



City of Grand Prairie

City Hall
300 W. Main Street
Grand Prairie, Texas

Meeting Agenda - Final

Planning and Zoning Commission

Monday, February 24, 2020

5:30 PM

City Hall, Briefing Room

Call to Order - Commissioner Briefing

It is the intent of the Planning and Zoning Commission to be briefed by staff, and that all items on the agenda shall be available or open for discussion during the Briefing Session. The Planning and Zoning Commission may ask applicants and other interested parties for information or presentations. All interested parties are invited to attend. Briefings are taped.

Agenda Review

**Public Hearing
6:30 p.m. Council Chambers**

Chairperson Joshua Spare Presiding

Invocation

Pledge of Allegiance to the US Flags and to the Texas Flag

Citizen Comments

Public Hearing Consent Agenda

Items listed on the Public Hearing Consent Agenda are considered to be routine and will be approved by one motion and one vote. There will be no separate discussion of the Public Hearing Consent Agenda items unless requested. If discussion is desired on an item, it will be considered separately. The Commission may ask questions of those present on an item from the Public Hearing Consent Agenda.

- 1 [20-9790](#) Approval of Minutes of the February 3, 2020 P&Z meeting.

Attachments: [PZ Draft Minutes 02-03-20.pdf](#)

- 2 [20-9791](#) P200203 - Final Plat - Avilla Traditions, Lot 1, Block A (Commissioner Connor/City Council District 4). Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr. The consultant is Mike Martinie, Spiars and Engineering and the owner is Jason Flory, NexMetro Communities.

Attachments: [Exhibit A - Location Map.pdf](#)

[Exhibit B - Final Plat.pdf](#)

- 3 [20-9792](#) RP200202 - Replat - Farmers Industrial Addition, Lot 6-R, Block 3 (Commissioner Fisher/City Council District 1). Replat of Lot 4-R and Lot 5-R, Block 3, Farmers Industrial Addition, to create one lot for industrial development. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas. The agent is Alexander Camunez, Pacheco Koch and the owner is Hamilton Peck, Hamilton Commercial.

Attachments: [Exhibit A - Location Map](#)

[Exhibit B - Replat](#)

- 4 [20-9815](#) S181009A - Site Plan - Creekside at Grand Prairie (Commissioner Connor/City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie.

City Council Action: March 3, 2020

Attachments: [Exhibit A - Location Map](#)

[Exhibit B - Amended Site Plan](#)

[Exhibit C - Building Elevations](#)

[Exhibit D - Landscape Plan](#)

Public Hearing Postponement, Recess, and Continuations

In accordance with Section 1.11.5.7 of the Unified Development Code (UDC) a public hearing for which notice has been given may be postponed by announcing the postponement at or after the time and place the hearing is scheduled to begin. A public hearing may be recessed and continued any time after the hearing has commenced. Section 1.11.5.7.C of the UDC states if a postponement or continuance of a public hearing is to a specific date and time no later than 60 days from the first or most recent hearing, the announcement of the postponement or continuance at the public hearing in which the application has been postponed or continued by the Planning and Zoning Commission shall be sufficient notice and no additional notice is required. However, the Planning and Zoning Commission may direct staff to re-notify postponed or continued applications for which public hearings have not yet commenced.

None

Items for Individual Consideration

None

Public Hearing

Members of the public may address the Commission on items listed on the agenda under Public Hearing Items. Persons wishing to address the Commission must first complete a request to speak card. A person may also use the request to speak card to indicate his or her support or opposition to a case without speaking. Cards may be picked up at the desk by the entrance to the City Council Chambers and may be deposited at the desk or given to a staff member. Speaking time is generally limited to five minutes per speaker. Per the by-laws of the Planning and Zoning Commission, the applicant and those favoring the request shall have a maximum of 30 minutes, including rebuttal, to present their arguments for the request. Those in opposition to a request shall have a maximum of 30 minutes to present their arguments against the request. When a large group is present, it is encouraged that representatives be appointed to speak for the group so that redundant testimony is minimized. Commissioners may have questions of those speaking at the public hearing. The time used to answer the Commission's questions will not be deducted from the allotted 30 minutes. These rules may be temporarily suspended, in whole or in part, by a unanimous vote of the Commission.

- 5 [20-9793](#) Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (Commissioner Moser/City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas' Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block D, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street.
- City Council Action: March 3, 2020**
- Attachments:** [Exhibit A - Location Map.pdf](#)
[Exhibit B - Zoning Comparison.pdf](#)
[Exhibit C - Letter of Support.pdf](#)
- 6 [20-9794](#) Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (Commissioner Spare/City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.
- City Council Action: March 3, 2020**
- Attachments:** [Exhibit A - Location Map](#)
[Exhibit B - Zoning Document](#)
[Exhibit C - Garage Calculations](#)

Adjournment

In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A., the Planning and Zoning Commission agenda was prepared and posted on February 21, 2020.

Chris Hartmann
Planning Secretary

The City Hall is wheelchair accessible. If you plan to attend this public meeting and you have a disability that requires special arrangements, please call 972-237-8255 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.



Legislation Details (With Text)

File #: 20-9790 **Version:** 1 **Name:** Approval of Minutes of the February 3, 2020 P&Z meeting.

Type: Agenda Item **Status:** Consent Agenda

File created: 2/11/2020 **In control:** Planning and Zoning Commission

On agenda: 2/24/2020 **Final action:**

Title: Approval of Minutes of the February 3, 2020 P&Z meeting.

Sponsors:

Indexes:

Code sections:

Attachments: [PZ Draft Minutes 02-03-20.pdf](#)

Date	Ver.	Action By	Action	Result
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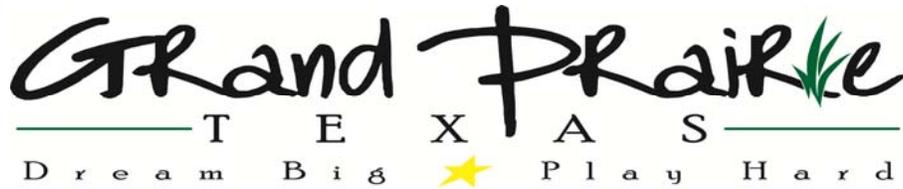
From
Chris Hartmann

Title
Approval of Minutes of the February 3, 2020 P&Z meeting.

Presenter
David P. Jones, AICP, Chief City Planner

Recommended Action
Approve

Analysis



**REGULAR PLANNING AND ZONING COMMISSION
MEETING MINUTES
FEBRUARY 3, 2020**

COMMISSIONERS PRESENT: Chairperson Josh Spare, Vice-Chairperson Shawn Connor, Secretary Max Coleman, and Commissioners, Clayton Fisher, Eric Hedin, Cheryl Smith, Bill Moser.

COMMISSIONERS ABSENT: Warren Landrum and Eduardo Carranza

CITY STAFF PRESENT: Deputy City Manager Bill Crolley, David Jones, Chief City Planner, Savannah Ware, Senior Planner, Nyliah Acosta, Planner, Charles Lee, Senior Planner, Mark Dempsey, Deputy City Attorney, Brett Huntsman, Transportation Planner, and Chris Hartmann, Executive Assistant.

Chairperson Josh Spare called the meeting to order in the Council Chambers in the City Hall Building at 6:30 p.m. Commissioner Moser gave the invocation, commissioner Fisher led the pledge of allegiance to the US Flag, and the Texas Flag.

Citizen Comments: None

AGENDA ITEM: #1 - APPROVAL OF MINUTES: To approve the minutes of the Planning and Zoning Commission meeting of January 6, 2020.

PUBLIC HEARING CONSENT AGENDA: Item #2 - P180203 - Final Plat – Clear Lake (Commissioner Spare/City Council District 6). Final Plat of Clear Lake creating 25 residential lots and 4 open space lots on 6.519 acres. Tract 4, Caroline M. Adams Survey, Abstract 38 and Lot 1A, Block 1, Paris Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-363, and located at 1210 E. Seeton Road. The agent is Kylon Wilson, Stantec, the applicant is Trey Walette, Skorburg, and the owner is John Arnold, Skorburg.

Item #3 - P190702 - Minor Subdivision Plat - Granados Park, Lots 1 & 2, Block A (Commissioner Fisher/City Council District 1). Consider a request to plat a 1.091acre property into two single-family lots. The 1.091acre property is located in the John C. Read Abstract No. 1183, Dallas County, Texas. The property is generally located on the north side of Parker road, approximately 270-feet west of Hardrock Road. It is located at the address 1214 Parker Road. The owner is Jose Granados.

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Item #4 - P191003 - Final Plat - Creekside at Grand Prairie Addition (Commissioner Spare/City Council District 6). Final Plat - Lot 1, Block 1, Creekside at Grand Prairie Addition, creating a single 23.387acre lot. A portion 57.46 acres situated in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas. Within the IH-20 Overlay District, zoned PD-378, generally south of the intersection of Bardin Road and Sgt. Greg L. Hunter Lane.

Item #5 - P200105 - Final Plat - Hakemy Addition, Lots 1 and 2, Block A (Commissioner Carranza/City Council District 3). Final Plat for Lot 1 and Lot 2, Block A, Hakemy Addition to establishing two commercial lots. 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, Zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.

Item #6 - P200201 - Preliminary Plat - Hill Street Addition, Lot 1, Block 1 (Commissioner Moser/City Council District 5). A Preliminary Plat to establish Lot 1, Block 1, Hill Street Addition, out of a 13.1509acre tract. Located at 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161 legally described as 13.1509 acres out of the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 District. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.

Item #7 - RP200201 - Replat - Prairie Waters-Southgate Development, Lot 1R and 2, Block 1 (Commissioner Connor/City Council District 4). Replat of Prairie Waters-Southgate Development, Lot 1R and 2, Block 1, creating two lots on 29.547 acres. Lot 1, Block 1, Prairie Waters-Southgate Development, City of Grand Prairie, Tarrant County, Texas, zoned PD-352, within the SH-360 Corridor Overlay District, and addressed as 3666 Prairie Waters Dr. The applicant is John McClure, McClure Partners, the consultant is Juan J. Vasquez, Vasquez Engineering LLC, and the owner is Charles Anderson, TA Southgate Land Partners LP.

AGENDA PUBLIC HEARING ITEMS TO BE POSTPONED: Item # 8 - CPA190604 – Comprehensive Plan Amendment- Grand Oaks and Item #9 - Z190604/CP190604 - Planned Development Request/Concept Plan - Grand Oaks Single Family Residences.

Motion was made to approve the minutes of January 6, 2020, approve public hearing consent agenda items P180203, P190702, P191003, P200105, P200201, and RP200201, and postpone cases CPA190604 and Z190604/CP190604.

Motion: Connor

Second: Moser

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

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Nays: None

Approved: 7-0

Motion: **carried.**

ITEM FOR INDIVIDUAL CONSIDERATION:

Item #10 - S200201 - Site Plan - Presidium Hill Street Apartments (Commissioner Moser/City Council District 5). Planner Nyliah Acosta presented the case report and gave a Power Point presentation for a Site Plan for Presidium Hill Street Apartments, a 290unit multi-Family Development. Located at 1610 Hill Street, 1614 Hill St, and 906 North Hwy 161 legally described as 13.1509 acres out of the Hein Bilsmirer Survey, Tract 3 & 11, Abstract No. 111 and the Pablo Mansola Survey, Tract 1, Abstract No. 933, Dallas County, City of Grand Prairie, Texas, Zoned PD-392 District. The applicant is Jonathan Kerby, Kimley Horn and the owner is Paul and Robby Sieminski.

Ms. Acosta stated the 290-unit development is accessible from Hill Street and has two access points, one being an emergency access only gate. The development includes a clubhouse, pool, dog park and dog washing station, and outdoor recreational spaces. The property is accessible from two drives on Hill Street; however, one will be an emergency access only gate. The required number of parking spaces is determined by use. The number of parking spaces provided meets the number of spaces required. The subject property is zoned PD-392 with a base zoning of "MF-3" Multi-Family Three Residential District; development is subject to the "MF-3" standards in the Unified Development Code. The proposal meets or exceeds the density and dimensional requirements. The property is subject to the landscaping and screening requirements found in Article 8 and Appendix W of the UDC. The proposal meets the landscape and screening requirements. The exterior finish includes stucco, manufactured stone, wood tone fiber cement panels, and fiber cement siding material. The proposed building elevations meet the material and architectural requirements. Amenities include: dog park, dog washing station, gated access to adjacent park, pool, water feature, cabanas, outdoor swings and ping pong, and outdoor grill and dining area. The proposal meets Appendix W requirements for amenities. The applicant is requesting 68% one bedroom units. The applicant meets the recommended design standards Council can approve up to a 10% increase in one bedroom units. The Development Review Committee recommends approval.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. No one was present to represent the case. There being no further discussion on the case commissioner Moser moved to close the public hearing and approve case S200201 as presented by staff. The action and vote being recorded as follows:

Motion: Moser

Second: Coleman

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

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Nays: None

Approved: 7-0

Motion: **carried.**

Item #11 - S200202 - Site Plan - Longhorn Steakhouse at Epic West Towne Crossing (Commissioner Hedin/City Council District 2). Senior Planner Savannah Ware presented the case report and gave a Power Point presentation for a Site Plan for a 5,660-sq. ft. restaurant on 1.463 acres. Lot 6R, Block B, Epic West Towne Crossing Phase 1, City of Grand Prairie, Dallas County, Texas, zoned PD-364, within the SH-161 Corridor Overlay District, and addressed as 3134 S HWY 161. The applicant is James Powell, Darden, the consultant is Kourtnie Airheart, CDS Development, and the owner is John Weber, Epic West Towne Crossing LP.

Ms. Ware stated the applicant is proposing to construct a 5,660 sq. ft. restaurant. The site will be accessible from two points on Esplanade. The first drive, already constructed, will provide direct access. The second drive will provide access via a mutual access drive across the Olive Garden site. The Site Plan includes the 5,660 sq. ft. building, parking, fire lane and access drives, and a dumpster enclosure. The subject property is zoned PD-364 with a base zoning district of Commercial. Development is subject to the standards in PD-364 and the UDC. The proposal meets or exceeds the density and dimensional requirements. The flag poles on the roof extend to a height of 33.5 ft. Article 6 of the UDC allows certain features to be constructed 15 ft. higher than the maximum height requirement if not more than one-third of the total roof area is consumed by such features and the features are set back from the edge of the roof a minimum distance of one foot for every foot by which such features extend above the roof surface of the principal building to which they are attached. The flag poles require an exception because they are set back 3 ft. from the roof. Appendix F states that parking calculations in Article 10 of the UDC shall serve as parking maximums. The proposal includes 93 parking spaces, which exceeds the maximum allowed. The property is subject to landscape and screening requirements in Article 8 and Appendix F of the UDC and PD-364. The proposal meets the landscape and screening requirements. The UDC allows shrubs to be substituted for trees at the rate of 10 shrubs equal one tree. The applicant is proposing to substitute 60 shrubs for six trees.

Ms. Ware stated the exterior building materials include brick, stone, stucco, and fiber cement siding. Appendix F contains two windows requirements. The first is that facades shall include windows in an area that equals 50% of the overall vertical surface of all facades or that equals 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades. The building includes wood shutters on the west, north, and south facades. The applicant is proposing that the wood shutters count towards the window requirements and are included in the calculations below. The proposed building elevations do not meet the window requirements. Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The table below lists the Menu Items included in the proposal. The proposal includes 13 Menu Items and exceeds

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the Appendix F Menu Items requirements. City Council may approve variances to Appendix F if the applicant demonstrates that the proposal meets the intent of the ordinance and that the alternative design or measure provides an equal or greater level of quality and standard of development as mandated by the regulations. As a part of this Site Plan, the applicant is requesting the variances listed below.

1. Windows on Street-Facing Facades. Appendix F requires that windows account for 30% of street-facing facades. Windows account for 7% of the west facade and 16% of the east facade when 30% is required.
2. Total Windows. Appendix F requires that windows account for 50% of the area of all facades or 50% of the length of all facades. Windows account for 35% of the length of all facades when 50% is required.
3. Number of Parking Spaces. The proposed number of spaces exceeds what is allowed.
4. Maximum Height of Architectural Features: The maximum height of the architectural roof is 24 ft. The flag poles on top of the building extend to 33.5 ft. Article 6 of the UDC allows certain features to be constructed 15 ft. higher than the maximum height requirement if not more than one-third of the total roof area is consumed by such features and the features are set back from the edge of the roof a minimum distance of one foot for every foot by which such features extend above the roof surface of the principal building to which they are attached. The flag poles require an exception because they are set back 3 ft. from the roof.

Ms. Ware stated the Development Review Committee recommends approval with the condition that the applicant add windows to the east facade.

Commissioner Hedin asked if there was a certain percentage of windows that staff could accept. Ms. Ware stated they would like to see 30%, but could be compromised on a little more than what has been provided.

Will Winkelmann with Winkelmann & Associates, 9952 Portford Drive, Dallas, TX and James Powell, 3719 Brookstone Drive, Sherman, TX, stepped forward representing the case. Mr. Powell stated they are excited to bring this restaurant to Grand Prairie, this would be their third restaurant in north Texas. This is a smaller building than the Olive Garden therefore they would ask that the shutters account for the window requirements. He said their interior is a ranch style restaurant with a farm house feel.

Chairperson Spare asked if they would be willing to provide some spangle glazing to the building. Mr. Powell said using spangle glazing comes with a lot of maintenance and there is no place to put them. Mr. Spare asked if there is any room to meet in the middle with the window requirements. Mr. Powell said he understands staff's recommendation, but, because of their unique look and the size of the building they cannot make any more changes to the building.

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Ms. Ware stated staff would ask that the applicant try to meet the intent of ordinance, Appendix F.

Commissioner Hedin stated the building looks very appealing to him even if they do not meet the window requirements.

Commissioner Smith stated she is willing to consider this case do to the uniqueness of the building, we need to honor this development.

Commissioner Connor stated we should meet the ordinance intent when do we draw the line he would love to see this restaurant come into the city, but we do have standards in place can they at least come up with 20% of the windows.

Commissioner Coleman stated a variance is an appeal and that is what they are asking for relief from the window requirements. This is a small building he feels the concept presented is a good looking building, a variance today does not obligate them for another one tomorrow.

Commissioner Connor said the building does look good, but is this the percentage of windows we want to see.

Commissioner Moser asked why is this a smaller building he understands his reasoning, but he would like to work something out with the applicant, because there is a reason for having standards along Hwy 161. Mr. Powell said all of their steakhouses are on a smaller scale, and corporate does not want to change anything than what is being presented.

Mr. Winkelmann stated Epic West is in a Planned Development district with certain language, they are trying to fit into the Epic district.

Mr. Crolley stated we have been dealing with the Overlay district and been making changes, staff is being challenged, but before we bring a case before the Commission and City Council we have already studied the case and worked with the applicant. Nobody wants to say no, but staff has already done the work to prepare the case to move forward and we have to give a recommendation to the City Council.

Chairperson Spare stated he only wants to see a little more effort on the window percentage.

Commissioner Moser asked if the Epic West included the Main Event, if so why did they not provide the windows required. Mr. Jones replied yes they are also within Epic West, but staff was flexible with the requirements and worked with the applicant on providing more landscaping and lighting.

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Commissioner Fisher said he understands the standards, but they have given everything they can on this building and in his opinion the intent is there.

Commissioner Smith stated this is a unique opportunity for this area to have another steak house in the city, the ranch style look sounds great.

Commissioner Connor said we just need to be careful when making exception, it is a give and take situation, but the overall building does look nice.

Chairperson Spare stated there were no more questions and there being no further discussion on the case commissioner Hedin moved to close the public hearing and approve case S200202 granting the applicants requested variances. The action and vote being recorded as follows:

Motion: Hedin

Second: Moser

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

Item #12 - S200102 - Site Plan - Hakemy Retail Center (Commissioner Carranza/City Council District 3). Senior Planner Charles Lee presented the case report and gave a Power Point presentation to Site Plan for an 8,000 sf retail building on one lot. Lot 1 and Lot 2, Block A, Hakemy Addition, 2.98 acres out of the M.W. Allen Survey Abstract 9, City of Grand Prairie, Dallas County, Texas, zoned GR, General Retail and addressed as 825 S. Belt Line Road, Grand Prairie, Texas. The agent is Matthew Thomas, Thomas Engineering and the owner is Shair Hakemy, SAH Real Estate LP.

Mr. Lee stated the subject vacant property is generally located at the northeast corner of S Belt Line Road and E. Pioneer Parkway, just south of Lakeview Drive. In October 2009, a drive thru restaurant was constructed, along with a 30' driveway access easement parallel to E. Pioneer Parkway to serve the restaurant and future commercial properties as anticipated north of Pioneer Parkway. The proposed liquor store will share the parallel access drive with the drive thru restaurant as well as the restaurant to the east, which was developed in 2016. Future mutual access easements are being provided on the proposed plat for Lot 1. A corresponding final plat reflecting the easements is on the current agenda for the Commission's consideration. The site will be accessible from both E. Pioneer Parkway and Lakeview Drive. A north- south access & utility easement is being provided to allow safe vehicle circulation from Pioneer to Lakeview Drive and serve the commercial center. Customer and employee parking spaces are provided on the north and west sides of the building. 12' X 12' Dumpster enclosure with exterior mason construction to match the building's color & materials is located northeast of the building. Development is subject to the GR standards in the UDC. The proposal meets the density and

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dimensional requirements. The number of parking spaces exceeds what is required. The proposal does not meet all of the landscape and screening requirements. The exterior building materials include primarily masonry materials and contrasting Stucco placed along the top portion of the exterior walls. An EFIS band and architectural metal features are incorporated into the elevation's design. The west and south facades are considered Primary Facades. Primary Facades are required to provide three elements. The west and south facades include two masonry accent materials, articulation with at least two distinct areas of vertical and horizontal offset, and windows. The north and east facades are considered Secondary Facades. Secondary Facades must provide at least two elements. The north and east facades include masonry accent material or accent color comprising 10% to 25% of the area of the facade and articulation with at least two areas of vertical offset.

Mr. Lee stated the Development Review Committee recommends approval.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. No one was present to represent the case.

There being no further discussion on the case commissioner Smith moved to close the public hearing and approve case S200102 as presented staff. The action and vote being recorded as follows:

Motion: Smith

Second: Coleman

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

PUBLIC HEARING AGENDA Item #13 - Z200201/S200204 - Zoning Change/Site Plan - Take 5 Oil Change at Victory at Lake Ridge (Commissioner Spare/City Council District 6). Senior Planner Savannah Ware presented the case report and gave a Power Point presentation to allow Minor Auto Repair by right on property with a base zoning district of General Retail and a Site Plan for an oil change facility on 1.296 acres. Lot 6, Block 1, Victory at Lakeridge Addition, City of Grand Prairie, Tarrant County, Texas, zoned PD-283, within the Lake Ridge Corridor Overlay District, and addressed as 2380 W Camp Wisdom Rd. The applicant: Robert Baldwin, Baldwin Associates and the owner is Tony Ramji, Victory @ Lakeridge LLC.

Ms. Ware started Take 5 Oil Change provides drive-through oil changes. The 1,462 sq. ft. building includes three garage bays. The site is accessible from W Camp Wisdom Rd. Customers will enter the garage bays from the north then remain in the vehicle while employees change the car's oil. The subject property is zoned PD-283 with a base zoning district of General Retail. Development is subject to the standards in PD-283 and the UDC. The proposal meets or exceeds the density and dimensional requirements. The property is subject to landscape and screening requirements in

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Article 8 and Appendix F of the UDC and PD-283. The proposal provides the required number of trees and shrubs. The UDC requires street trees along arterials. The width of the subject property is about 106 ft. at the front setback line but only 39 ft. at the front property line. The subject property is carved out of an existing lot and excludes the area directly in front of the proposed building. This area includes the landscape buffer required along Camp Wisdom Rd and is the appropriate area for street trees. The exterior building materials include brick, stone, and Exterior Insulation and Finish System used as an accent material. Appendix F contains two windows requirements. The first is that facades shall include windows in an area that equals 50% of the overall vertical surface of all facades or that equals 50% of the length of all facades. The second requirement is that windows shall account for 30% of the area of street-facing facades.

Ms. Ware stated Appendix F requires that applicants provide Menu Items from four categories: Usable Open and Pedestrian Walkways, Site Design and Building Orientation, Building Design, and Healthy, Smart, and Sustainable Community. The proposal includes 10.5 Menu Items when 12 Menu Items are required. In 2018 the City updated its use charts and definitions for auto-related businesses. One of the goals of the amendments was to reevaluate the appropriateness of some uses within certain zoning districts and change the use charts to remove or restrict a use from certain zoning districts. As a result of this evaluation, the City removed Auto Sales and Auto Repair from the list of permissible uses in the General Retail District. The nature of the General Retail District hasn't changed since 2018 to warrant adding Minor Auto Repair to the list of permissible uses in the General Retail District. Staff is unaware of any new information to justify this change district wide. This request singles out a piece of land for special treatment to allow Minor Auto Repair in a General Retail District for this particular property. Staff doesn't believe the characteristics of the property or the surrounding area warrant such a change.

Ms. Ware stated the subject property is carved out of an existing lot. Staff is concerned that the site boundaries and design will negatively impact how the remainder of the lot is developed. The Site Plan depicts in concept a restaurant with a drive-through lane. While the restaurant is not a part of the request, it depicts how the proposal will impact the design.

- The majority of the parking is behind the restaurant and there isn't a safe or convenient path from the parking area to the restaurant.
- It shows parking in the 30 ft. landscape buffer along Camp Wisdom Rd, which doesn't conform to the rest of the existing shopping center.
- There is a single lane used for the drive-through and access to the parking area in the rear.
- The design relies on access from the lot to the east. There is not a cross access easement at this location. Additionally, the design would require removing the existing curb which isn't located on the remainder of the lot.

Ms. Ware stated the Development Review Committee recommends denial of the request.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 3, 2020

Commissioner Coleman asked who would pay for the curb cut along Camp Wisdom. Ms. Ware stated the property owner would pay for the curb cut.

Chairperson Spare stated there were no more questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Rob Baldwin with Baldwin & Associates, 3904 Elm Street, Dallas, TX stepped forward representing the Victory Group, owners of the shopping center. He said this would be a very clean business you do not have to get off your car to have an oil change you just simply drive through and exit out. They would be providing a 3 ft. berm at the front of the property and they are willing to compromise on the parking. The use is considered commercial and the Comp plan calls for this type of use at this location. If the commission would rather see the use allowed by a specific use permit they would be acceptable to the SUP.

Chairperson Spare said we cannot base this use on what could be placed on the adjacent lot.

Commissioner Coleman said we have built a lot of apartments in the area, and people want and need to get their vehicles service this new concept is great that you don't have to get out of your vehicle to have it service, he is willing to allow the use by SUP. Mr. Jones said the PD could be amended to allow this use by an SUP and specifically specify State Oil Change.

Commissioner Smith stated she likes the concept that you don't have to get off the vehicle for an oil change and we need to be open to something new.

There being no further discussion commissioner Smith moved to close the public hearing and approve case Z200201/S200204 approval with the condition that the applicant meet all requirements of appendix F and that the landscaping along Camp Wisdom Rd. be consistent with the rest of the Victory at Lake Ridge development. The action and vote being recorded as follows:

Motion: Smith

Second: Coleman

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 3, 2020

Chairperson Spare stated cases CPA200202 and Z200202 would be heard together, but voted on separately.

PUBLIC HEARING AGENDA Item #14 - CPA200202 – Comprehensive Plan Amendment (Commissioner Moser/City Council District 5). Planner Nyliah Acosta presented the case report and gave a Power Point presentation to change the Future Land Use Map from Commercial/Office/Retail to Low Density Residential. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County Texas, zoned GR, General Retail.

Item #15 - Z200202 - Zoning Change - Single Family at 2129 Dalworth Street (Commissioner Moser/City Council District 5). A request to change the zoning from GR, General Retail, to SF-6, Single-Family Six Residential District to allow for a residential dwelling. Located at 2129 Dalworth, legally described as Lot 8, Block 20, Dalworth Park Addition, City of Grand Prairie, Dallas County. The owner is Abraham Jackson.

Ms. Acosta stated the applicant is proposing to construct a single-family dwelling. The request is for a change from Commercial/Retail/Office to Low Density Residential on the Future Land Use Map. Staff recommends that Future Land Use map changes along the Dalworth Corridor be supported by a comprehensive study. The existing zoning is GR, General Retail District. The proposed zoning for the 0.23 acres is SF-6. All zoning will defer to the Unified Development Code as amended. The Development Review Committee is not in favor of the proposed rezoning at this time due to the need for a more comprehensive study of the Dalworth corridor. Removing GR zoning from this property will create a pocket of residential in the zoning map and FLUM and reduces the opportunity for commercial land uses along the corridor. The intent of the GR district in this location is to attract businesses with neighborhood scale uses, including grocery stores, office, and retail uses to provide services to the surrounding residents and to diversify the tax base.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item.

Abraham Jackson, 5901 Tuleys Creek, Fort Worth, TX stated all of the lots in the area have residential homes on them this lot is small and close to the power line therefore he does not foresee this lot constructed with a commercial use. He stated there are some newer homes that were constructed down the street to the east and they were granted a zoning change.

Commissioner Moser asked if he owned the property and did he know it was zoned for commercial uses.

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 3, 2020

Commissioner Connor asked staff if there is currently a home on the lot can the home be remodel even though it is zoned commercial. Ms. Ware replied yes, but the foot print cannot change or if the homes is destroyed it cannot be rebuilt.

Commissioner Hedin asked where are the newer homes constructed in the area. Mr. Jones stated the newer homes were rezoned and constructed in 2018, they are just the east of this development a few blocks down.

Commissioner Moser stated if we have allowed other lots to be rezoned for residential then he can also grant this applicant a zoning change for his lot.

There being no further discussion on case CPA200202, commissioner Moser moved to close the public hearing and approve case CPA200202. The action and vote being recorded as follows:

Motion: Moser

Second: Conner

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

There being no further discussion case Z200202, commissioner Moser moved to close the public hearing and approve case Z200202 as requested by the applicant. The action and vote being recorded as follows:

Motion: Moser

Second: Smith

Ayes: Coleman, Connor, Fisher, Landrum, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

PUBLIC HEARING AGENDA Item #16 - TA200202 – Text Amendment – Article 4: Permissible Uses and Article 30: Definitions. Chief City Planner David Jones presented the case report and gave a Power Point presentation to amend the Unified Development Code to create definitions and regulations for tattoo studios and body piercing studios. The applicant is the City of Grand Prairie.

Mr. Jones stated in response to recent interest by tattoo studio operators, and at the direction of the City Manager's Office, staff has prepared a draft ordinance updating the city's existing tattoo regulations. Currently, tattoo studios are allowed only by SUP in the industrial districts or in form of permanent cosmetics as an ancillary personal service use. The proposed ordinance would

PLANNING AND ZONING COMMISSION MINUTES, FEBRUARY 3, 2020

expand tattoo studios to commercial districts, including the Central Area. In order to prevent proliferation or congregation of these uses, the ordinance would institute distance limitations similar to those put in place for alcoholic beverage service. The ordinance would prohibit loitering, would require all studios to close by midnight, and would require that operators obtain yearly continuing education in sanitary practices and CPR. The ordinance would also establish procedures for curing violations through a two-step administrative and Council review process. Because the use would only be authorized by SUP, Council would have the ultimate authority to revoke the permit. These regulations would also apply to body piercing studios, which include any piercing other than ears. Proposed regulations would appear in Articles 11 and 30 of the Unified Development Code.

Chairperson Spare stated there were no questions for staff, opened the public hearing, and called for individuals wishing to speak on this item. There being no further discussion commissioner Moser moved to close the public hearing and approve case TA200202 as presented by staff. The action and vote being recorded as follows:

Motion: Moser

Second: Coleman

Ayes: Coleman, Connor, Fisher, Hedin, Moser, Smith, Spare

Nays: None

Approved: 7-0

Motion: **carried.**

Chairperson Moser moved to adjourn the meeting. The meeting adjourned at 8:00 p.m.

Joshua Spare, Chairperson

ATTEST:

Max Coleman, Secretary

An audio recording of this meeting is available on request at 972-237-8255.



Legislation Details (With Text)

File #: 20-9791 **Version:** 1 **Name:** P200203 - Avilla Traditions, Lot 1, Block A
Type: Agenda Item **Status:** Consent Agenda
File created: 2/11/2020 **In control:** Planning and Zoning Commission
On agenda: 2/24/2020 **Final action:**
Title: P200203 - Final Plat - Avilla Traditions, Lot 1, Block A (Commissioner Connor/City Council District 4). Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr. The consultant is Mike Martinie, Spiars and Engineering and the owner is Jason Flory, NexMetro Communities.

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map.pdf](#)
[Exhibit B - Final Plat.pdf](#)

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

P200203 - Final Plat - Avilla Traditions, Lot 1, Block A (Commissioner Connor/City Council District 4). Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr. The consultant is Mike Martinie, Spiars and Engineering and the owner is Jason Flory, NexMetro Communities.

Presenter

Savannah Ware, AICP

Recommended Action

Approve

Analysis

SUMMARY:

Final Plat for Avilla Traditions, Lot 1, Block A. Tracts 5 and 5A, E. Roland Survey, Abstract 1313, City of Grand Prairie, Tarrant County, Texas, zoned PD-391, and generally located at the northwest corner of S Great Southwest Pkwy and S Forum Dr.

PURPOSE OF REQUEST:

The purpose of the Final Plat is to create one lot to facilitate the development of Avilla Traditions, a multi-family development on 18.92 acres.

ADJACENT LAND USES AND ACCESS:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-77	Undeveloped
South	PD-359	Undeveloped
West	PD-77	Multi-Family Residential
East	PD-231; PD-231B	School; Undeveloped

HISTORY:

- July 16, 2019: City Council approved a Zoning Change/Concept Plan (Case Number Z190601/CP190601) creating Planned Development District-391 for multi-family use.
- November 19, 2019: City Council approved a Site Plan for Avilla Traditions, a 218-unit multi-family development (Case Number S191104).

PLAT FEATURES:

The Final Plat depicts existing utility easements and establishes utility easements and pedestrian easements.

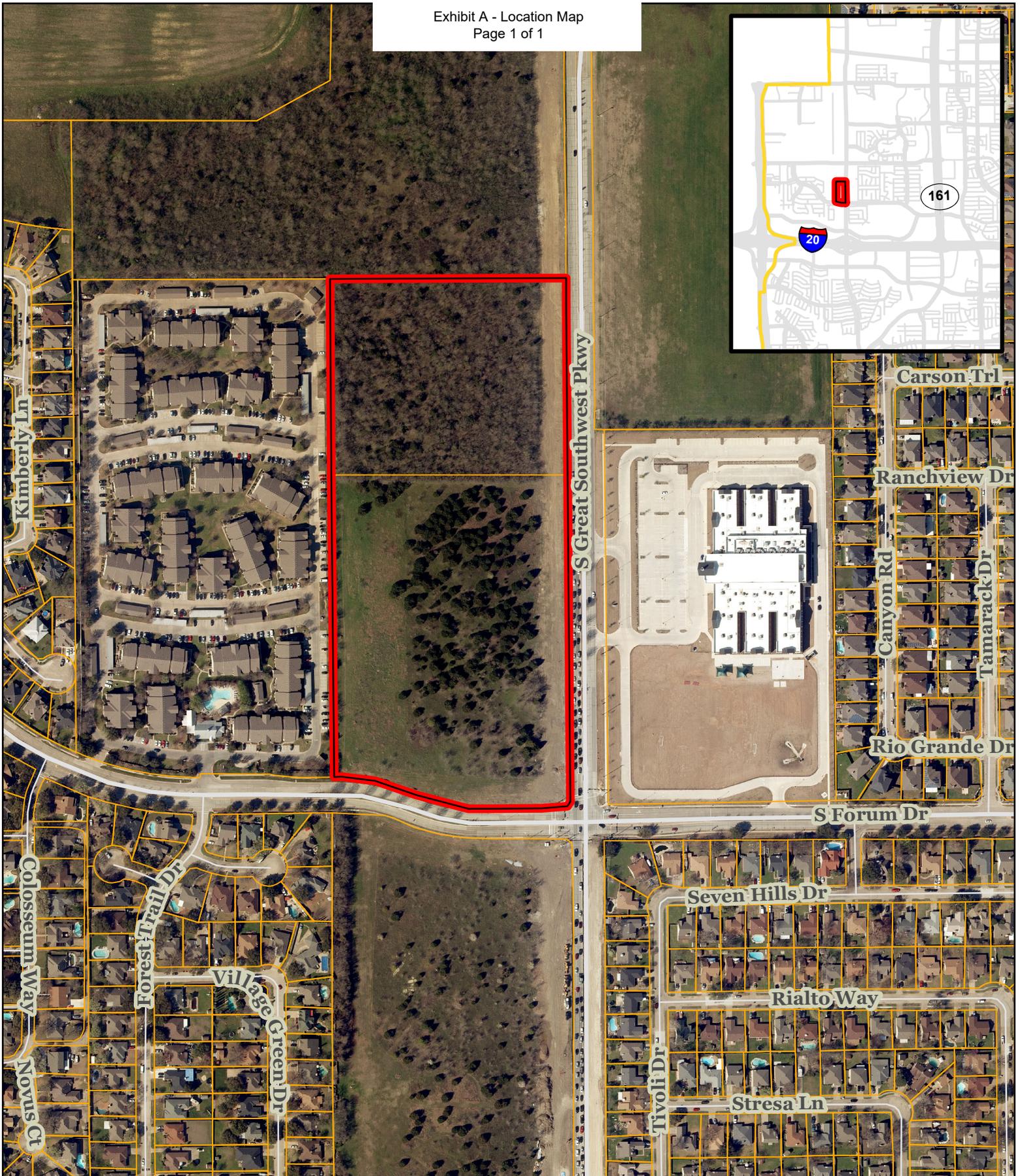
The property is zoned PD-391 for multi-family residential use. The following table summarizes the density and dimensional requirements. The Final Plat meets these requirements.

Table 2: Summary of Requirements

Standard	Required
Min. Lot Area (Sq. Ft.)	12,000
Min. Lot Width (Ft.)	100
Min. Lot Depth (Ft.)	120
Front Setback (Ft.)	20
Rear Setback (Ft.)	15

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.



CASE LOCATION MAP
Case Number P200203
Avilla Traditions, Lot 1, Block A



City of Grand Prairie
Development Services

(972) 237-8255
www.gptx.org



Legislation Details (With Text)

File #: 20-9792 **Version:** 1 **Name:** RP200202 - Farmers Industrial Addition, Lot 6-R, Block 3

Type: Agenda Item **Status:** Consent Agenda

File created: 2/11/2020 **In control:** Planning and Zoning Commission

On agenda: 2/24/2020 **Final action:**

Title: RP200202 - Replat - Farmers Industrial Addition, Lot 6-R, Block 3 (Commissioner Fisher/City Council District 1). Replat of Lot 4-R and Lot 5-R, Block 3, Farmers Industrial Addition, to create one lot for industrial development. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas. The agent is Alexander Camunez, Pacheco Koch and the owner is Hamilton Peck, Hamilton Commercial.

Sponsors:

Indexes:

Code sections:

Attachments: [Exhibit A - Location Map](#)
[Exhibit B - Replat](#)

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

RP200202 - Replat - Farmers Industrial Addition, Lot 6-R, Block 3 (Commissioner Fisher/City Council District 1). Replat of Lot 4-R and Lot 5-R, Block 3, Farmers Industrial Addition, to create one lot for industrial development. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas. The agent is Alexander Camunez, Pacheco Koch and the owner is Hamilton Peck, Hamilton Commercial.

Presenter

Charles Lee, AICP, CBO, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

Consider a replat combine two lots into one and revise utility easements to accommodate the development of the property. Farmers Industrial Addition, Block 3, Lots 4-R and 5-R. 4.7 acres out of the John C. Read Survey, Abstract No. 1183, City of Grand Prairie, Dallas County, Texas. Zoned LI, Light Industrial in the SH 161 Corridor Overlay and addressed as 1205 and 1207 Farmers Road, Grand Prairie, Texas.

ADJACENT LAND USES AND ACCESS:

The following table summarizes the zoning designation and existing land use for surrounding properties.

Direction	Zoning	Existing Use
North	Light Industrial (LI) District	Undeveloped
South	Light Industrial (LI) District	Undeveloped
East	Light Industrial (LI) District	Wolfe Masonry Contractors
West	Planned Development -105 (PD-105) District	Mobile Home Park (Grand Place)

HISTORY:

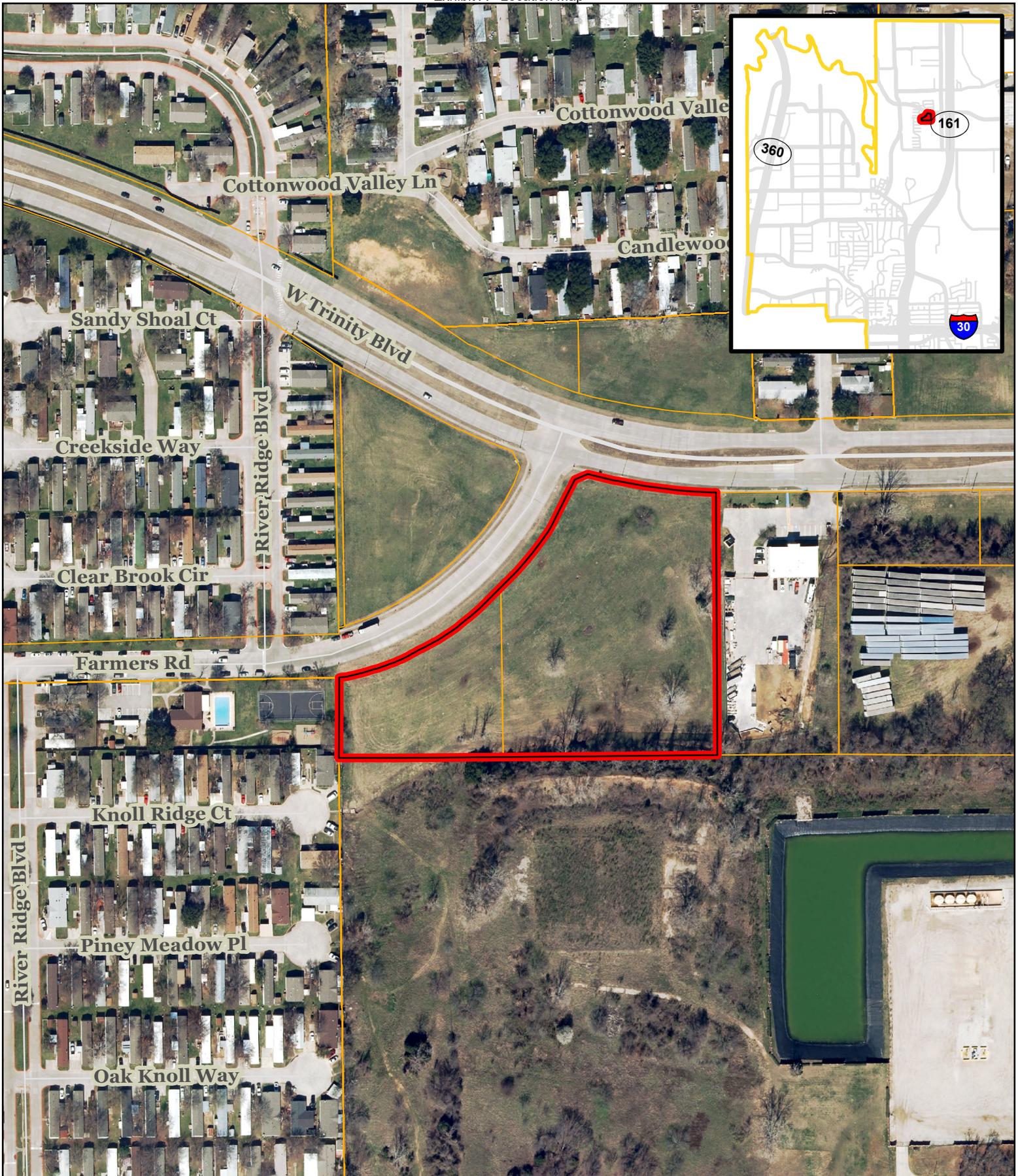
January 21, 2020: City Council approved Site Plan (S200103) for 40,670 sq. ft. office/showroom warehouse facility.

ANALYSIS:

The replat as submitted combines the existing two lots into one, provides mutual access easement to adjacent property to the east, dedicates required detention easement and reflects existing easement & amendments to utility easements to accommodate the development of the property.

RECOMMENDATION:

The Development Review Committee recommends approval of the replat



CASE LOCATION MAP
Case Number RP200202
Farmers Industrial Addition, Lot 6-R, Block 3

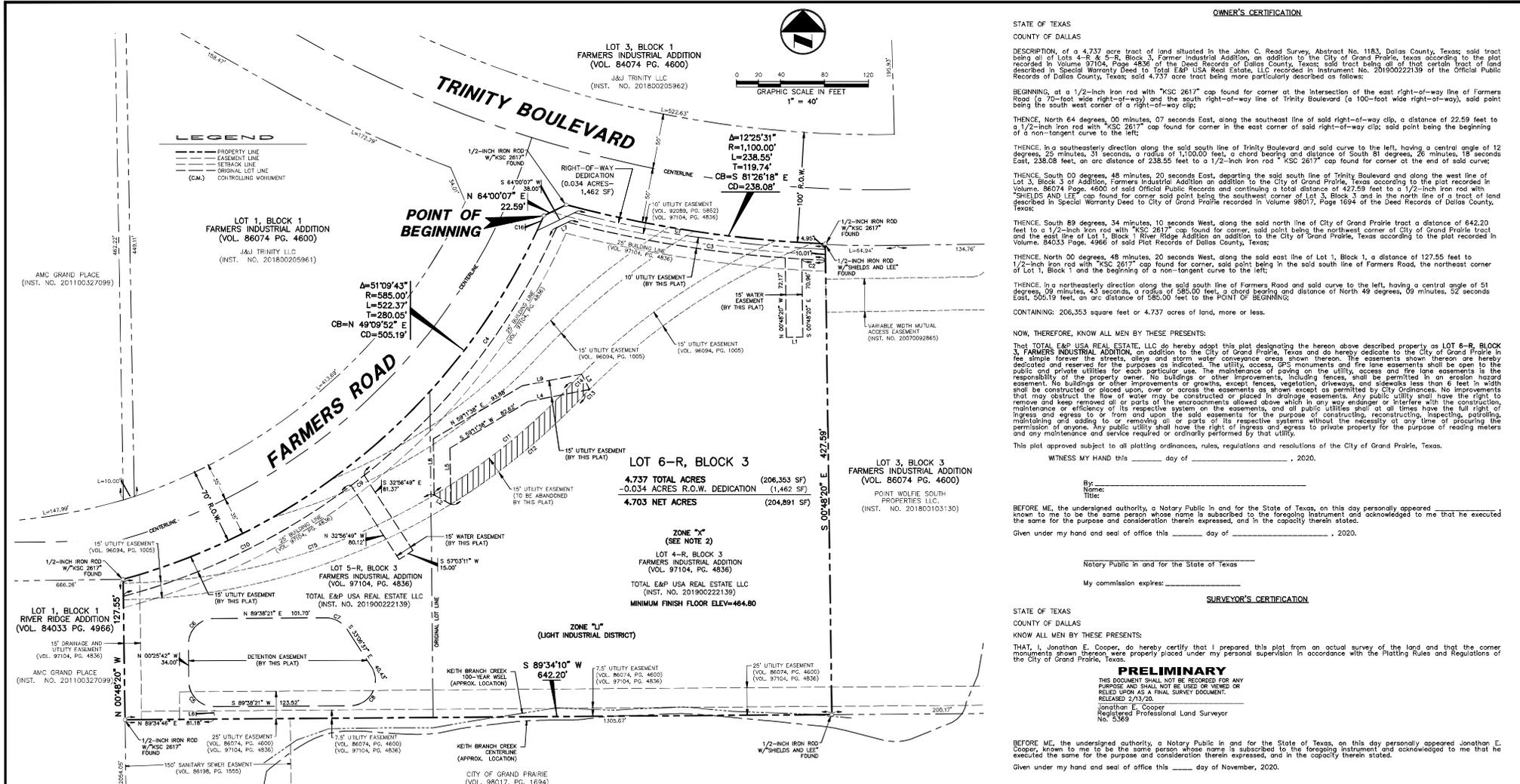


City of Grand Prairie
Development Services

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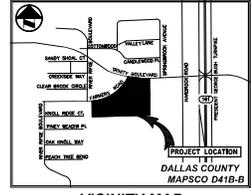
Exhibit B - Replat

EXHIBIT B



GENERAL NOTES

- Bearing system for this survey is based on the State Plane Coordinate System, North American Datum of 1983 (2011), Texas North Central Zone (4202). Distances shown have been adjusted to surface by applying the Dallas County FDOT Factor of 1.000136506.
- Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Dallas County, Texas and Incorporated Areas, Map No. 48113C0295L, Community-Panel No. 482472, 0295. Map Revised: March, 2019. All of the subject property is shown to be located in Zone "X" Floodway on said map. The location of the said floodzones is based on said map, is approximate and is not located on the ground. Relevant zones are defined on said map as follows:
Zone "X" - Other Areas: Areas determined to be outside the 0.2% annual Chance floodplain.
- Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
- Existing or future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat.
- The purpose of this replat is to combine two existing lots into one new lot, revising/amending utility easements (sewer, detention, water) and identifying existing easement on the property to accommodate the development.



LINE TABLE

LINE	BEARING	LENGTH
L1	S 89°14'07" W	15.00'
L2	N 67°58'37" W	17.28'
L3	S 37°57'33" E	15.68'
L4	S 78°22'50" W	57.00'
L5	S 00°48'20" E	51.03'
L6	N 00°25'41" W	11.32'
L7	S 64°50'07" W	11.38'
L8	N 00°48'20" W	51.09'
L9	N 78°52'50" E	55.04'

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	115°27'15"	1100.15'	233.57'	115.70'	N 89°40'07" W	230.15'
C2	01°06'31"	1115.15'	21.58'	10.79'	N 87°50'57" W	21.58'
C3	12°10'00"	1115.15'	237.07'	118.98'	S 81°36'48" E	236.63'
C4	27°27'18"	600.00'	287.51'	146.57'	N 37°50'50" E	284.77'
C5	89°50'57"	23.00'	36.10'	22.97'	N 49°24'40" W	32.51'
C6	90°54'43"	23.00'	36.10'	23.03'	N 44°50'20" E	32.50'
C7	87°15'02"	23.00'	22.98'	13.55'	S 61°46'08" E	22.04'
C8	122°44'58"	23.00'	49.27'	42.14'	S 28°15'52" W	40.38'
C9	01°26'15"	600.00'	10.06'	7.53'	N 92°10'53" E	15.00'
C10	22°07'01"	600.00'	231.61'	117.26'	N 64°03'35" E	230.17'
C11	16°22'26"	570.00'	162.89'	82.01'	N 91°02'31" E	162.34'
C12	15°29'13"	585.00'	158.13'	79.55'	N 90°37'44" E	157.64'
C13	00°30'54"	585.00'	6.11'	3.00'	S 44°33'29" W	6.11'
C14	01°10'27"	600.00'	10.90'	5.45'	S 49°08'10" W	10.90'
C15	29°51'40"	570.00'	297.07'	151.99'	N 74°10'42" E	293.72'
C16	01°28'27"	585.00'	15.05'	7.53'	N 24°19'50" E	15.05'

OWNER
TOTAL EXP USA REAL ESTATE, LLC
1600 EAST PIONEER PARKWAY, SUITE 550
ARLINGTON, TEXAS 77002
PH: (972) 663-9776
CONTACT: HAMILTON PECK

APPLICANT
HAMILTON COMMERCIAL
1600 EAST PIONEER PARKWAY
ARLINGTON, TEXAS 76010
PH: (972) 663-9776
CONTACT: ROBERT W. RICE

SURVEYOR / ENGINEER
PACHECO KOCH, LLC
7507 RAMBLER ROAD, SUITE 1400
DALLAS, TEXAS 75231
PH: (972) 235-3031
CONTACT: JONATHAN E. COOPER

Pacheco Koch
7507 RAMBLER ROAD, SUITE 1400
DALLAS, TX 75231 972.235.3031
TX REG. ENGINEERING FIRM # 469
TX REG. SURVEYING FIRM # 0008200

DRAWN BY: JMW CHECKED BY: MWW SCALE: 1"=40' DATE: FEB. 2020 JOB NUMBER: 4454-19-1564

STATE OF TEXAS
COUNTY OF DALLAS

OWNER'S CERTIFICATION

DESCRIPTION: of a 4.737 acre tract of land situated in the John C. Read Survey, Abstract No. 1183, Dallas County, Texas; said tract being all of Lots 4-R & S-R, Block 3, Farmer Industrial Addition, an addition to the City of Grand Prairie, Texas according to the plat recorded in Volume 97104, Page 4836 of the Deed Records of Dallas County, Texas; said tract being all of that certain tract of land described in Special Warranty Deed to Total Exp USA Real Estate, LLC recorded in Instrument No. 201900222139 of the Official Public Records of Dallas County, Texas; said 4.737 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "KSC 2617" cap found for corner at the intersection of the east right-of-way line of Farmers Road (a 70-foot wide right-of-way) and the south right-of-way line of Trinity Boulevard (a 100-foot wide right-of-way), said point being the south west corner of a right-of-way clip;

THENCE, North 64 degrees, 00 minutes, 07 seconds East, along the southeast line of said right-of-way clip, a distance of 22.59 feet to a 1/2-inch iron rod with "KSC 2617" cap found for corner in the east corner of said right-of-way clip; said point being the beginning of a non-tangent curve to the left;

THENCE, in a southeasterly direction along the said south line of Trinity Boulevard and said curve to the left, having a central angle of 12 degrees, 25 minutes, 31 seconds, a radius of 1,100.00 feet, a chord bearing and distance of South 81 degrees, 26 minutes, 18 seconds East, 238.08 feet, an arc distance of 238.55 feet to a 1/2-inch iron rod "KSC 2617" cap found for corner at the end of said curve;

THENCE, South 00 degrees, 48 minutes, 20 seconds East, departing the said south line of Trinity Boulevard and along the west line of Lot 3, Block 3 of Addition, Farmers Industrial Addition an addition to the City of Grand Prairie, Texas according to the plat recorded in Volume 86074 Page, 4600 of said Official Public Records and continuing a total distance of 427.59 feet to a 1/2-inch iron rod with "SHIELDS AND LEE" cap found for corner said point being the southwest corner of Lot 3, Block 3 and in the north line of a tract of land described in Special Warranty Deed to City of Grand Prairie recorded in Volume 98017, Page 1694 of the Deed Records of Dallas County, Texas;

THENCE, South 89 degrees, 34 minutes, 10 seconds West, along the said north line of City of Grand Prairie tract a distance of 642.20 feet to a 1/2-inch iron rod with "KSC 2617" cap found for corner, said point being the northwest corner of City of Grand Prairie tract and the east line of Lot 1, Block 1, River Ridge Addition an addition to the City of Grand Prairie, Texas according to the plat recorded in Volume 84033 Page, 4566 of said Plat Records of Dallas County, Texas;

THENCE, North 00 degrees, 48 minutes, 20 seconds West, along the said east line of Lot 1, Block 1, a distance of 127.55 feet to a 1/2-inch iron rod with "KSC 2617" cap found for corner, said point being in the said south line of Farmers Road, the northeast corner of Lot 1, Block 1 and the beginning of a non-tangent curve to the left;

THENCE, in a northeasterly direction along the said south line of Farmers Road and said curve to the left, having a central angle of 51 degrees, 09 minutes, 43 seconds of an arc distance of 585.00 feet, a chord bearing and distance of North 49 degrees, 59 minutes, 52 seconds East, 505.19 feet, an arc distance of 585.00 feet to the POINT OF BEGINNING;

CONTAINING: 206,353 square feet or 4.737 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
That TOTAL EXP USA REAL ESTATE, LLC do hereby adopt this plat designating the hereon above described property as LOT 6-R, BLOCK 3, FARMERS INDUSTRIAL ADDITION, an addition to the City of Grand Prairie, Texas and do hereby dedicate to the City of Grand Prairie in fee simple forever the streets, alleys and storm water conveyance areas shown thereon. The easements shown thereon are hereby dedicated and reserved for the purposes as indicated. The utility, access, SPS monuments and fire line easements shall be open to the public and private utilities for each particular use. The maintenance of paving on the utility, access and fire line easements is the responsibility of the property owner. No buildings or other improvements shall be constructed or installed on an easement without the consent of the property owner. No buildings or other improvements of growth, except fences, vegetation, driveways, and sidewalks less than 6 feet in width shall be constructed or placed upon, over or across the easements as shown except as permitted by City Ordinance. No improvements that may obstruct the flow of water may be constructed or placed in drainage easements. Any public utility shall have the right to remove and keep removed all or parts of the encroachments allowed above which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all existing ordinances, rules, regulations and resolutions of the City of Grand Prairie, Texas.

WITNESS MY HAND this ____ day of _____, 2020.

By: _____
Name: _____
Title: _____

Notary Public in and for the State of Texas _____

My commission expires: _____

SURVEYOR'S CERTIFICATION

STATE OF TEXAS
COUNTY OF DALLAS
KNOW ALL MEN BY THESE PRESENTS:
That, I, Jonathan E. Cooper, do hereby certify that I prepared this plat from an actual survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Grand Prairie, Texas.

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR REFERRED TO AS A FINAL SURVEY DOCUMENT.
RELEASED 2/13/20
Jonathan E. Cooper
Registered Professional Land Surveyor
No. 5369

Notary Public in and for the State of Texas _____

My commission expires: _____

THIS PLAT FILED IN: _____
INSTRUMENT NO. _____
DATE: _____

**REPLAT
LOT 6-R, BLOCK 3
FARMERS INDUSTRIAL
ADDITION**
4.737 ACRES
AND BEING OUT OF THE
JOHN C. READ SURVEY, ABSTRACT NO. 1183,
CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS
CASE NUMBER: RP200202

REPLAT LOT 6-R, BLOCK 3, FARMERS INDUSTRIAL ADDITION



Legislation Details (With Text)

File #: 20-9815 **Version:** 1 **Name:** S181009A - Site Plan - Creekside at Grand Prairie

Type: Agenda Item **Status:** Consent Agenda

File created: 2/19/2020 **In control:** Planning and Zoning Commission

On agenda: 2/24/2020 **Final action:**

Title: S181009A - Site Plan - Creekside at Grand Prairie (Commissioner Connor/City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie.
City Council Action: March 3, 2020

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Location Map](#)
[Exhibit B - Amended Site Plan](#)
[Exhibit C - Building Elevations](#)
[Exhibit D - Landscape Plan](#)

Date	Ver.	Action By	Action	Result
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From

Chris Hartmann

Title

S181009A - Site Plan - Creekside at Grand Prairie (Commissioner Connor/City Council District 4). Amendment to Site Plan originally approved as Luxe at Grand Prairie consisting of 315 multi-family units for the purpose of increasing unit count to 318 units and expanding the overall building footprint by 25,153 square feet. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy. The consultant is Jason Pyka, Manhard Consulting and the owner is Igor Krivoruchko, Luxe at Grand Prairie.

City Council Action: March 3, 2020

Presenter

David P. Jones, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Amendment to Site Plan originally approved as Luxe at Grand Prairie. 23.387 acres in the Memucan Hunt Survey, Abstract No. 757, City of Grand Prairie, Tarrant County, Texas (plat approved as Lot 1, Block 1, Creekside at Grand Prairie Addition). Zoned PD-378 in the IH-20 Corridor Overlay District, generally located south of Bardin Rd. approximately 700 feet east of the intersection of Bardin Rd. and S Great Southwest Pkwy.

PURPOSE OF REQUEST:

The purpose of the request is to increasing unit count from 315 to 318 units and to expand the overall building footprint by 25,153 square feet.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-250	Retail Commercial
South	PD-50	Single-Family Residential
West	PD-30; PD-44	Undeveloped; Bank; Retail Commercial
East	PD-30; PD-372	Undeveloped; Industrial

HISTORY:

- June 4, 2019: Planning and Zoning Commission approved a Preliminary Plat for Lots 1 and 2, Block 1, MBC GSW Bardin Addition, consisting of one commercial lot and one multi-family lot.
- June 19, 2018: City Council approved Planned Development No. 378 (Lux Grand Prairie) consisting of Multi-Family uses.
- February 3, 2020: Planning and Zoning Commission approved a Final Plat for Lot 1, Block 1, Creekside at Grand Prairie Addition.

SUMMARY OF USES:

The Site Plan depicts six residential apartment buildings with 318 units along with a leasing office and clubhouse. Although this is an increase of 3 units and approximately 25,000 square feet of building area, the layout and density of the buildings and residential units substantially complies with the approved Concept Plan.

DENSITY AND DIMENSIONAL STANDARDS:

Table 2: Conformance with Residential Development Standards

Standard	PD-378 Standard	Approved Plan	Proposed Plan	Meets?
Max Density	14.13 du per acre	13.47 du per acre	13.59 du per acre	Yes
Unit Mix	1 bed = 59%	1 bed = 59%	1 bed = 59%	Yes

	2 & 3 bed = 41%	2 & 3 bed = 41%	2 & 3 bed = 41%	
Frt Setback	45 feet	45 feet	45 feet	Yes
Rear Setback	60 feet	60 feet	60 feet	Yes
Side Setback	25 feet	25 feet	25 feet	Yes
Max Ht	3 story/50 feet	3 story/36 feet	3 story/37 feet	Yes

ACCESS:

One full access point is shown to Bardin Road. The full access will align with existing Sgt. Greg L. Hunter Lane. A second point of access will also be provided from Bardin.

BUILDING DESIGN:

Buildings are shown with a mix of Fiber Cement siding, stucco, and applied stone in earth tone colors, which meets the masonry recommendations of Appendix W and are substantially similar to the approved Site Plan. Horizontal and vertical articulation are shown, and the building utilize a hipped roof with architectural shingles. Maximum height has increased from 36 to 37 feet, which is still under the maximum height of 50 feet per standards of PD-378.

AMENITIES:

The applicant will provide amenities per the requirements of the PD. Amenities include:

Table 3: Proposed Amenities

Fitness Center	Swimming Pool
Pool Cabana	BBQ Grill
Outdoor Game Area with Trellis	Playground
Walking Trail	2 Dog Parks
Business Center/Wifi Café	Yoga Room
Party Kitchen	Club Room with Covered Patio

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval of the proposed Site Plan with the condition that the developer dedicate easement along the east and north property boundaries for a future public trail to be constructed by the City.



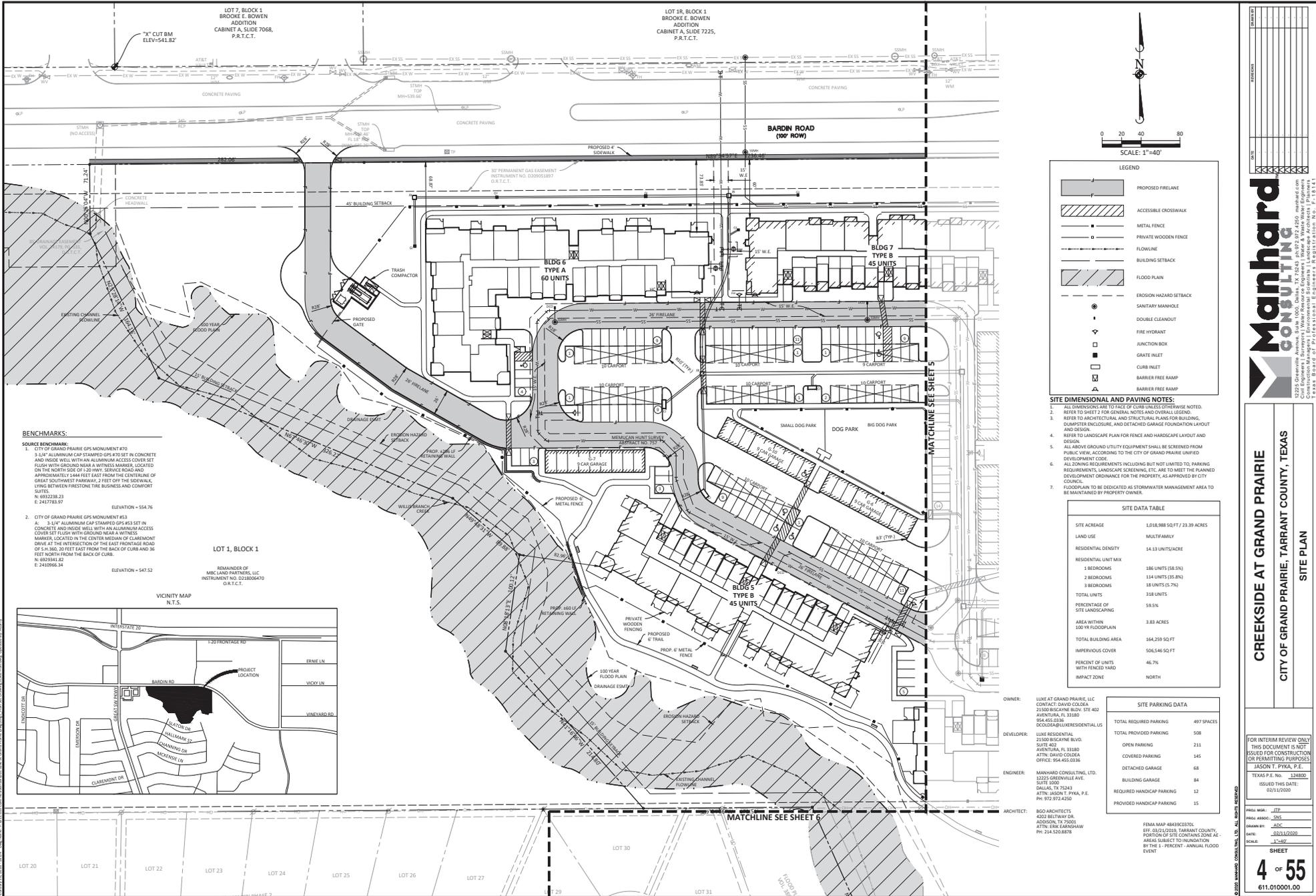
CASE LOCATION MAP
Case Number S181009A
Creekside at Grand Prairie



City of Grand Prairie
Development Services

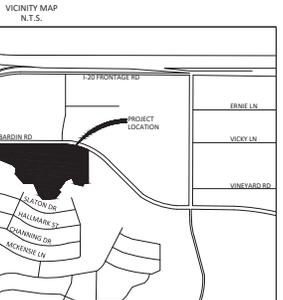
(972) 237-8255
www.gptx.org

Exhibit B - Amended Site Plan
Page 1 of 2



- BENCHMARKS:**
- CITY OF GRAND PRAIRIE GPS MONUMENT #70
SOURCE BENCHMARK:
3.14" ALUMINUM CAP STAMPED GPS #70 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLUSH WITH GROUND NEAR A WITNESS MARKER, LOCATED ON THE NORTH SIDE OF 120' HWY SERVICE ROAD AND APPROXIMATELY 1,444 FEET EAST FROM THE CENTERLINE OF GREAT SOUTHWEST PARKWAY, 2 FEET OFF THE SIDEWALK LYING BETWEEN FIRESTONE TIRE BUSINESS AND COMFORT SUITES.
N: 492238.23
E: 241783.97
ELEVATION = 554.76
 - CITY OF GRAND PRAIRIE GPS MONUMENT #83
A. 3.14" ALUMINUM CAP STAMPED GPS #83 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLUSH WITH GROUND NEAR A WITNESS MARKER, LOCATED IN THE CENTER MEDIAN OF CLAREMONT DRIVE AT THE INTERSECTION OF THE EAST FRONTAGE ROAD OF S.H. 360, 20 FEET EAST FROM THE BACK OF CURB AND 36 FEET NORTH FROM THE BACK OF CURB.
N: 492261.82
E: 242066.34
ELEVATION = 547.52

LOT 1, BLOCK 1
SEPARATORS OF MSC LAND PARTNERS, LLC
INSTRUMENT NO. 211808470
O.R.T.C.T.



LEGEND

- PROPOSED FIRELINE
- ACCESSIBLE CROSSWALK
- METAL FENCE
- PRIVATE WOODEN FENCE
- FLOWLINE
- BUILDING SETBACK
- FLOOD PLAIN
- EROSION HAZARD SETBACK
- SANITARY MANHOLE
- DOUBLE CLEANOUT
- FIRE HYDRANT
- JUNCTION BOX
- GRATE INLET
- CURB INLET
- BARRIER FREE RAMP
- BARRIER FREE RAMP

SITE DIMENSIONAL AND PAVING NOTES:

- CONVEYORS USE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO SHEET 2 FOR GENERAL NOTES AND OVERALL LEGEND.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING, DUMPSTER ENCLOSURE, AND DETACHED GARAGE FOUNDATION LAYOUT AND DESIGN.
- REFER TO LANDSCAPE PLAN FOR FENCE AND HARDSCAPE LAYOUT AND DESIGN.
- ALL ABOVE GROUND UTILITY EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW, ACCORDING TO THE CITY OF GRAND PRAIRIE UNIFIED DEVELOPMENT CODE.
- ALL ZONING REQUIREMENTS INCLUDING BUT NOT LIMITED TO, PARKING REQUIREMENTS, LANDSCAPE SCREENING, ETC. ARE TO MEET THE PLANNED DEVELOPMENT ORDINANCE FOR THE PROPERTY, AS APPROVED BY CITY COUNCIL.
- FLOODPLAIN TO BE DEDICATED AS STORMWATER MANAGEMENT AREA TO BE MAINTAINED BY PROPERTY OWNER.

SITE DATA TABLE

SITE ACREAGE	1,028,985 SQ FT / 23.39 ACRES
LAND USE	MULTIFAMILY
RESIDENTIAL DENSITY	14.13 UNITS/ACRE
RESIDENTIAL UNIT MIX	
3 BEDROOMS	186 UNITS (88.5%)
2 BEDROOMS	114 UNITS (55.8%)
3 BEDROOMS	18 UNITS (8.7%)
TOTAL UNITS	318 UNITS
PERCENTAGE OF SITE LANDSCAPING	59.5%
AREA WITHIN 100' W/ FLOODPLAIN	3.83 ACRES
TOTAL BUILDING AREA	164,259 SQ FT
IMPERVIOUS COVER	505,546 SQ FT
PERCENT OF UNITS WITH FENCED YARD	46.7%
IMPACT ZONE	NORTH

SITE PARKING DATA

TOTAL REQUIRED PARKING	497 SPACES
TOTAL PROVIDED PARKING	508
OPEN PARKING	211
COVERED PARKING	145
DETACHED GARAGE	68
BUILDING GARAGE	84
REQUIRED HANDICAP PARKING	12
PROVIDED HANDICAP PARKING	15

OWNER: LIVE AT GRAND PRAIRIE, LLC
CONTACT: DAVID COUSA
21500 BISCAYNE BLVD, STE 402
AVENTURA, FL 33180
ATTN: DAVID COUSA
OFFICE: 954.455.0336
MOBILE: 954.455.0336

DEVELOPER: LIVE RESIDENTIAL
21500 BISCAYNE BLVD.
SUITE 402
AVENTURA, FL 33180
ATTN: DAVID COUSA
OFFICE: 954.455.0336

ENGINEER: MANHARD CONSULTING, LTD.
13225 GREENVILLE AVE.
SUITE 3000
DALLAS, TX 75243
ATTN: JASON T. FYKAL, P.E.
PH: 972.974.4200

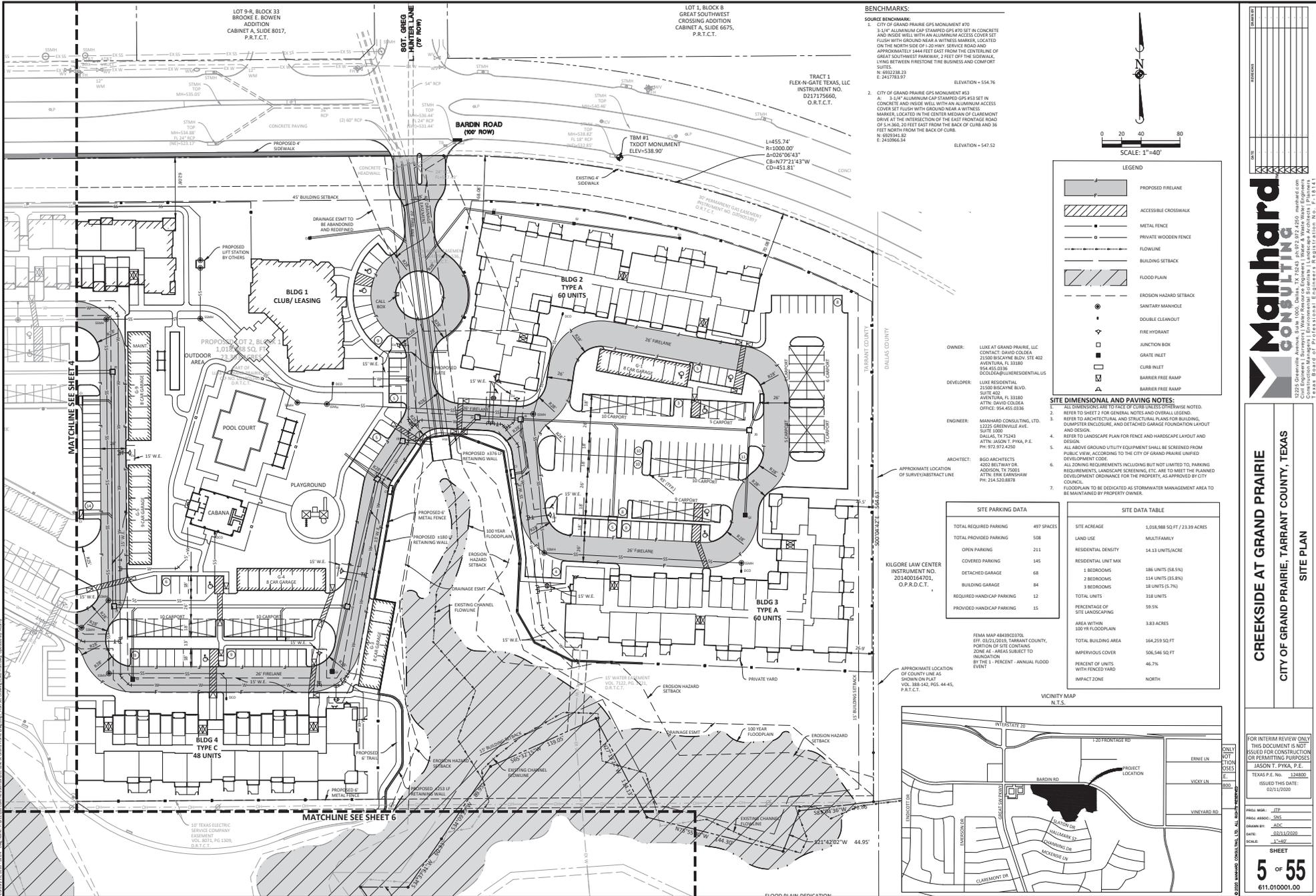
ARCHITECT: 860 ARCHITECTS
4002 BELTWAY DR.
ADDISON, TX 75010
ATTN: ERIC EARGHAW
PH: 214.520.8878

Manhard CONSULTING
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.8500, manhard.com
Construction Management | Environmental Services | Landscape Architecture | Primavera
Texas Board of Professional Engineers, Registration No. P-18311

CREEKSIDE AT GRAND PRAIRIE
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS
SITE PLAN

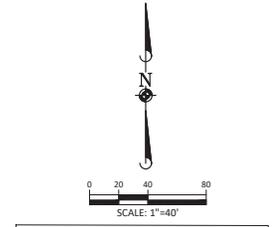
FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT
ISSUED FOR CONSTRUCTION
OR PERMITTING PURPOSES
JASON T. FYKAL, P.E.
TEXAS P.E. No. 124800
ISSUED THIS DATE:
03/14/2020

FILED WITH: JTF
MPLS ASSOC: SKS
DRAWN BY: JSC
DATE: 03/12/2020
SCALE: 1"=40'
SHEET
4 of 55
611.010001.00



BENCHMARKS:
SOURCE BENCHMARK:
1. CITY OF GRAND PRAIRIE GPS MONUMENT #70
3-1/4" ALUMINUM CAP STAMPED GPS #70 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLUSH WITH GROUND NEAR A WITNESS MARKER. LOCATED ON THE NORTH SIDE OF 10-WAY SERVICES ROAD AND APPROXIMATELY 3444 FEET EAST FROM THE CENTERLINE OF GREAT SOUTHWEST HIGHWAY, 3 FEET OFF THE SIDEWALK LING BETWEEN FIRESTONE TIRE BUSINESS AND COMFORT SUITES.
N: 692328.23
E: 245783.97
ELEVATION = 554.76

2. CITY OF GRAND PRAIRIE GPS MONUMENT #53
3-1/4" ALUMINUM CAP STAMPED GPS #53 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLUSH WITH GROUND NEAR A WITNESS MARKER. LOCATED IN THE CENTER MEDIAN OF CLAREMONT DRIVE AT THE INTERSECTION OF THE EAST FRONTAGE ROAD OF S.H. 360, 20 FEET EAST FROM THE BACK OF CURB AND 36 FEET NORTH FROM THE BACK OF CURB.
N: 692341.82
E: 245986.84
ELEVATION = 547.52

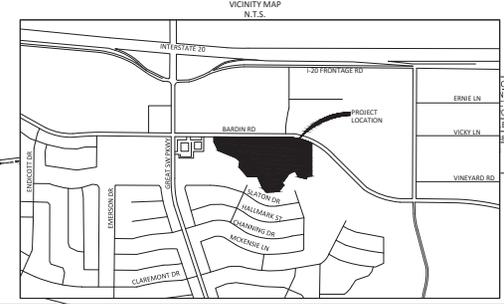


LEGEND

[Symbol]	PROPOSED FIRELINE
[Symbol]	ACCESSIBLE CROSSWALK
[Symbol]	METAL FENCE
[Symbol]	PRIVATE WOODEN FENCE
[Symbol]	FLOWLINE
[Symbol]	BUILDING SETBACK
[Symbol]	FLOOD PLAIN
[Symbol]	EROSION HAZARD SETBACK
[Symbol]	SANITARY MANHOLE
[Symbol]	DOUBLE CLEANOUT
[Symbol]	FIRE HYDRANT
[Symbol]	JUNCTION BOX
[Symbol]	GATE INLET
[Symbol]	CURB INLET
[Symbol]	BARBER FREE RAMP
[Symbol]	BARBER FREE RAMP

- SITE DIMENSIONAL AND PAVING NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO SHEET 2 FOR GENERAL NOTES AND OVERALL LEGEND.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING, DAMPSTER ENCLOSURE, AND DETACHED GARAGE FOUNDATION LAYOUT AND DESIGN.
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 - FLOODPLAIN TO BE DEDICATED AS STORMWATER MANAGEMENT AREA TO BE MAINTAINED BY PROPERTY OWNER.

SITE PARKING DATA	SITE DATA TABLE
TOTAL REQUIRED PARKING 497 SPACES	SITE ACREAGE 1,018,988 SQ FT / 23.39 ACRES
TOTAL PROVIDED PARKING 508	LAND USE MULTIFAMILY
OPEN PARKING 211	RESIDENTIAL DENSITY 14.13 UNITS/ACRE
COVERED PARKING 145	RESIDENTIAL UNIT MIX
DETACHED GARAGE 64	1 BEDROOMS 386 UNITS (8.5%)
BUILDING GARAGE 88	2 BEDROOMS 114 UNITS (9.5%)
REQUIRED HANDICAP PARKING 12	3 BEDROOMS 18 UNITS (2.0%)
PROVIDED HANDICAP PARKING 15	TOTAL UNITS 338 UNITS
	PERCENTAGE OF SITE LANDSCAPING 59.5%
	AREA WITHIN 100 YEAR FLOODPLAIN 3.83 ACRES
	TOTAL BUILDING AREA 164,259 SQ FT
	IMPERVIOUS COVER 506,546 SQ FT
	PERCENT OF UNITS WITH FENCED YARD 46.7%
	IMPACT ZONE NORTH



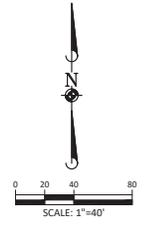
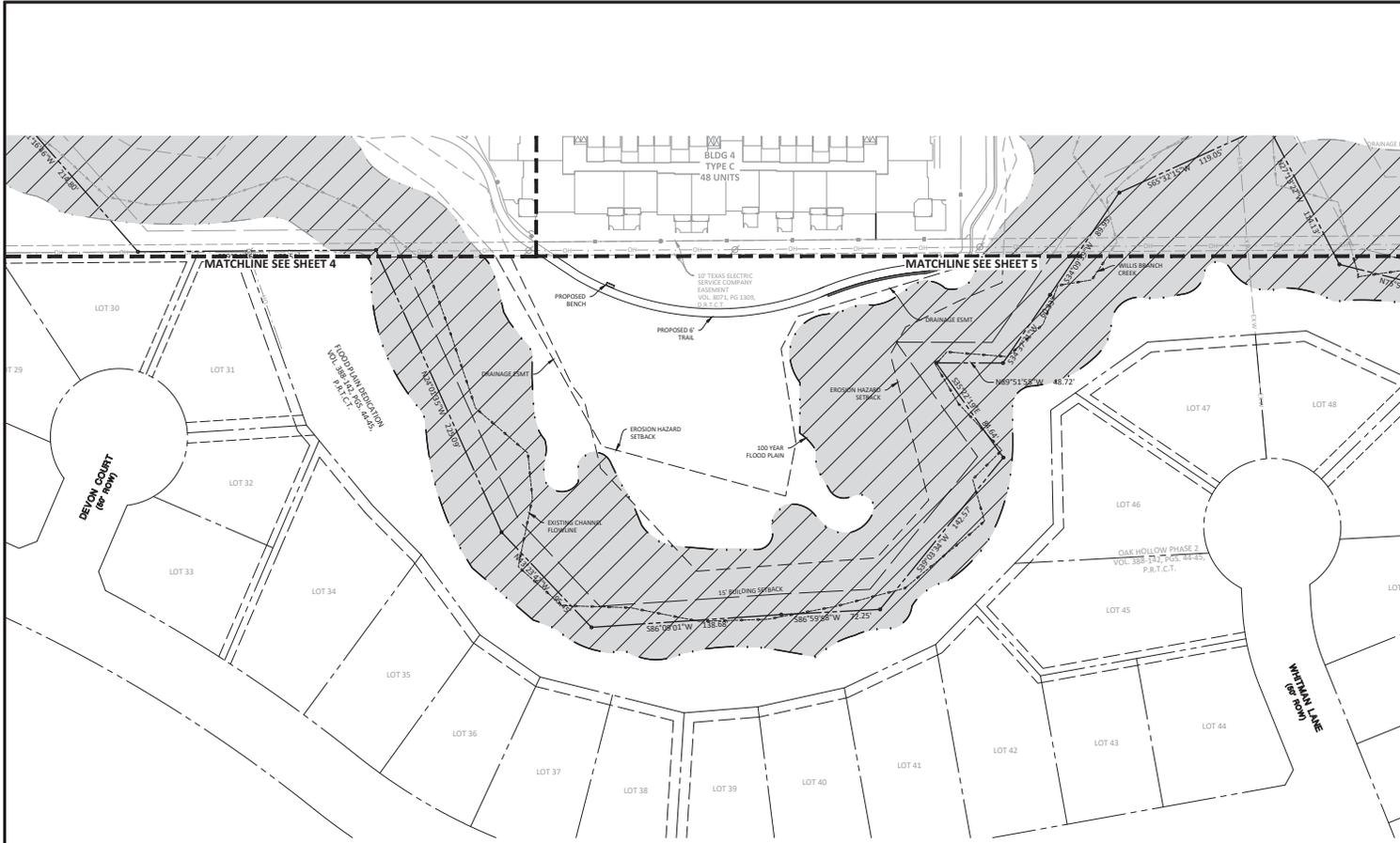
Manhard CONSULTING
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.8500, manhard.com
Construction Management | Environmental Services | Landscape Architecture | Planning
Texas Board of Professional Engineers, Registration No. P-18311

CREEKSIDE AT GRAND PRAIRIE
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS
SITE PLAN

FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT
SIGNED FOR CONSTRUCTION
OR PERMITTING PURPOSES
JASON T. PYKA, P.E.
TEXAS P.E. No. 134880
ISSUED THIS DATE:
03/14/2020

PROJECT NO.: JTP
PROJECT ASSOC.: SKS
DRAWN BY: JSC
DATE: 03/14/2020
SCALE: 1"=40'

SHEET
5 of 55
611.010001.00



LEGEND

- [Symbol] PROPOSED FIRELANE
- [Symbol] ACCESSIBLE CROWDWAY
- [Symbol] METAL FENCE
- [Symbol] PRIVATE WOODEN FENCE
- [Symbol] FLOWLINE
- [Symbol] BUILDING SETBACK
- [Symbol] FLOOD PLAIN
- [Symbol] EROSION HAZARD SETBACK
- [Symbol] SANITARY MANHOLE
- [Symbol] DOUBLE CLEANOUT
- [Symbol] FIRE HYDRANT
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- [Symbol] BARRIER FREE RAMP

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3 BEDROOMS	18 UNITS (0.7%)
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PERCENTAGE OF SITE LANDSCAPING	59.5%
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TOTAL BUILDING AREA	164,259 SQ FT
IMPERVIOUS COVER	506,546 SQ FT
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IMPACT ZONE	NORTH

SITE PARKING DATA

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PROVIDED HANDICAP PARKING	15

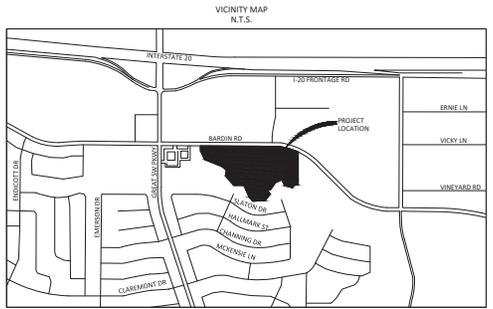
OWNER: LUXE AT GRAND PRAIRIE, LLC
CONTACT: DAVID COLDEA
21500 BISCAINE BLVD, STE 402
AVENTURA, FL 33180
564.455.0316
DCC026@LUXERESIDENTIAL.US

DEVELOPER: LUXE RESIDENTIAL
SUITE 402
AVENTURA, FL 33180
ATTN: DAVID COLDEA
OFFICE: 564.455.0316
PH: 972.972.4250

ENGINEER: MANHARD CONSULTING, LTD.
12225 GREENVILLE AVE.
SUITE 3000
DALLAS, TX 75243
ATTN: JASON T. PYKA, P.E.
PH: 972.972.4250

ARCHITECT: R800 ARCHITECTS
4002 BELLEVUE DR.
ADDISON, TX 75001
ATTN: ERIK SANDGREN
PH: 214.530.8878

FEAS MAP #48030201L
EFF. 03/21/2019, TARRANT COUNTY,
HORTHONSP SITE CONTAINS
ZONE AE - AREAS SUBJECT TO
NUMEROUS FLOODING
BY THE 1 - PERCENT - ANNUAL FLOOD
EVENT



- BENCHMARKS:**
- SOURCE BENCHMARK:**
- CITY OF GRAND PRAIRIE GPS MONUMENT #70
3" x 4" ALUMINUM CAP STAMPED GPS 470 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLOOD WITH GROUND NEAR A WITNESS MARKER, LOCATED ON THE NORTH SIDE OF I-30 HWY, SERVICE ROAD AND APPROXIMATELY 1444 FEET EAST FROM THE CENTERLINE OF GREAT SOUTHWEST PARKWAY, 2 FEET OFF THE SIDEWALK, LING BETWEEN FIRESTONE THE BUSINESS AND COMFORT SUITES
N: 6932318.23
E: 2412783.97
ELEVATION = 554.76
 - CITY OF GRAND PRAIRIE GPS MONUMENT #51
A 3" x 4" ALUMINUM CAP STAMPED GPS #51 SET IN CONCRETE AND INSIDE WELL WITH AN ALUMINUM ACCESS COVER SET FLOOD WITH GROUND NEAR A WITNESS MARKER, LOCATED IN THE CENTER MEDIAN OF CLEARBROOK DRIVE AT THE INTERSECTION OF THE EAST FRONTAGE ROAD OF I-30, 20 FEET EAST FROM THE BACK OF CURB AND 36 FEET NORTH FROM THE BACK OF CURB.
N: 6932341.52
E: 2412966.34
ELEVATION = 547.52

Manhard CONSULTING
12225 Greenville Avenue, Suite 1000, Dallas, TX 75243, ph: 972.972.4250, manhard.com
Construction Management, Environmental Services, Litigation & Arbitration, Primavera
Texas Board of Professional Engineers, Registration No. P-18111

CREEKSIDE AT GRAND PRAIRIE
CITY OF GRAND PRAIRIE, TARRANT COUNTY, TEXAS
SITE PLAN

FOR INTERIM REVIEW ONLY
THIS DOCUMENT IS NOT
ISSUED FOR CONSTRUCTION
OR PERMITTING PURPOSES
JASON T. PYKA, P.E.
TEXAS P.E. No. 124880
ISSUED THIS DATE:
02/14/2020

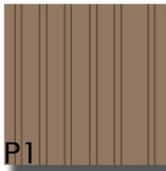
PHOTO: JTP
MHO ASSOC: SWS
DRAWN BY: ASC
DATE: 02/12/2020
SCALE: 1"=40'

SHEET
6 of 55
611.010001.00



S1
STONE 1
NEVILSTONE

STYLE: AUSTIN STONE
COLOR: AZURE
MORTAR: ARGOS WHITE
OR APPROVE EQUAL



P1
PAINT 1-
BOARD AND BATTEN
AND RAILING

JAMES HARDIE
OR APPROVE EQUAL

SHERWIN WILLIAMS
PORTABELLO
SW 6102



P2
PAINT 2- MAIN TRIM,
SOFFITS, FASCIAS, EAVES,
TRIM, BANDING,
SURROUNDS, STUCCO TRIM,
WINDOW TRIMS, DOOR TRIMS
AND DOOR PANELS, COPING
TO MATCH COLOR WHERE IT
OCCURS

SHERWIN WILLIAMS
KAFFEE
SW 6104



P3
PAINT 3- ACCENT
COLOR

STUCCO

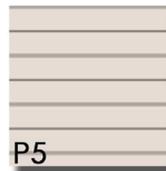
SHERWIN WILLIAMS
PAVILION BEIGE
SW 7512



P4
PAINT 4- MAIN
ACCENT COLOR

STUCCO BODY

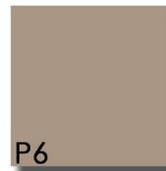
SHERWIN WILLIAMS
RICE PADDY
SW 6414



P5
PAINT 5- BALCONY
SIDING

JAMES HARDIE
OR APPROVE EQUAL

SHERWIN WILLIAMS
MODEST WHITE
SW 6084



P6
PAINT 5- MAIN
STUCCO BODY

SHERWIN WILLIAMS
SANDERLING
SW 7513



R1
TIMBERLINE HD
GAF
FOX HOLLOW GRAY
ASPHALT SHINGLE



R2
STANDING SEAM
ROOF AND METAL
AWNINGS

METAL ROOF, GUTTERS,
FASCIA AND EAVES

BERRIDGE
ZINC GREY OR
APPROVE EQUAL



DS
DOWNSPOUTS &
GUTTERS

SENOX CORP.
OR APPROVE EQUAL
ROYAL BROWN

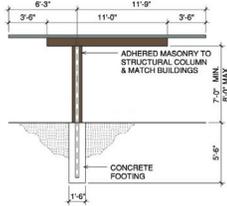


W1
WINDOWS
PLY-GEM OR
APPROVE EQUAL
BRONZE

THE LUX AT GRAND PRAIRIE- MATERIAL BOARD
GRAND PRARIE, TEXAS

SCALE 1/8"=1'-0"
0' 10' 20'

NOTE:
CARPORTS TO BE PROVIDED BY OTHERS.
DESIGN TO MEET ALL LOCAL JURISDICTIONAL LOADING REQUIREMENTS.



8 CARPORT ELEVATION
SCALE: 3/16"=1'-0"
REFER TO CARPORT MANUFACTURER FOR ENGINEERING AND INSTALLATION



6 3 CAR GARAGE HC-FRONT ELEVATION
SCALE: 3/16"=1'-0"



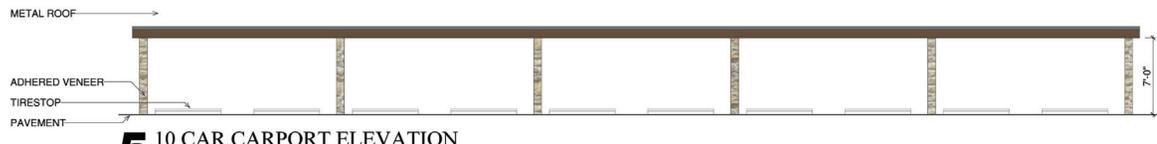
4 SIDE ELEVATION - TYP
SCALE: 3/16"=1'-0"



2 SIDE ELEVATION - HC
SCALE: 3/16"=1'-0"



7 6 CAR CARPORT ELEVATION
SCALE 3/16"=1'-0"



5 10 CAR CARPORT ELEVATION
SCALE 3/16"=1'-0"



3 3 CAR GARAGE-REAR ELEVATION
SCALE: 3/16"=1'-0"



1 8 CAR GARAGE-FRONT ELEVATION
SCALE: 3/16"=1'-0"

Carport Elevations - Total		
MATERIAL	SQ	%
Fiber Cement	41	6%
Stone	11	2%
Adhered Stone	441	100%
Total	493	100.00%

Garage Elevations - Total		
MATERIAL	SQ	%
Fiber Cement	862	63%
Stone	16	2%
Adhered Stone	608	37%
Total	1486	100.00%

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.B.a



REVISIONS

NO.	DESCRIPTION

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

BGO architects
4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

DATE
9-17-2018

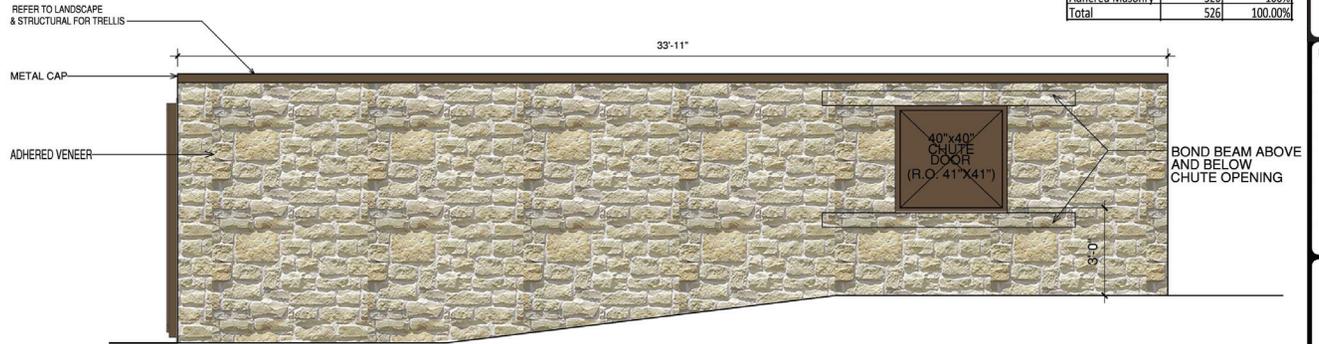
PROJECT
17249

SHEET NUMBER

A2-32
GARAGE & CARPORT ELEVATIONS

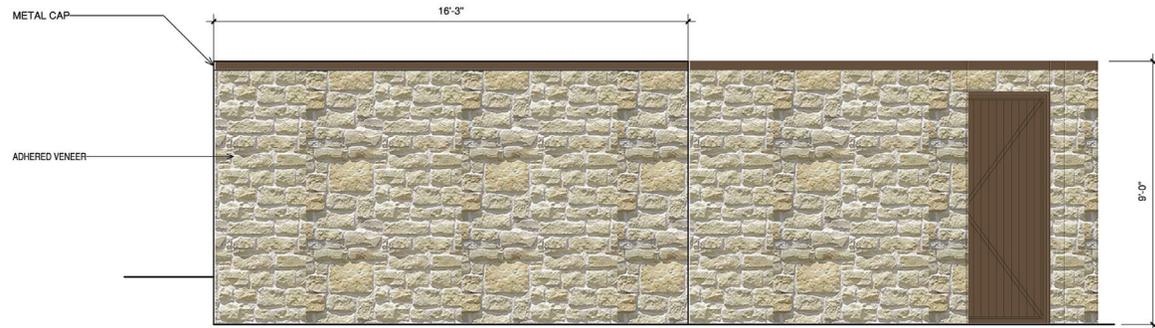
COPYRIGHT © BGO Architects. ALL RIGHTS RESERVED.

Trash Elevations - Total		
MATERIAL		
	SF	%
Fiber Cement	0	0%
Stucco	0	0%
Adhered Masonry	526	100%
Total	526	100.00%

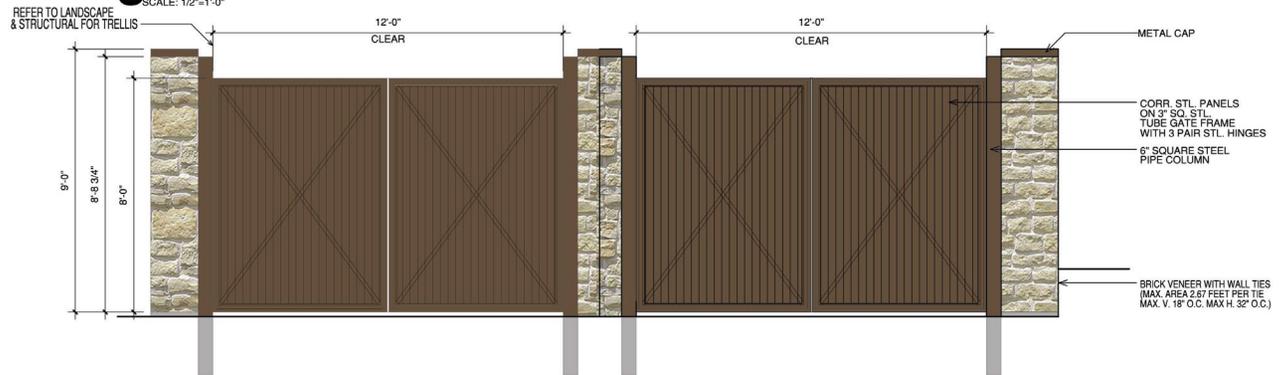


5 TRASH ENCLOSURE - SIDE ELEVATION CHUTE
SCALE: 1/2" = 1'-0"

SECURITY DOOR FITS WALLS FROM 6 TO 14 INCHES THICK



3 TRASH ENCLOSURE-REAR ELEVATION
SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE-FRONT ELEVATION
SCALE: 1/2" = 1'-0"

REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT
SUBMITTAL



4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

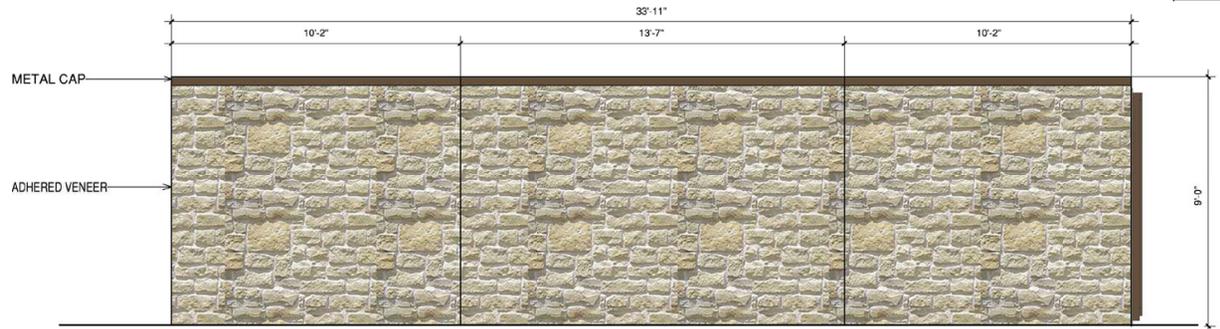
DATE
9-17-2018

PROJECT
17249

SHEET NUMBER

A2-42
TRASH ELEV./
DETAILS

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Trash Elevations - Total		
MATERIAL	%	
	SF	%
Fiber Cement	0	0%
Stucco	0	0%
Adhered Masonry	526	100%
Total	526	100.00%

6 TRASH ENCLOSURE-SIDE ELEVATION RECYCLING
SCALE: 1/2"=1'-0"



REVISIONS

NO.	DATE	DESCRIPTION

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GRAND PRAIRIE, TX

DEVELOPMENT
SUBMITTAL

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DATE
9-17-2018

PROJECT
17249

SHEET NUMBER

A2-43
TRASH ELEV./
SECTIONS

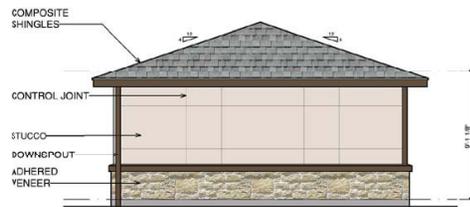
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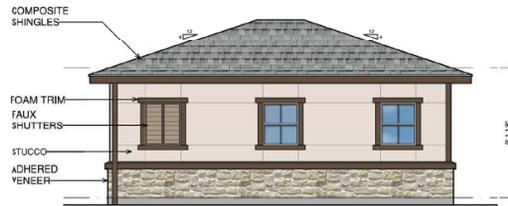
7 MAINT. FRONT ELEVATION
SCALE: 1/4" = 1'-0"



6 MAINT. SIDE ELEVATION
SCALE: 1/4" = 1'-0"



5 MAINT. REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 MAINT. SIDE ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY LOC APPR. # 288.

NON-INDUSTRIAL BUILDING DESIGN:

- PROVIDE EXTERIOR ELEVATIONS
- INDICATE THE SURFACE AREA OF EACH FACADE
- LOCATION OF DESIGNATED PRIMARY FACADES
- INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
- INDICATE BUILDING HEIGHT (H)
- HORIZONTAL ARTICULATION OF PRIMARY ELEVATIONS
- VERTICAL ARTICULATION OF PRIMARY FACADES
- INDICATE THE DESIGN ELEMENTS FOR BANE, FIELD PANEL AND PARAPET WITH CORNICE
- INDICATE WINDOWS AND COVERED WALKWAYS (PUBLIC ENTRANCES)
- INDICATE THOSE PROFILE COMPONENTS USED FOR ARTICULATED WALL PLANE
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- INDICATE AMOUNT AND LOCATION OF CONCRETE TO WALL APPLIQUES
- INDICATE AMOUNT AND LOCATION OF 2 OF PRINCIPAL MASONRY MATERIALS OR FORMALIZED TEXTURE OR FINISH TO SMALL SURFACES
- INDICATE AMOUNT AND LOCATION OF THE 10% SUPPLEMENTAL STONE OF CONCRETE TO WALL APPLIQUES

NON-INDUSTRIAL MATERIAL SELECTIONS:

- INDICATE AMOUNT AND LOCATION OF 2 OF PRINCIPAL MASONRY MATERIALS OR FORMALIZED TEXTURE OR FINISH TO SMALL SURFACES
- INDICATE AMOUNT AND LOCATION OF THE 10% SUPPLEMENTAL STONE OF CONCRETE TO WALL APPLIQUES

Material	Quantity	Unit	%
Stone	100	SF	100%
Concrete	0	SF	0%
Adhered Stone	0	SF	0%
Other	0	SF	0%
TOTAL	100	SF	100%



REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

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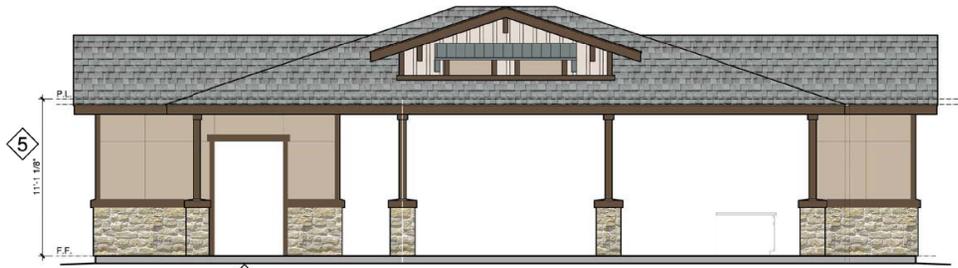
DATE
9-17-2018

PROJECT
17249

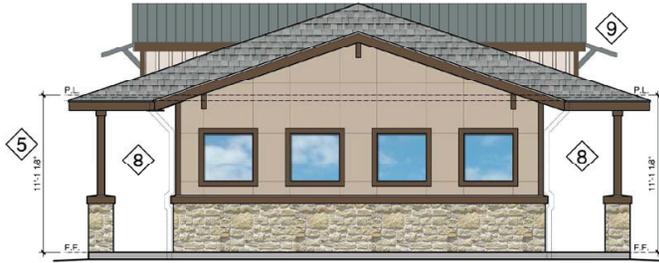
SHEET NUMBER

A2-50
MAINTENANCE BUILDING

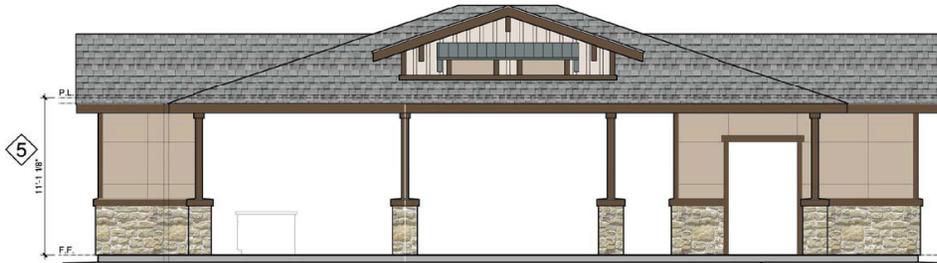
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7 CABANA - ELEVATION
SCALE 1/4"=1'-0"



6 CABANA - ELEVATION
SCALE 1/4"=1'-0"



5 CABANA - ELEVATION
SCALE 1/4"=1'-0"



4 CABANA - ELEVATION
SCALE 1/4"=1'-0"

Cabana Elevations - Total		
MATERIAL		
	SF	%
Fiber Cement	96	49%
Stucco	709	63%
Adhered Stone	312	25%
Total	1127	100.00%
GLAZING		
S.F.	BLDG S.F.	%
49	1176	4%

10

11

12

3

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.8.a

NON-INDUSTRIAL BUILDING DESIGN:

- 1 PROVIDE EXTERIOR ELEVATIONS
- 2 INDICATE THE SURFACE AREA OF EACH FACADE
- 3 LOCATION OF DESIGNATED PRIMARY FACADES
- 4 LOCATION OF ARTICULATED PUBLIC ENTRANCES
- 5 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
- 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 7 VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
- 8 INDICATE WINDOWS AND COVERED WALKWAYS ARE PROVIDED (25% WINDOWS REQ'D)
- 9 INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- 10 INDICATE BUILDING HEIGHT (H)
- N/A INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE

NON-INDUSTRIAL MATERIAL SELECTIONS:

- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
- N/A INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
- 12 INDICATE AMOUNT AND LOCATION OF 2" REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
- 12 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT.



REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

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214-221-0018
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9-17-2018

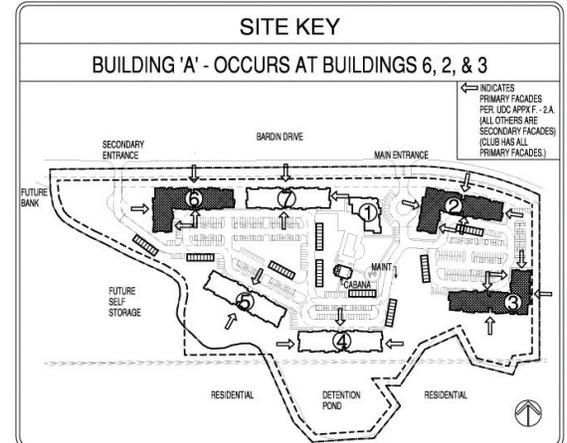
PROJECT
17249

SHEET NUMBER

1
A2-60

CABANA PLAN AND ELEVATIONS

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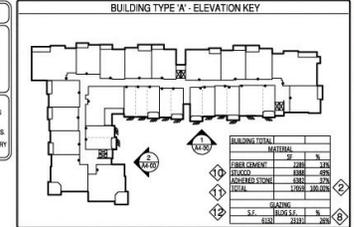


MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UCC APPX F - 2.8.A



- NON-INDUSTRIAL BUILDING DESIGN:**
- HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 & A3)
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF DISORIENTED PRIMARY FACADES
 - LOCATION OF ARTICULATED PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - INDICATE BUILDING HEIGHT (H)
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 & A3)
 - INDICATE THE DESIGN ELEMENTS FOR BALCONY, FIELD WALL, AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PROVIDE OPEN WINDOW REQZ
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF SUPPLEMENTAL STONE
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT WALL APPLIQUES
 - INDICATE AMOUNT AND LOCATION OF REMAINS TLT WALL SURFACES ON REMAINING TLT WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF SUPPLEMENTAL STONE REQUIREMENT



2 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



1 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



08-27-2019

REVISIONS

CREEKSIDE AT GRAND PRAIRIE

GRAND PRAIRIE, TX

PERMIT SET



DATE

08-27-19

PROJECT

17249

SHEET NUMBER

A4-00

BUILDING A EXTERIOR ELEVATIONS

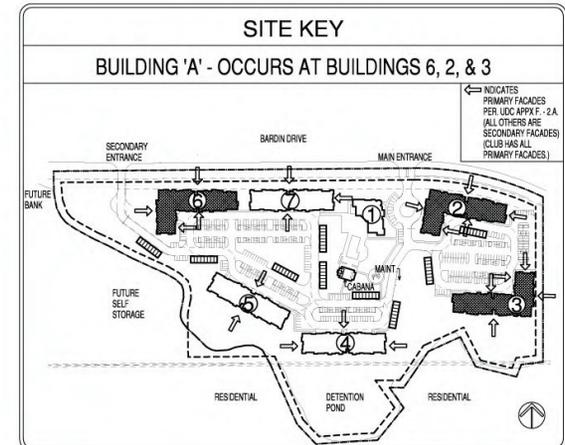
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3 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING TYPE 'A' - ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UCC APPX F - 2.2.4.

BUILDING TYPE 'A' - ELEVATION KEY

BUILDING TOTALS	
MATERIAL	AMOUNT
ADHERED MASONRY - STONE	1,200
FIBER CEMENT - BOARD & BATTEN	1,200
STUCCO & CONTROL JOINTS	1,200
GLASSING	1,200
ST. BRG. S.F.	1,200

- NON-INDUSTRIAL BUILDING DESIGN:**
- PREVIEW EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF DESIGNATED PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - INDICATE BUILDING HEIGHT (H)
 - HORIZONTAL ARTICULATION OF PRIMARY FACADES (REFER TO ELEVATION 1 (A4-01))
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADES (REFER TO ELEVATION 2 (A4-02))
 - INDICATE THE DESIGN ELEMENTS FOR BALCONY, FIELD WALL AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PROPOSED 20% WINDOWS (REQD)
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF 2" REBAR OR FORM LIME STONE TEXTURE ON REMAINING TILT WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF THE SOLI SUPPLEMENTAL STONE REQUIREMENT
 - INDICATE AMOUNT AND LOCATION OF 2" OF CONCRETE TILT WALL APPLIQUER REQUIREMENT

08-27-2019

REVISIONS

CREEKSIDE AT GRAND PRAIRIE

GRAND PRAIRIE, TX

PERMIT SET

2429 BELTWAY DRIVE ADDICKSON, TX 75001
214-520-8878
fedk.com

DATE

08-27-19

PROJECT

17249

SHEET NUMBER

A4-01

BUILDING A
EXTERIOR ELEVATIONS

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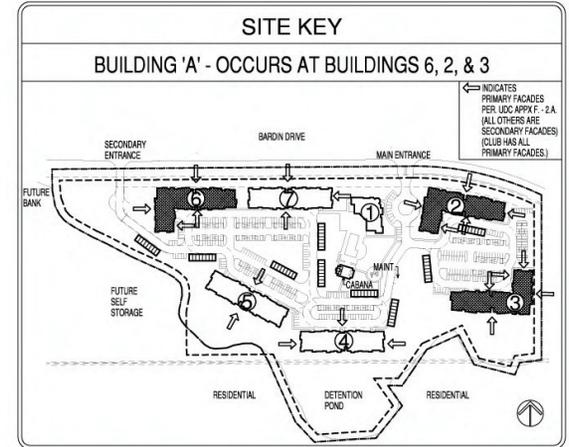
5a BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



5b BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



6 BUILDING TYPE 'B' - TWO ELEVATIONS (ONE O.H.)
SCALE: 1/8" = 1'-0"

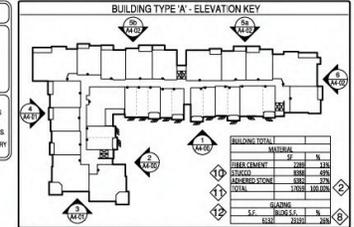


MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 10% OF ALL BUILDING MATERIALS ARE PRINCIPAL MATERIALS AS REQUIRED BY IBC APPX F - 2.8.4



- NON-INDUSTRIAL BUILDING DESIGN:**
- PREVIEW EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF UNFINISHED PRIMARY FACADES
 - LOCATION OF ARTICULATED PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - INDICATE BUILDING HEIGHT (H)
 - HORIZONTAL ARTICULATION OF PRIMARY FACADES (REFER TO ELEVATION 1/A-03)
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADES (REFER TO ELEVATION 2/A-05)
 - INDICATE THE DESIGN ELEMENTS FOR BASE, FELD, WALL, AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PUBLIC ENTRANCES
 - INDICATE WINDOW AND WINDOW REZO
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT WALL APPLIQUES
 - INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL REVEALS OR FORM-LIMIT FEATURE ON REMAINING TILT WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS REVEALS OR FORM-LIMIT FEATURE ON REMAINING TILT WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF CONCRETE TILT WALL APPLIQUES REQUIREMENT



5 BUILDING TYPE 'A' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



08-27-2019

REVISIONS

CREEKSIDE AT GRAND PRAIRIE
GRAND PRAIRIE, TX

PERMIT SET



DATE

08-27-19

PROJECT

17249

SHEET NUMBER

A4-02

BUILDING A
EXTERIOR ELEVATIONS

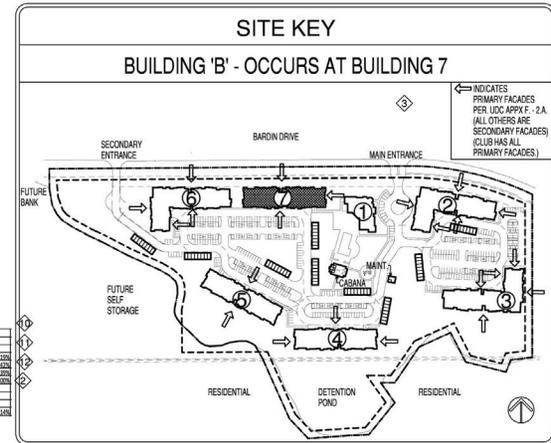
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1 BUILDING TYPE 'B' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



1a BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"



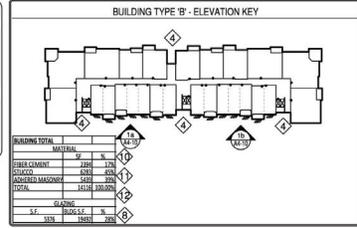
ELEVATION 1		MATERIAL	
QTY	UNIT	QTY	%
1120	SF	1120	39%
2500	SF	2500	82%
2500	SF	2500	82%
6400	SF	6400	100.00%
GLAZING			
100	SF	100	1.56%
7400	SF	7400	115.84%

MATERIAL LEGEND:

- Adhered Masonry - Stone
- Fiber Cement - Board & Batten
- Stucco & Control Joints

NOTES:

- Square Footage is an estimation for city purposes only. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS & ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F - 2.8.



1b BUILDING TYPE 'B' - ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION 2		MATERIAL	
QTY	UNIT	QTY	%
1120	SF	1120	39%
2500	SF	2500	82%
2500	SF	2500	82%
6400	SF	6400	100.00%
GLAZING			
100	SF	100	1.56%
7400	SF	7400	115.84%

- NON-INDUSTRIAL BUILDING DESIGN:**
- Provide exterior elevations
 - Indicate the surface area of each facade
 - Location of ornamentation
 - Location of articulation
 - Public entrances
 - Indicate required roof
 - Indicate building height (ft)
 - Vertical articulation of primary facade (refer to elevation 1 (A-8))
 - Vertical roofline articulation of primary facade (refer to elevation 2 (A-8))
 - Indicate the design elements for base, field wall and parapet with cornice
 - Indicate windows and covered walkways and porches (per window profile)
 - Indicate roof profile component used
 - Indicate roof height
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- Indicate amount and location of principal masonry material
 - Indicate amount and location of substitute materials
 - Indicate amount and location of concrete tilt-wall applies
 - Indicate amount and location of principal masonry material remaining tilt wall surfaces
 - Indicate amount and location of the pre-surfaced stone of requirement.

REVISIONS

LUXE AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

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DATE: 9-26-2018
PROJECT: 17249
SHEET NUMBER: A4-10
BUILDING B EXTERIOR ELEVATIONS

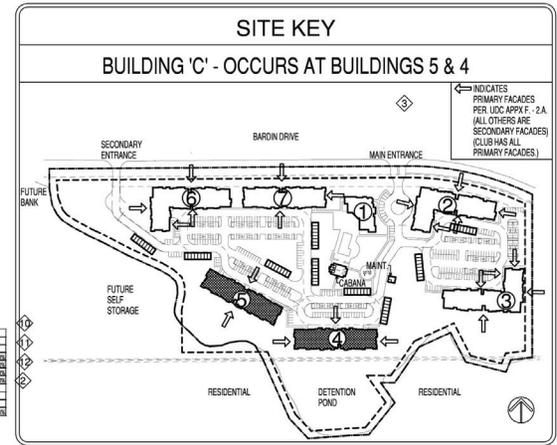
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1 BUILDING TYPE 'C' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



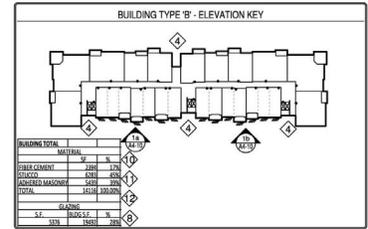
1a BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"



SITE KEY
BUILDING 'C' - OCCURS AT BUILDINGS 5 & 4

INDICATES PRIMARY FACADES PER LOC APPX F - 2.A (ALL OTHERS ARE SECONDARY FACADES) (CLUB HAS ALL PRIMARY FACADES)

ELEVATION 1		MATERIAL	
S.F.	%	S.F.	%
Stone/Concrete	1200	1200	100
Stucco	200	200	17
Adhered Masonry	200	200	17
Other	878	878	73
Total		1200	100.00
S.F.	CLADDING	%	%
1200	STONE	100	83



BUILDING TOTAL		MATERIAL	
S.F.	%	S.F.	%
Stone/Concrete	1200	1200	100
Stucco	200	200	17
Adhered Masonry	200	200	17
Other	878	878	73
Total		1200	100.00
S.F.	CLADDING	%	%
1200	STONE	100	83

- MATERIAL LEGEND:**
- ACHIEVED MASONRY - STONE
 - FIBER CEMENT - BOARD & BATTEN
 - STUCCO & CONTROL JOINTS
- NON-INDUSTRIAL BUILDING DESIGN:**
- PROVIDE EXTERIOR ELEVATIONS
 - INDICATE THE SURFACE AREA OF EACH FACADE
 - LOCATION OF OBSERVABLE PUBLIC ENTRANCES
 - INDICATE REQUIRED ROOF HEIGHT
 - INDICATES BUILDING HEIGHT (ft)
 - HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 (A-08))
 - VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 (A-09))
 - INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
 - INDICATE WINDOWS AND COVERED WALKWAYS AND PROTECTIVE SPR. WINDOW PROTECT.
 - INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - INDICATE AMOUNT AND LOCATION OF 2" CERAMIC OR FORMAL GROUT TEXTURE ON REMAINING TILT-WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - INDICATE AMOUNT AND LOCATION OF THE 20% SUPERIOR QUALITY STONE OF CONCRETE TILT-WALL APPLIES
 - INDICATE AMOUNT AND LOCATION OF 2" CERAMIC OR FORMAL GROUT TEXTURE ON REMAINING TILT-WALL SURFACES
 - INDICATE AMOUNT AND LOCATION OF THE 20% SUPERIOR QUALITY STONE OF CONCRETE TILT-WALL APPLIES



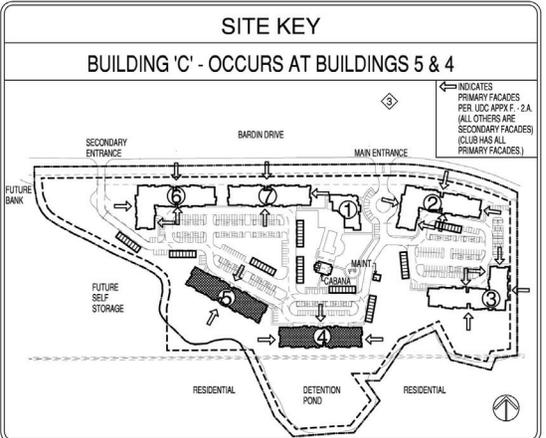
1b BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION 1		MATERIAL	
S.F.	%	S.F.	%
Stone/Concrete	1200	1200	100
Stucco	200	200	17
Adhered Masonry	200	200	17
Other	878	878	73
Total		1200	100.00
S.F.	CLADDING	%	%
1200	STONE	100	83

REVISIONS
LUXE AT GRAND PRAIRIE
 GRAND PRAIRIE, TX
 DEVELOPMENT SUBMITTAL
BGO architects
 4202 Bellway Drive
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 214.220.8879
 bgoarchitects.com
 DATE: 9-26-2018
 PROJECT: 17249
 SHEET NUMBER: A4-20
 BUILDING C EXTERIOR ELEVATIONS
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2 BUILDING TYPE 'C' - OVERALL ELEVATION KEY
SCALE: 1/8" = 1'-0"



SITE KEY

BUILDING 'C' - OCCURS AT BUILDINGS 5 & 4

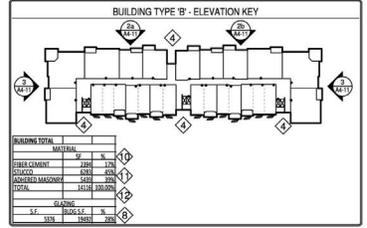
INDICATES PRIMARY FACADES PER LOC APPX F - 2A (ALL OTHERS ARE SECONDARY FACADES) (CLUB HAS ALL PRIMARY FACADES)

ELEVATION 1		MATERIAL	
Fiber Cement	280	SP	100%
Stucco	280	SP	100%
Adhered Masonry	100	SP	100%
Stucco	100	SP	100%
Total	660		

ELEVATION 2		MATERIAL	
Fiber Cement	280	SP	100%
Stucco	280	SP	100%
Adhered Masonry	100	SP	100%
Stucco	100	SP	100%
Total	660		



2a BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING TOTAL		MATERIAL	
Fiber Cement	280	SP	100%
Stucco	280	SP	100%
Adhered Masonry	100	SP	100%
Stucco	100	SP	100%
Total	660		



2b BUILDING TYPE 'C' - ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND:

- ADHERED MASONRY - STONE
- FIBER CEMENT - BOARD & BATTEN
- STUCCO & CONTROL JOINTS

NON-INDUSTRIAL BUILDING DESIGN:

- PROVIDE EXTERIOR ELEVATIONS
- INDICATE THE SURFACE AREA OF EACH FACADE
- LOCATION OF OBSERVABLE PUBLIC ENTRANCES
- INDICATE REQUIRED ROOF MATERIALS SHALL CONTAIN ANCHORED EXTERIOR CONTOURS
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY LOC APPX F - 2B
- INDIVIDUAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 1 (A-05))
- VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 (A-06))
- INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
- INDICATE WINDOWS AND COVERED WALKWAYS AND PROTECTIVE SPRAY WINDOW PROTECT
- INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE
- INDICATES BUILDING HEIGHT (ft)

NON-INDUSTRIAL MATERIAL SELECTIONS:

- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF SUBSTITUTED MATERIALS
- INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF REMAINING TILT-WALL SURFACES
- INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
- INDICATE AMOUNT AND LOCATION OF REMAINING TILT-WALL SURFACES
- INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLICATIONS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.



3 BUILDING TYPE 'C' - TWO ELEVATIONS (ONE O.H.)
SCALE: 1/8" = 1'-0"

ELEVATION 1 (O.H.)		MATERIAL	
Fiber Cement	280	SP	100%
Stucco	280	SP	100%
Adhered Masonry	100	SP	100%
Stucco	100	SP	100%
Total	660		

REGISTERED ARCHITECT
STATE OF TEXAS
09-26-2018
REVISIONS

LUXE AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

BGO architects
4202 Bellway Drive
Addicks, TX 75001
214.520.8879
bgoarchitects.com

DATE
9-26-2018

PROJECT
17249

SHEET NUMBER
A4-21
BUILDING C
EXTERIOR ELEVATIONS

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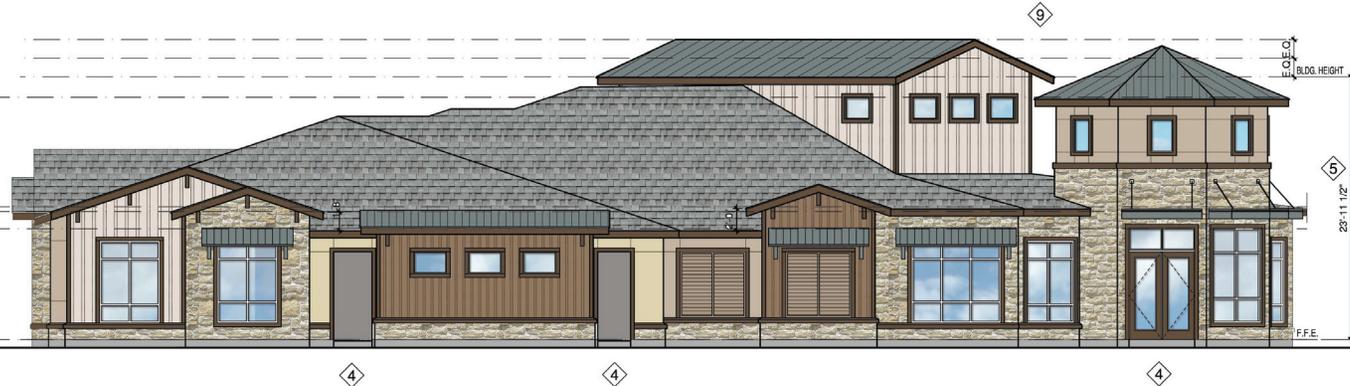
ELEVATION 3/A4-20			
MATERIAL			
	SF	%	
Fiber Cement	101	8%	
Stucco	678	55%	
Adhered Stone	846	68%	
Total	1225	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
630	1855	34%	

3 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



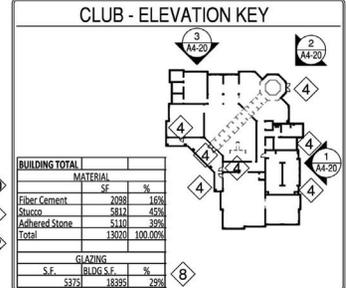
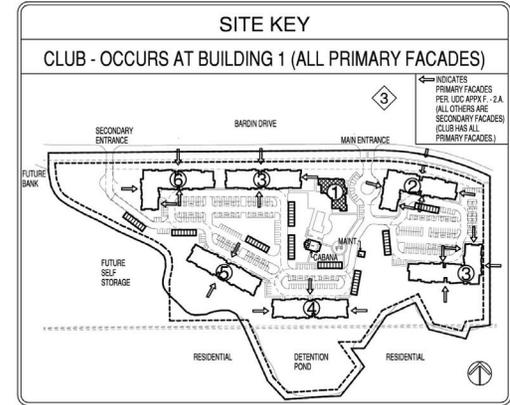
ELEVATION 2/A4-20			
MATERIAL			
	SF	%	
Fiber Cement	330	96%	
Stucco	5	1%	
Adhered Stone	10	3%	
Total	341	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
694	51%		

2 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



ELEVATION 1 / A4-20			
MATERIAL			
	SF	%	
Fiber Cement	532	40%	
Stucco	273	20%	
Adhered Masonry	532	40%	
Total	1337	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
306	1643	19%	

1 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



- NON-INDUSTRIAL BUILDING DESIGN:**
- 1 PROVIDE EXTERIOR ELEVATIONS
 - 2 INDICATE THE SURFACE AREA OF EACH FACADE
 - 3 LOCATION OF DESIGNATED PRIMARY FACADES
 - 4 LOCATION OF ARTICULATED, PUBLIC ENTRANCES
 - 5 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
 - 7 VERTICAL ROOFLINE ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
 - 8 INDICATE THE DESIGN ELEMENTS FOR BASE, FIELD WALL AND PARAPET WITH CORNICE
 - 9 INDICATE WINDOWS AND COVERED WALKWAYS ARE PROVIDED (25% WINDOWS REQ'D)
 - 10 INDICATE REQUIRED ROOF PARAPET WALL HEIGHT
 - 11 INDICATE ROOF PROFILE COMPONENT USED FOR ARTICULATED WALL PLANE

- NON-INDUSTRIAL MATERIAL SELECTIONS:**
- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - 12 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
 - 13 INDICATE AMOUNT AND LOCATION OF 2 REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
 - 14 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT.

- MATERIAL LEGEND:**
- ADHERED MASONRY - STONE
 - FIBER CEMENT - BOARD & BATTEN
 - STUCCO & CONTROL JOINTS

NOTES:

- SQUARE FOOTAGE IS AN ESTIMATION FOR CITY PURPOSES ONLY. NOT TO BE USED FOR BIDDING PURPOSES.
- MATERIALS SHALL CONTINUE AROUND EXTERIOR CORNERS.
- 100% OF ALL BUILDING MATERIALS ARE PRINCIPAL MASONRY AS REQUIRED BY UDC APPX F. - 2.B.a

REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

DEVELOPMENT SUBMITTAL

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214.520.8878
bgoarchitects.com

DATE
9-17-2018

PROJECT
17249

SHEET NUMBER
A4-30
CLUB EXTERIOR ELEVATIONS

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ELEVATION 3/A4-21			
MATERIAL			
	SF	%	
Fiber Cement	89	6%	
Stucco	689	50%	
Adhered Stone	694	49%	
Total	1384	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
504	1888	27%	

3 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



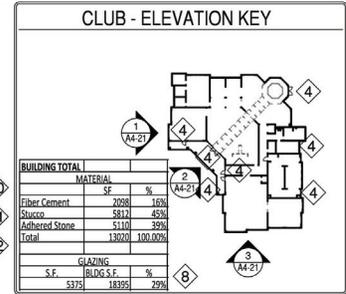
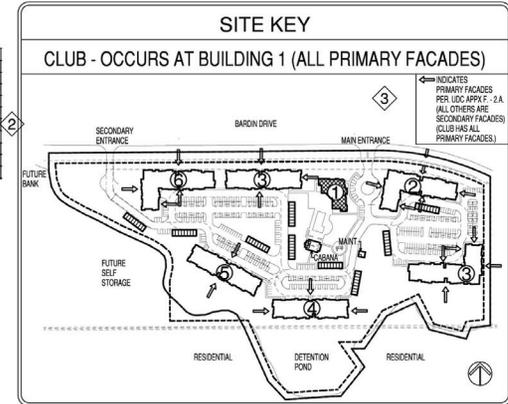
ELEVATION 2/A4-21			
MATERIAL			
	SF	%	
Fiber Cement	760	14%	
Stucco	2507	46%	
Adhered Stone	2147	40%	
Total	5414	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
2394	7898	31%	

2 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



ELEVATION 1/A4-21			
MATERIAL			
	SF	%	
Fiber Cement	290	9%	
Stucco	1660	50%	
Adhered Stone	1369	41%	
Total	3319	100.00%	
GLAZING			
S.F.	BLDG S.F.	%	
1188	4507	26%	

1 CLUB - ELEVATION
SCALE: 3/16" = 1'-0"



- NON-INDUSTRIAL BUILDING DESIGN:**
- 1 PROVIDE EXTERIOR ELEVATIONS
 - 2 INDICATE THE SURFACE AREA OF EACH FACADE
 - 3 LOCATION OF DESIGNATED PRIMARY FACADES
 - 4 LOCATION OF ARTICULATED PUBLIC ENTRANCES
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 - 6 HORIZONTAL ARTICULATION OF PRIMARY FACADE (REFER TO ELEVATION 2 / A4-00)
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- 10 INDICATE AMOUNT AND LOCATION OF PRINCIPAL MASONRY MATERIAL
 - 11 INDICATE AMOUNT AND LOCATION OF SUBSTITUTE MATERIALS
 - 12 INDICATE AMOUNT AND LOCATION OF CONCRETE TILT-WALL APPLIQUES
 - 13 INDICATE AMOUNT AND LOCATION OF 2" REVEALS OR FORM LINER TEXTURE ON REMAINING TILT-WALL SURFACES
 - 14 INDICATE AMOUNT AND LOCATION OF THE 25% SUPPLEMENTAL STONE REQUIREMENT.

- MATERIAL LEGEND:**
- ADHERED MASONRY - STONE
 - FIBER CEMENT - BOARD & BATTEN
 - STUCCO & CONTROL JOINTS

NOTES:

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REGISTERED ARCHITECT
BGO architects
09-17-2018

REVISIONS

LUX AT GRAND PRAIRIE
GRAND PRAIRIE, TX

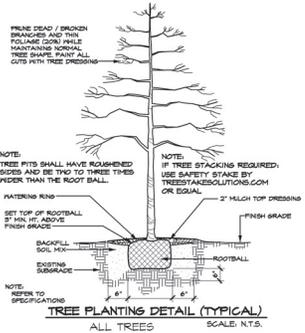
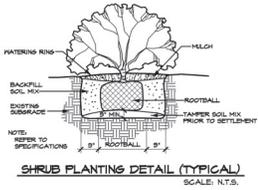
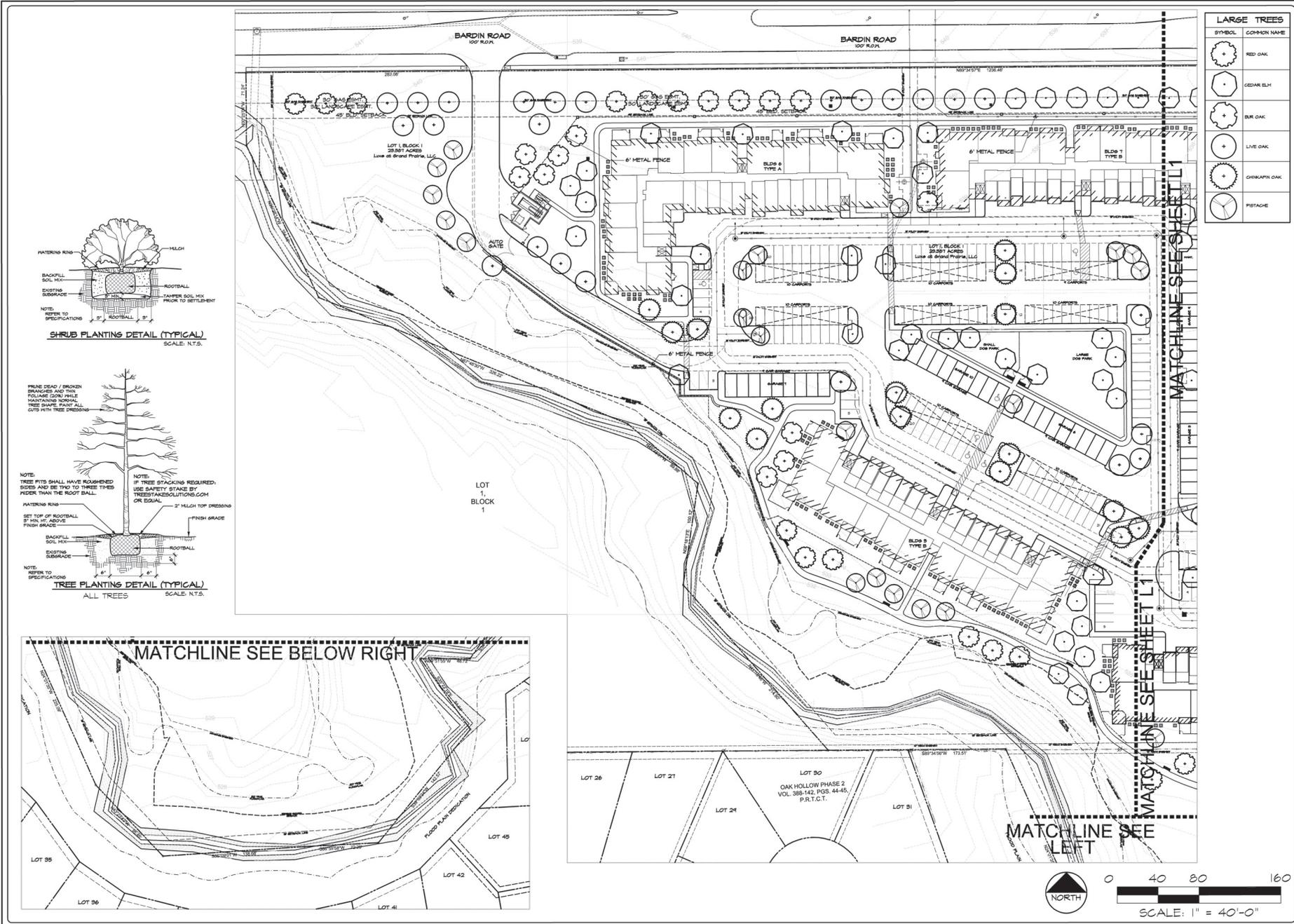
DEVELOPMENT SUBMITTAL

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DATE
9-17-2018

PROJECT
17249

SHEET NUMBER
A4-31
CLUB EXTERIOR ELEVATIONS



LARGE TREES	
SYMBOL	COMMON NAME
	RED OAK
	CEDAR ELM
	BUR OAK
	LIVE OAK
	CHICKASAW OAK
	PISTACHE

Date	Revisions

Issued For:
SUBMITTAL
Job No:
18130
Scale:
1" = 40'-0"
Drawn By:
JDS
Date:
2-10-2020

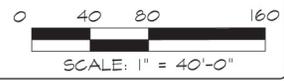
Creekside at Grand Prairie

Grand Prairie, Texas



Landscape Plan

Sheet Title:
L2
of L2 sheets





Legislation Details (With Text)

File #: 20-9793 Version: 1 Name: Z200203 – Civic Campus and Calvary Baptist Church
Type: Ordinance Status: Public Hearing
File created: 2/11/2020 In control: Planning and Zoning Commission
On agenda: 2/24/2020 Final action:
Title: Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (Commissioner Moser/City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district.

Sponsors:

Indexes:

Code sections:

- Attachments: Exhibit A - Location Map.pdf
Exhibit B - Zoning Comparison.pdf
Exhibit C - Letter of Support.pdf

Table with 5 columns: Date, Ver., Action By, Action, Result

From

Chris Hartmann

Title

Z200203 - Zoning Change - Civic Campus and Calvary Baptist Church (Commissioner Moser/City Council District 5). From Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district.

City Council Action: March 3, 2020

Presenter

Savannah Ware, AICP, Senior Planner

Recommended Action

Approve

Analysis

SUMMARY:

Zoning change from Single Family-Four (SF-4), General Retail (GR), and Two Family (2F) to Central Area (CA) zoning district. Lots 1-14, Block B2, Lots 1-6, Block C3, Lots 8-14, Block E5, Lots 1-8, Block H8, Lots 1-4, Block J9, Lots 5-8, Block K10, W.H. Thomas’ Second Addition; Lots 1-2, Block 229/A1, Thomas Second Revised; Lots 7-11, Block JD, JD Duncans Chase; Lots 1-2, Block B, Chase; All of that tract of land described to the City of Grand Prairie in Volume 91135, Page 2216, situated in the McKinney and Williams Survey, Abstract No. 1003; City of Grand Prairie, Dallas County, Texas. Located at 406-526 W Church Street, 300 W Main Street, 310 College Street, and 400 College Street.

PURPOSE OF REQUEST:

The purpose of the request is to rezone subject properties to Central Area (CA) District. The properties included in this request are described below. This will not rezone any existing residential properties.

City of Grand Prairie Properties

- Parks Administration Building
- CVE Training Facility
- City Hall West (former City Hall)
- City Hall Central (new City Hall)
- City Hall East (former Development Center)

Calvary Baptist Church Properties

- Calvary Baptist Church and Offices
- Undeveloped land west of church buildings and east of NW 6th Street
- Buildings located at 421 W Church Street and 114 NW 5th Street

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-67, PD-148, 2F, SF-4	Single & Two Family Residential
	GR	Community Organizations/Offices
South	CA, SF-4, O-1, GR-1	Commercial, City Offices, Residential
West	SF-1, 2F, GR-1	Single & Two Family Residential, Offi
East	CA	City Offices, County Office
	GR	Community Organizations/Offices

HISTORY:

- November 6, 2007: City Council approved a text amendment creating a Central Business District Overlay with four sub-areas (TA071001). The subject properties are within Central Business District No. 2, which is historically the cultural core of Grand Prairie and is projected as a Mixed Use area including residential units above retail and commercial uses.
- January 14, 2020: The City of Grand Prairie initiated a development request to rezone the subject

properties to Central Area (CA) District.

- February 18, 2020: Staff met with Trustees of Calvary Baptist Church to review the proposed zoning change.
- February 19, 2020: Trustees of Calvary Baptist Church submitted a letter of support for the proposed zoning change.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The 2018 Comprehensive Plan's Future Land Use Map (FLUM) designates this area as Mixed Use. Mixed Use areas are intended for a mixture of non-residential and residential uses that are oriented around the pedestrian.

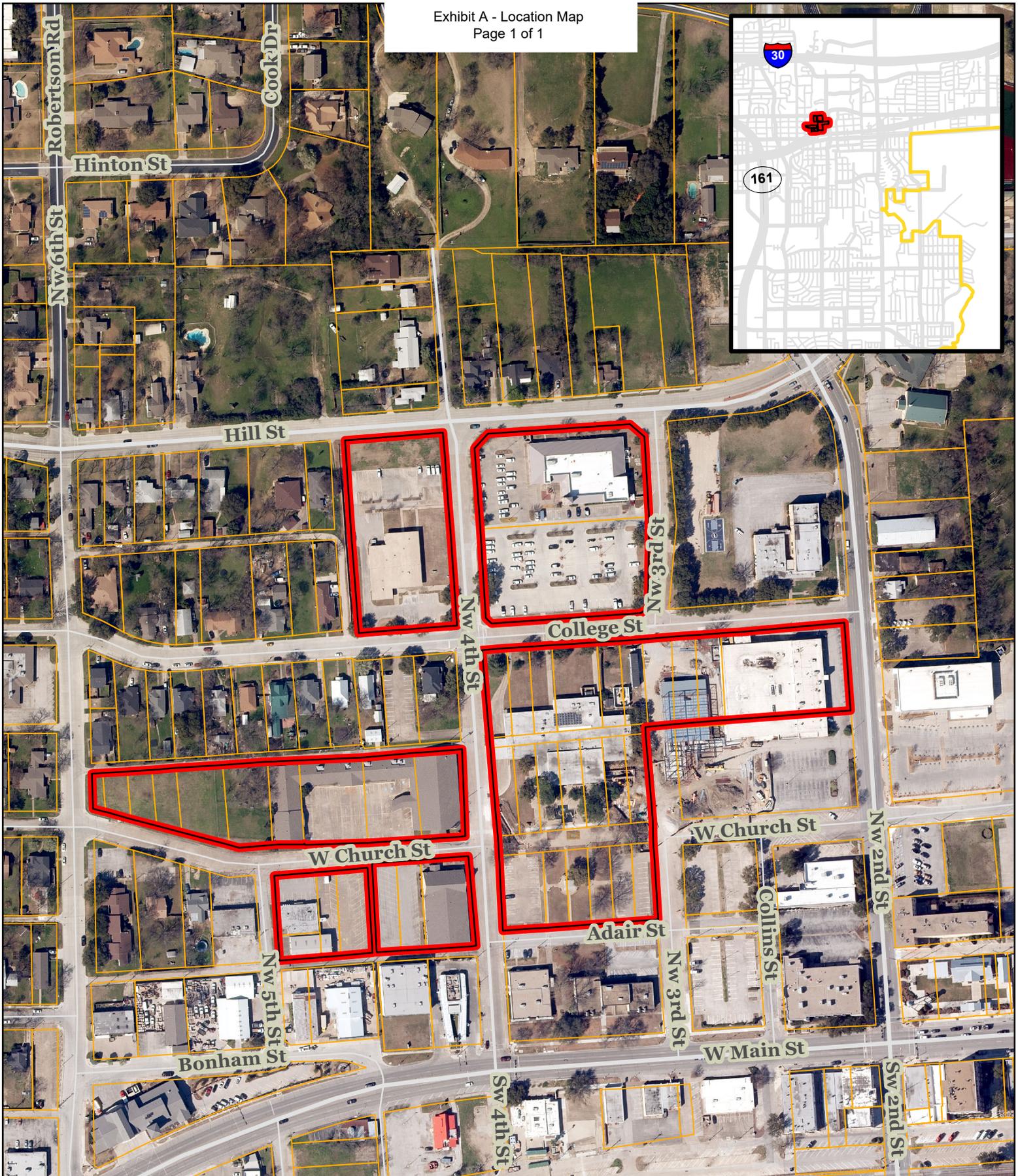
The subject properties are also within the study area of the 2019 Downtown Master Plan. The purpose of the Downtown Master Plan is to create a unique and identifiable downtown that serves the local residents and community, supports economic vibrancy, and offers destination-oriented uses to create greater regional gravity.

The proposed zoning change is consistent with the Comprehensive Plan and the Downtown Master Plan.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Body

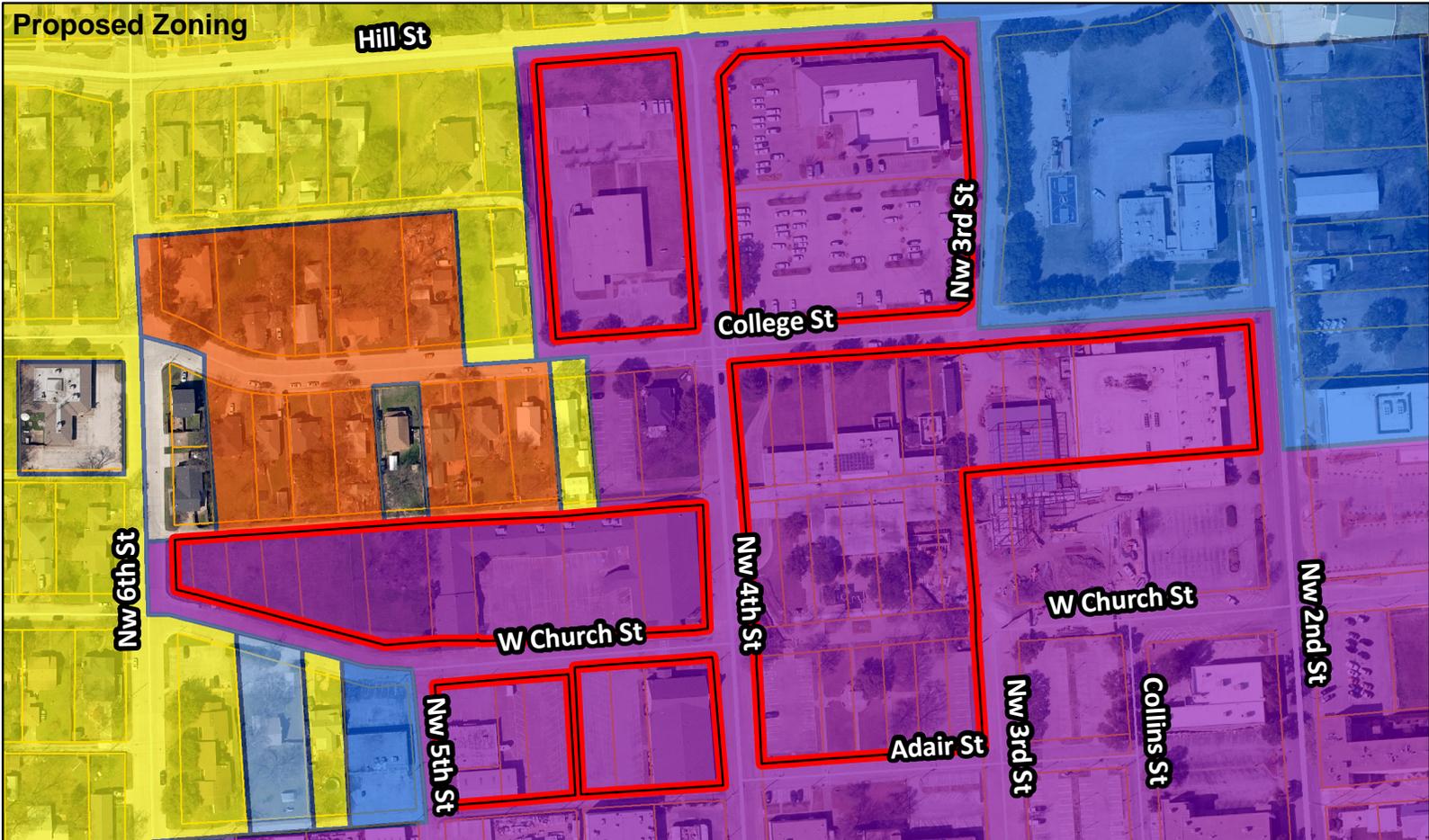
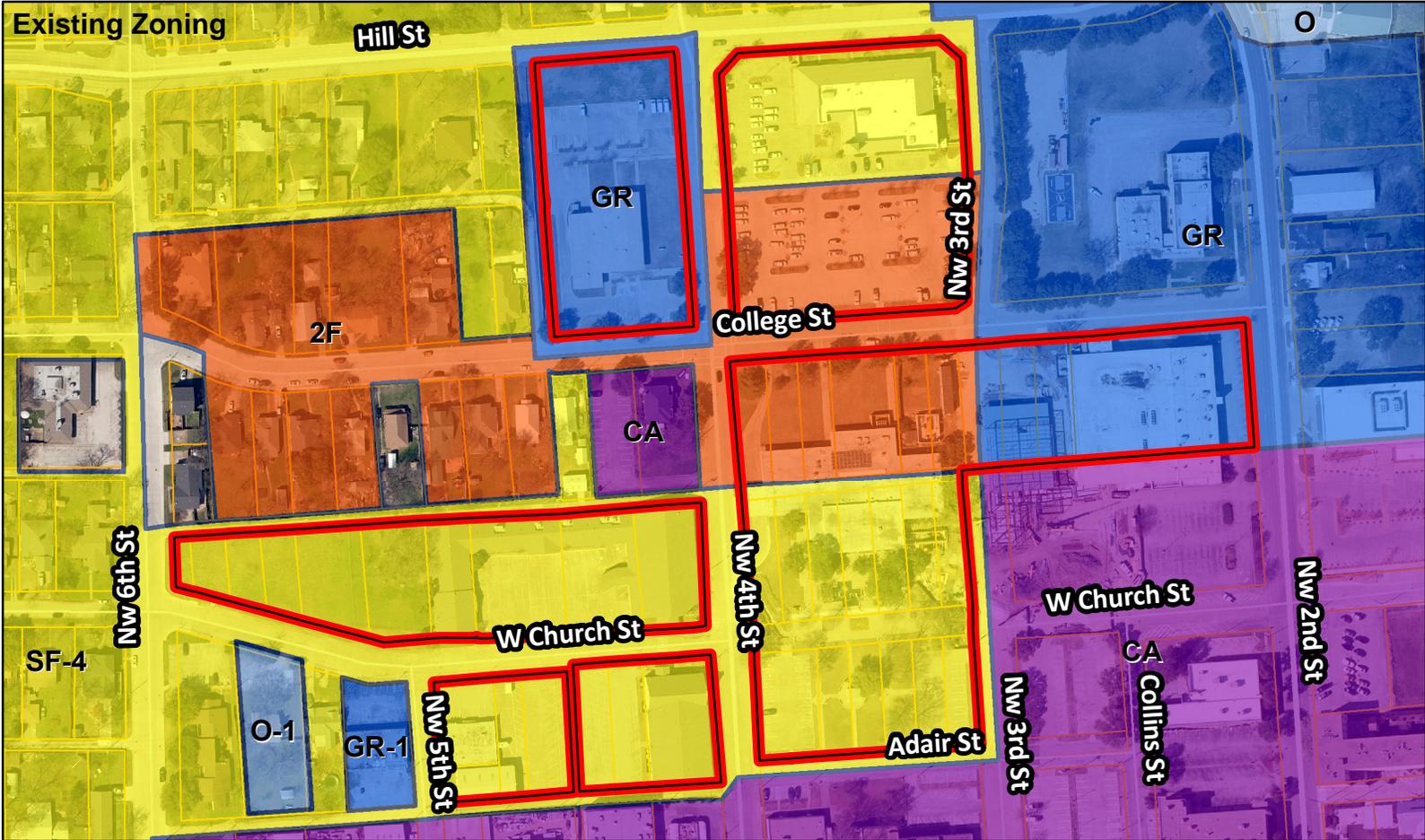


CASE LOCATION MAP
Case Number Z200203
Civic Campus and Calvary Baptist Church



City of Grand Prairie
Development Services

☎ (972) 237-8255
🌐 www.gptx.org



February 19, 2020

Planning Department

FEB 19 2020

Received

City of Grand Prairie, Texas

Josh Spare

Chairman

Planning and Zoning Commission

Dear Mr. Chairman and Commission Members

The Trustees of Calvary Baptist Church have reviewed the proposed rezoning of our properties. We are supportive of the rezoning as presented to us by Ms. Ware.

Let me emphasize that we do not currently have any plans for new development on our existing properties.

We will be celebrating our 85th year of the founding of our church on March 15th

All of you are invited to attend our service.

We request that this letter be read into the minutes of your Meeting.

Sincerely,



Lynn Motley

Deacon, Trustee and Chairman of the Board

Calvary Baptist Church



Legislation Details (With Text)

File #: 20-9794 **Version:** 1 **Name:** Z060601A – Zoning Change – PD Amendment, Greenway Trails

Type: Ordinance **Status:** Public Hearing

File created: 2/11/2020 **In control:** Planning and Zoning Commission

On agenda: 2/24/2020 **Final action:**

Title: Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (Commissioner Spare/City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.
City Council Action: March 3, 2020

Sponsors:

Indexes:

Code sections:

- Attachments:** [Exhibit A - Location Map](#)
[Exhibit B - Zoning Document](#)
[Exhibit C - Garage Calculations](#)

Date	Ver.	Action By	Action	Result
------	------	-----------	--------	--------

From

Chris Hartmann

Title

Z060601A - Zoning Change - Planned Development Amendment - Greenway Trails (Commissioner Spare/City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas, zoned PD-322. The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.

City Council Action: March 3, 2020

Presenter

David P. Jones, AICP, Chief City Planner

Recommended Action

Approve

Analysis

SUMMARY:

Planned Development Amendment (City Council District 6). For 384.267 acres out of the J. Lawrence Survey, Abstract No. E616 and the S.M. Blair Survey, Abstract No. E135, City of Grand Prairie, Ellis County, Texas,

zoned PD-322. The property is generally located east of SH-360, north of US 287, west of F.M. 661 and south of Joe Pool Lake.

PURPOSE OF REQUEST:

The purpose of the request is to adjust requirements relating to garage orientation and building elevations and to align the PD with the approved Preliminary Plat.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1: Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	AG; City of Mansfield	Undeveloped
South	PD-328; AG	Undeveloped; US-287
West	AG; City of Mansfield	Single and Multi-Family Residential; S
East	AG	Undeveloped; FM-661

HISTORY:

- August 8, 2006: City Council approved PD-322 (Z060601/CPA060601), zoning 384.27 acres for single-family residential, including TND (Traditional Neighborhood Development) and mixed use regional/employment center uses.
- 2007-2008: Multiple gas wells were permitted in and around the property which impacted the potential layout of residential lots within PD-322: Merrill 1H & 2H, permitted 2007; and Orr Unit 1H-4H, permitted 2008
- August 30, 2016: Planning and Zoning Commission approved a Preliminary Plat (P160301) for Greenway Trails, including a preliminary layout for 5 residential phases and depicting 135' Tarrant Regional Water District (TRWD) pipeline easement cutting through majority of TND portion of original PD.
- 2016-2019: TRWD constructs water line through majority of TND portion of original PD.
- April 1, 2019: Planning and Zoning Commission approved Final Plat for Greenway Trails, Ph. 1 consisting of 98 residential lots and 4 non-residential lots.

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The amendment does not change the approved uses on the property, but removes the TND elements from Phase 5 in favor of contemporary homes on 62' and 72' lots. The developer further requests that since the TND homes required 100% non-front entry garages, that the homes within that phase be allowed the same percentage of front-entry garages as the other phases in the PD.

DEVELOPMENT STANDARDS:

The applicant is proposing that the over percentage of non-front entry garage units required go from 58% under the existing scheme, which included TND lots, to 39%, which will remove TND lots.

The calculations are summarized in the table below:

**Table 2a: Lot Width and Garage Summary
(Existing PD)**

Lot Width	# Lots	% Non-Front Entry Gara
60-69 feet	438	30%
70+ feet	155	50%
TND	330	100%
TOTAL	923	58.3%

**Table 2b: Lot Width and Garage Summary
(Proposed PD)**

Lot Width	# Lots (per Prelim Plat)	% Non-Front Entry Gara
60-69 feet	352 (-86)	50% (+20%)
70+ feet	256 (+101)	50%
TND	0 (-330)	0
TOTAL	608 (-315)	50%

ANALYSIS:

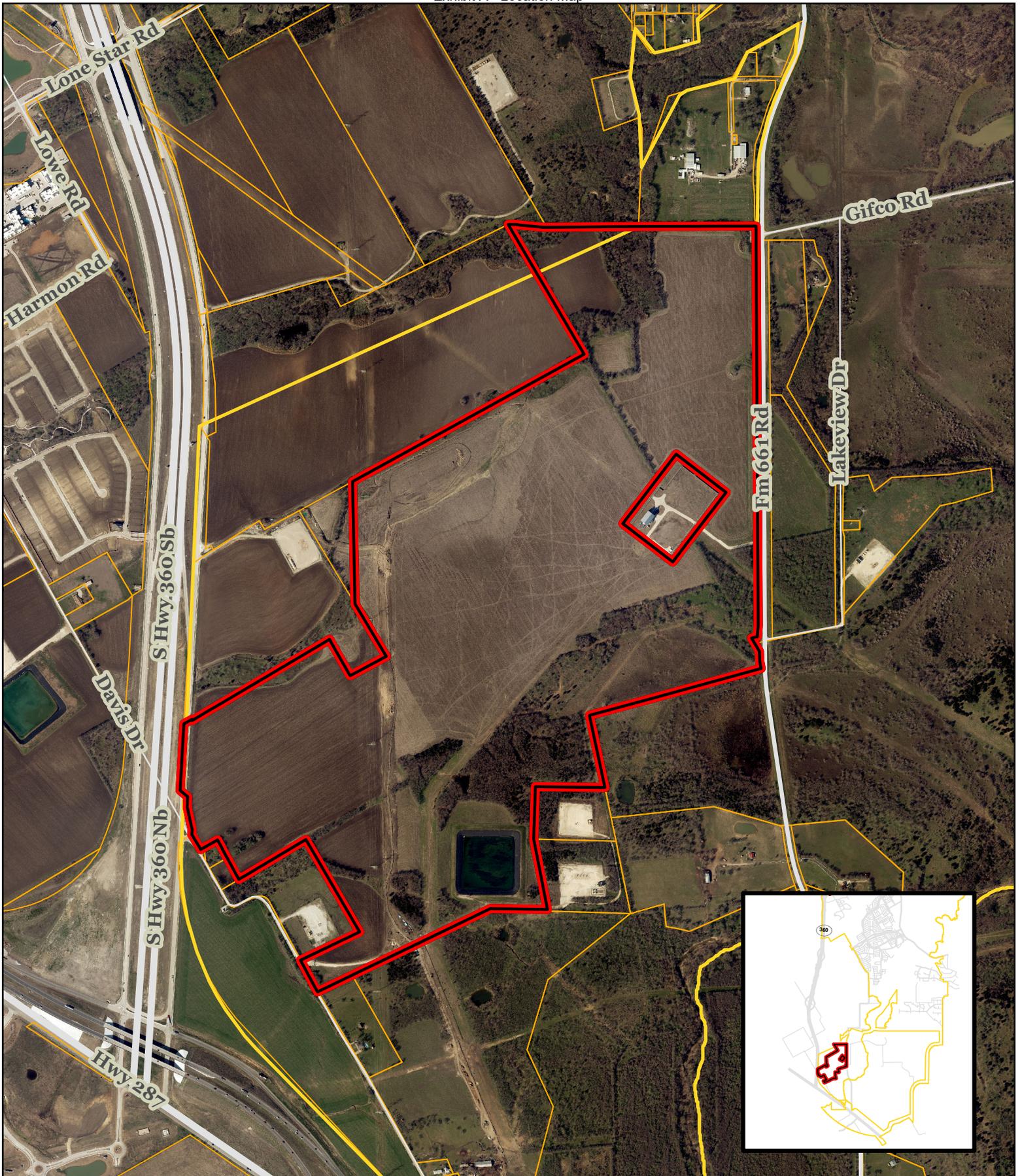
The ability to develop the TND lots conceived in the original PD was severely hampered by two factors that occurred between 2006 and 2016: the construction of two gas wells and an associated fracking pond, and the extension of a water service line by TRWD. Since TND development relies on clustered blocks of homes in a predominantly grid-like street pattern to achieve walkability, the construction of the gas wells and water line had a devastating effect on the layouts that were achievable at the time these facilities were put in place. The subsequent approval of a preliminary plat showing lots arranged around the facilities altered the vision of the approved concept plan.

While these modifications call into question the viability of a TND-style development in this lot configuration, staff believes that the subject of garage orientation is a separate matter from lot and street configuration. Under the PD, more than half of all lots (if TND is included) were required to be non-front entry. Were the percentage of non-front entry garages kept the same for 60-69 and 70+ foot lots, the overall percentage of non-front entry garages would fall by nearly 20% due to the loss of the 330 TND lots. The applicant proposes to offset this reduction by increasing the percentage of non-front entry garages on 60-69 foot lots by 20%, bringing the total percentage across the PD to 50% non-front entry garages.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Body

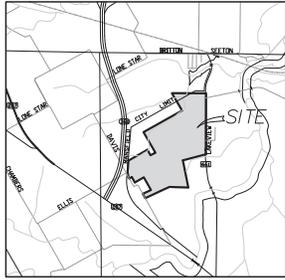


CASE LOCATION MAP
Case Number Z060601A
Greenway Trails PD Amendment



City of Grand Prairie
Development Services

(972) 237-8255
www.gptx.org



VICINITY MAP
Not to Scale

CITY OF GRAND PRAIRIE
CITY LIMITS

100-YEAR FLOOD PLAIN
BASED ON FEMA MAPS

130' WATER LINE EASEMENT
TO BE UTILIZED AS A LINEAR
PARK

OPEN SPACE LOCATED
NEAR EXISTING CREEK

OPEN SPACE/
DETENTION

PROPOSED FUTURE ROAD P6D
140' ROW

VARIABLE WIDTH ROW DEDICATION

EXISTING BLANKET GAS LINE EASEMENT
TO BE RELOCATED

RELOCATED 50' BLANKET
GAS LINE EASEMENT

GREENWAY TRAILS

CURRENT ZONING

"A" AGRICULTURE

PROPOSED ZONING

"D0" PLANNED DEVELOPMENT FOR SINGLE-FAMILY RESIDENTIAL USES, COMMERCIAL USES, PUBLIC OPEN SPACES, AND MIXED-USES TO INCLUDE RETAIL, COMMERCIAL, AND OFFICE USES.

OWNERS

HT DEVELOPMENT GROUP LP
215 WALNUT
MONROE, LA 71201

CHARLES A ORR ET AL
2707 PONDROSA
ARLINGTON, TX 76014

DOYLE CARLTON ESTATE TRUST
918 CROCKET
MIDLOTHIAN, TX 76065

NEHEMIAH PARTNERS LP
1501 WEST RANDOL MILL RD
ARLINGTON, TX

DEVELOPER

BARUCH PROPERTIES
8235 DOUGLAS AVENUE, SUITE 770
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TEL: 214.738.2900
FAX: 214.738.2904
CONTACT: JEFF WILLIAMS

ENGINEER/SURVEYOR

MYOSKIE MCINNIS ASSOCIATES
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TEL: 817.469.1671
FAX: 817.274.8757
CONTACT: CLIFF MYOSKIE

LEGAL DESCRIPTION

SEE ATTACHED SURVEY

LEGEND

- A** DESIGNATED ZONING AREA
- A- SINGLE FAMILY RESIDENTIAL
 - B- SINGLE FAMILY RESIDENTIAL
 - C- SINGLE FAMILY RESIDENTIAL
 - D- SINGLE FAMILY RESIDENTIAL
 - E- MIXED USES
- ZONING AREA BOUNDARY
- ▨ ZONING AREA
D-1

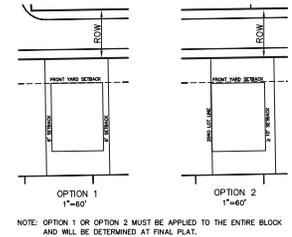
STATE HIGHWAY 360
VARIABLE WIDTH ROW

ZONING AREA	BASE ZONING DISTRICT	ACRES	OPEN SPACE (ACRES)	APPROX. # OF LOTS	MINIMUM LOT SIZE AND DIMENSIONS				MINIMUM YARD SETBACKS						MINIMUM MASONRY/BRICK COVERAGE (PERCENT)	MINIMUM ROOF PITCH			
					AREA (SQ. FT.)	WIDTH (FEET)	DEPTH (FEET)	FRONT (FEET)	REAR (FEET)	REAR ALLEY (FEET)	INTERNAL SIDE (FEET)	SIDE ON STREET (FEET)	SIDE REAR GARAGE (FEET)	MAXIMUM HEIGHT (FEET)					
A	SP-3	39.9	20.94	62	200-1000	9,000	70'	110'	25'	10'	15'	4'	15'	20'	20'	25'	50	80	6:12
B	SP-4	198.2	35.49	438	800-2000	7,800	60'	110'	20'	10'	15'	6'	15'	20'	20'	50	80	6:12	
C	SP-3	28.0	8.5	93	200-1000	8,400	70'	110'	20'	10'	15'	6'	15'	20'	20'	50	80	6:12	
D	SP-4	73.4	8.57	268	1800	6,000	60'	110'	17'	10'	15'	6*	15'	20'	20'	25'	50	25	6:12

MIXED USE ZONING SUMMARY			
ZONING AREA	BASE ZONING DISTRICT	ACRES	OPEN SPACE (GROSS ACRES)
E	MU	82.7	-
PERMITTED ZONING DISTRICTS			
* ALL NON RESIDENTIAL USES WITH THE EXCEPTION OF HEAVY INDUSTRIAL.			

GENERAL NOTES:

- LOT COUNT AND ACRES SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY AND ARE NOT CONSIDERED TO BE A MAXIMUM OR MINIMUM SHOWN IN EACH AREA LOT COUNTS AND ACRES WILL BE DETERMINED AT TIME OF FINAL PLAN.
- ZONING DISTRICTS SHALL COMPLY WITH THE BASE ZONING DISTRICT, UNLESS OTHERWISE SPECIFIED BY THIS PLANNED DEVELOPMENT.
- FRONT ENTRY GARAGES ARE NOT PERMITTED WITHIN ZONING AREA D.
- A ZERO-LOT LINE MAY BE UTILIZED TO INCORPORATE SIDE ENTRY GARAGES THESE ARE DESIGNATED AS ZONING AREA D-1. REFER TO AREA D-1 SIDE YARD DETAIL FOR SET BACK OPTIONS.
- ARCHITECTURAL FACADES WITHIN ZONING AREA D SHALL COMPRISE OF NO MORE THAN 50% BRICK OR STONE MATERIAL AND NO LESS THAN 75% CEMENTITIOUS FIBER BOARD MATERIAL (HARDPLANK).
- ZONING AREA E SHALL COMPLY WITH THE REGULATIONS SET FORTH IN THE INTERSTATE HIGHWAY-20 OVERLAY DISTRICT.
- ZONING DISTRICTS WITHIN ZONING AREA E SHALL BE SPECIFIED BY APPLICANT AT TIME OF BUILDING PERMIT.



NOTE: OPTION 1 OR OPTION 2 MUST BE APPLIED TO THE ENTIRE BLOCK AND WILL BE DETERMINED AT FINAL PLAN.

AREA D-1 SIDE YARD DETAIL

ZONING CASE: Z060601

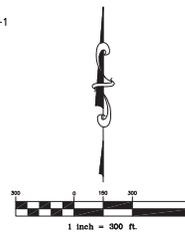
CONCEPT PLAN
FOR
GREENWAY TRAILS
GRAND PRAIRIE, TEXAS
384.267 ACRES
MAY 8, 2006

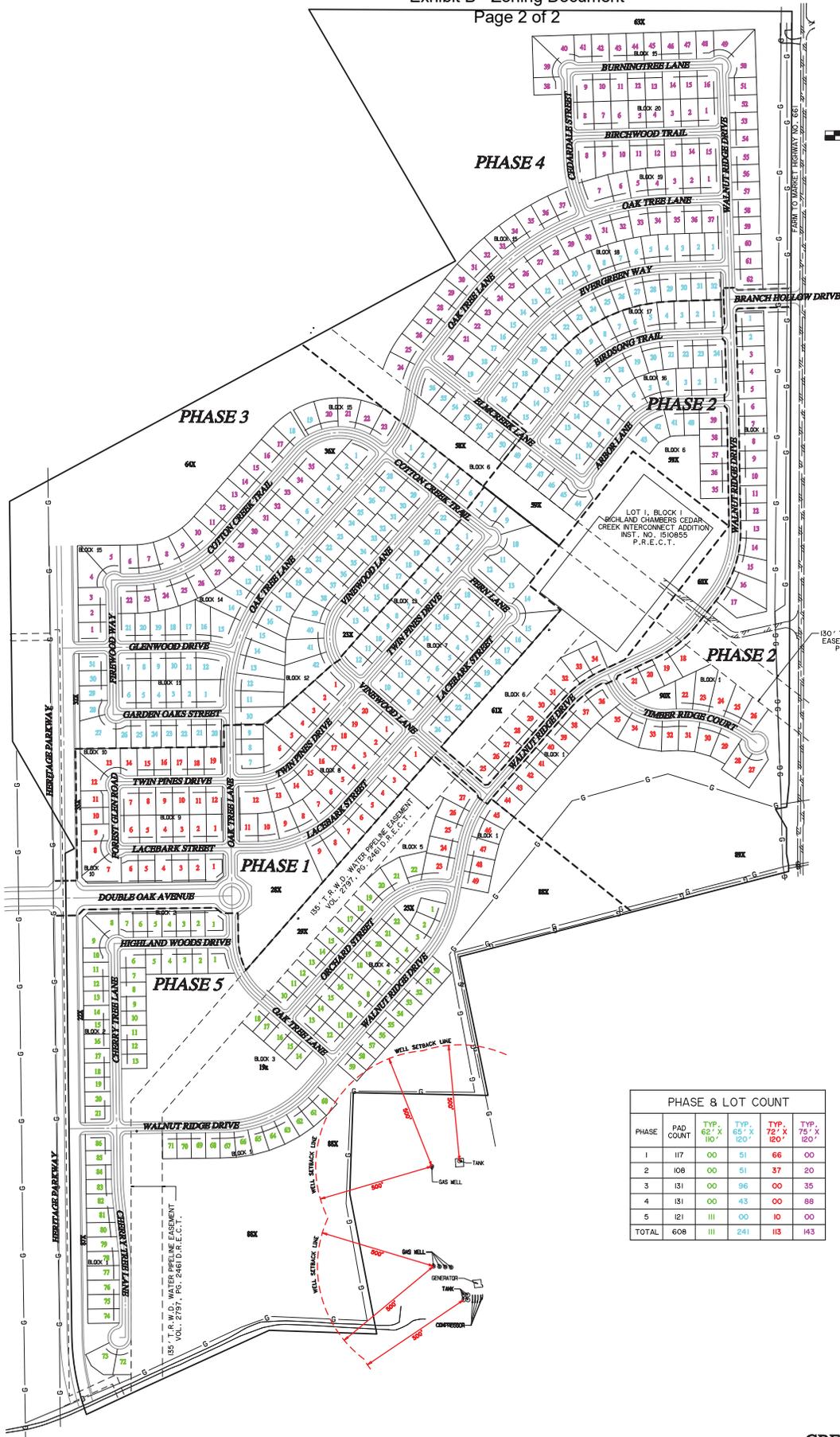
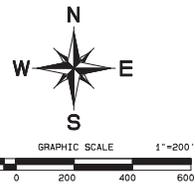
PREPARED BY

mma

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THIS DOCUMENT IS RELEASED FOR PLANNED DEVELOPMENT APPROVAL BY THE CITY OF GRAND PRAIRIE AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.





PHASE & LOT COUNT				
PHASE	PAD COUNT	TYP. 62' X 110'	TYP. 65' X 120'	TYP. 72' X 120'
1	117	00	51	66
2	108	00	51	37
3	131	00	96	00
4	131	00	43	00
5	121	111	00	10
TOTAL	608	111	241	113

180' T.C.W.C. & I.D. NO. 1 EASEMENT PER VOL. 490, PG. 551 D.R.E.C.T.

ENGINEER / SURVEYOR:
GOODWIN & MARSHALL
 CIVIL ENGINEERS - PLANNERS - SURVEYORS
 2405 Mustang Drive, Grapevine, Texas 76051
 Metro (817) 929-4373

OWNED/DEVELOPED BY:
D.R. HORTON
America's Builder
 6751 North Freeway
 Fort Worth, Texas 76131
 (817) 230-0800
 Email: JBoesworth@drhorton.com

LOT MAP OF
GREENWAY TRAILS
 BEING
 353.18 ACRES
 SITUATED IN THE
 608 RESIDENTIAL LOTS AND
 LOCATED IN A PORTION OF THE
 S. M. BLAIR SURVEY, ABSTRACT NO. 135,
 THE H. HENDERSON SURVEY, ABSTRACT NO. 432,
 AND THE J. LAWRENCE SURVEY, ABSTRACT NO. 616
 CITY OF GRAND PRAIRIE, ELLIS COUNTY, TEXAS
 FEBRUARY, 2020

E:\USG78 - Greenway Trails\Greenway Lot Map.dwg The File 20-18-01-08 8:00

Greenway Trails - Grand Prairie, Texas Original Non-Front Entry Garages - Based on 2006 Preliminary Plat

Number of Lots:

Zone A	62
Zone B	438
Zone C	93
Zone D -TND	330
Total	923

Lot Size Breakdown:

	60s Lots	70s Lots
Zone A		62
Zone B	438	
Zone C		93
Zone D -TND	330	
Total	768	155

Zone D - TND:

Alley Loaded Lots:	268
Front Access Lots:	62
Total	330

Non-Front Entry Garages:

60s Lots	30% of 438 lots	131.4
70s lots	50% of 155 lots	77.5
TND lots	100% of 330 lots	330
Total		538.9

Front Entry Garages:

60s Lots	306.6
70s lots	77.5
Total	384.1

Percentage of Non-Front Entry Garages:

Total lots	538.9/923	58.39%
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Requirement from Original PD-322:

Garage Orientation/Entry on Lots 60' to 69' Wide:

Min 30% of all platted lots shall have non-front entry garages.

Source:

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)

Garage Orientation/Entry on Lots 70' or Wider:

Min 50% of all platted lots shall have non-front entry garages.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. b. (PD-322)

Garage Orientation for D-1 - TND Areas:

No front entry garages shall be permitted in TND Zoning Area. No garage doors shall be construction within any front street facing wall plane of a residence. Only non-front entry garages shall be permitted for TND Zoning Areas D which shall include J-swing and side swing type garages that are oriented towards the side yard of the lot, or detached rear yard garage configurations.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #7. a. & b. (PD-322)

Greenway Trails - Grand Prairie, Texas Current Non-Front Entry Garages - Based on 2017 Preliminary Plat

Number of Lots:

Phase 1	117
Phase 2	108
Phase 3	131
Phase 4	131
Phase 5	121
Total	608

Lot Size Breakdown:

	60s Lots	70s Lots
Phase 1	51	66
Phase 2	51	57
Phase 3	96	35
Phase 4	43	88
Phase 5	111	10
Total	352	256

Non-Front Entry Garages:

60s Lots	30% of 352 lots	105.6
70s lots	50% of 256 lots	128
Total		233.6

Front Entry Garages:

60s Lots	246.4
70s lots	128
Total	374.4

Percentage of Non-Front Entry Garages:

Total lots	233.6/608	38.42%
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**This calculation is using the lot size to determine entry type of Garages for Phase 5.
Most of Phase 5 lots are 60s, therefore 30% of lots are calculated as Non-Front Entry.*

Requirement from Original PD-322:

Garage Orientation/Entry on Lots 60' to 69' Wide:

Min 30% of all platted lots shall have non-front entry garages.

Source:

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)

Garage Orientation/Entry on Lots 70' or Wider:

Min 50% of all platted lots shall have non-front entry garages.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. b. (PD-322)

Garage Orientation for D-1 - TND Areas:

No front entry garages shall be permitted in TND Zoning Area. No garage doors shall be construction within any front street facing wall plane of a residence. Only non-front entry garages shall be permitted for TND Zoning Areas D which shall include J-swing and side swing type garages that are oriented towards the side yard of the lot, or detached rear yard garage configurations.

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #7. a. & b. (PD-322)

Greenway Trails - Grand Prairie, Texas Proposed Non-Front Entry Garages - Based on 2020 Preliminary Plat

Number of Lots:

Phase 1	117
Phase 2	108
Phase 3	131
Phase 4	131
Phase 5	121
Total	608

Lot Size Breakdown:

	60s Lots	70s Lots
Phase 1	51	66
Phase 2	51	57
Phase 3	96	35
Phase 4	43	88
Phase 5	111	10
Total	352	256

Non-Front Entry Garages:

60s Lots	50% of 352 lots	176
70s lots	50% of 256 lots	128
Total		304

Front Entry Garages:

60s Lots	176
70s lots	128
Total	304

Percentage of Non-Front Entry Garages:

Total lots	304/608	50.00%
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Requirement from Original PD-322:

Garage Orientation/Entry on Lots 60' to 69' Wide:

Min 30% of all platted lots shall have non-front entry garages.

Source:

City of Grand Prairie, Ordinance No. 7445, Planned Development No. 322, III. Architectural, Dimensional and Density Guidelines for Single Family Residential Development, A. #6. a. (PD-322)

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