction within any front street facing wall plane of a residence. Only non-front entry garages shall be permitted for TND Zoning Areas D which shall include J-swing and side swing type garages that are oriented towards the side yard of the lot, or detached rear yard garage configurations.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #7. a. & b. (PD-322)



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
FEBRUARY 24, 2020**

COMMISSIONERS PRESENT: Chairperson Josh Spare, Vice-Chairperson Shawn Connor, Secretary Max Coleman, and Commissioners, Clayton Fisher, Eric Hedin, Cheryl Smith, Bill Moser, Warren Landrum, Eduardo Carranza.

COMMISSIONERS ABSENT: None

CITY STAFF PRESENT: Deputy City Manager Bill Crolley, David Jones, Chief City Planner, Savannah Ware, Senior Planner, Nyliah Acosta, Planner, Charles Lee, Senior Planner, Mark Dempsey, Deputy City Attorney, Brett Huntsman, Transportation Planner, and Chris Hartmann, Executive Assistant.

Chairperson Josh Spare called the meeting to order in the Council Chambers in the City Hall Building at 6:30 p.m. Commissioner Moser gave the invocation, commissioner Fisher led the pledge of allegiance to the US Flag, and the Texas Flag.

PUBLIC HEARING AGENDA Item #6 - Z060601A – Zoning Change – Planned Development Amendment – Greenway Trails (Commissioner Spare/City Council District 6). Chief City Planner David Jones presented the case report and gave a Power Point presentation for 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.

Mr. Jones stated the purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The amendment does not change the approved uses on the property, but removes the TND elements from Phase 5 in favor of contemporary homes on 62' and 72' lots. The developer further requests that since the TND homes required 100% non-front entry garages, that the homes within that phase be allowed the same percentage of front-entry garages as the other phases in the PD. The applicant is proposing that the over percentage of non-front entry garage units required go from 58% under the existing scheme, which included TND lots, to 39%, which will remove TND lots. The ability to develop the TND lots conceived in the original PD was severely hampered by two factors that occurred between 2006 and 2016: the construction of two gas wells and an associated fracking pond, and the extension of a water service line by TRWD. Since TND development relies on clustered blocks of homes in a predominantly grid-like street pattern to achieve walkability, the construction of the gas wells and

water line had a devastating effect on the layouts that were achievable at the time these facilities were put in place. The subsequent approval of a preliminary plat showing lots arranged around the facilities altered the vision of the approved concept plan. While these modifications call into question the viability of a TND-style development in this lot configuration, staff believes that the subject of garage orientation is a separate matter from lot and street configuration. Under the PD, more than half of all lots were required to be non-front entry. Were the percentage of non-front entry garages kept the same for 60-69 and 70+ foot lots, the overall percentage of non-front entry garages would fall by nearly 20% due to the loss of the 330 TND lots. The applicant proposes to offset this reduction by increasing the percentage of non-front entry garages on 60-69 foot lots by 20%, bringing the total percentage across the PD to 50% non-front entry garages. The Development Review Committee recommends approval.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. There being no further discussion on the case commissioner Coleman moved to close the public hearing and approve case Z060601A as presented and recommended by staff. The action and vote being recorded as follows:

Motion: Coleman

Second: Connor

Ayes: Carranza, Coleman, Connor, Fisher, Hedin, Landrum, Moser, Smith, Spare

Nays: None

Approved: 9-0

Motion: **carried.**



Legislation Details (With Text)

File #:	20-9812	Version:	1	Name:	Board appointments
Type:	Agenda Item	Status:			Items for Individual Consideration
File created:	2/18/2020	In control:			City Secretary
On agenda:	3/3/2020	Final action:			
Title:	Board and Commission Appointments				
Sponsors:					
Indexes:					
Code sections:					
Attachments:	Perez-Wooten Board Applications				

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From
Cathy DiMaggio

Title
Board and Commission Appointments

Presenter
Cathy DiMaggio, City Secretary

Recommended Action
Approve

Analysis
The City Council may make appointments to city boards and commission to fill vacancies that occur during the year. Deputy Mayor Pro Tem Clemson has nominated Nancy Wooten for the Commission on Aging. Council Member Del Bosque has nominated Julia Perez to the Planning and Zoning Commission (applications are attached).

Board/Commission Candidate Application

The information contained in this application will become public record. Any false information given will be grounds for removal from boards and commissions.

Name Nancy Wooten

Home Address 1809 Prince John Dr, Grand Prairie, TX (Zip) 75050

Occupation Retired from GPISD

Employer _____

Employer Address _____

Home Phone 972-602-3767 Cell 817-891-1340
Business Phone _____

Email address: nwooten@sbcglobal.net

Resident of city for 72 years. I live in city council district number 1

Board or Commission Applying for: (List top 3 choices)

1. Commission on Aging
- 2.
- 3.

RECEIVED

FEB 20 2020

City Manager's Office
City of Grand Prairie

Have you ever been a member of a Grand Prairie Board or Commission? If so, indicate your previous appointment and approximate dates of service: No

Special knowledge, education, experience, interest or other information applicable to the board(s) for which you are applying (you may attach a resume or include additional information on a separate sheet):

Sam Houston State University BS 1969, University of North Texas Masters of Education 1980, Employed by GPISD 1969-2010
Asked to be on this Committee by Jorja Clemson

Applicant Signature

Nancy Wooten

Date 2-18-2020

Return to: City Secretary
City of Grand Prairie
P.O. Box 534045
Grand Prairie, TX 75053-4045
Phone: 972-237-8035
Fax: 972-237-8088
E-mail: cdimaggio@gptx.org

Board/Commission Candidate Application

The information contained in this application will become public record. Any false information given will be grounds for removal from boards and commissions.

Name Julia Perez
Home Address 2614 Channing DR., Grand Prairie, TX (Zip) 75052
Occupation Notary / Housewife
Employer Self/Housewife
Employer Address 2614 Channing DR. Grand Prairie, TX 75052
Home Phone 214) 724-1080 Business Phone 214) 724-1080
Email address: ~~R Julia Perez~~ juliaperez.gp@gmail.com (all lower case)
Resident of city for 49 years. I live in city council district number 4

Board or Commission Applying for: (List top 3 choices)

1. Planning and Zoning Commission
2. Park Board
3. Public Health Advisory

Have you ever been a member of a Grand Prairie Board or Commission? If so, indicate your previous appointment and approximate dates of service: Library Board - Vice chair June 2017 - Present
Oak Hollow/Sheffield Village PID - Secretary/Treasurer Jan 2020 - present

Special knowledge, education, experience, interest or other information applicable to the board(s) for which you are applying (you may attach a resume or include additional information on a separate sheet):

I was the SR. Administrative Secretary for the City of Irving (Code Enforcement Division) for approx 5 years. Part of my duties were to attend, transcribe, post/translate all Building and Standards Commission Meetings. I also attended Yearly Building Officials Association of Texas (BOAT) classes.

Applicant Signature Julia Perez
Date 2/15/20

Return to: City Secretary
City of Grand Prairie
P.O. Box 534045
Grand Prairie, TX 75053-4045
Phone: 972-237-8035
Fax: 972-237-8088
E-mail: cdimaggio@gptx.org

MIKE DELBOSQUE