

Appendix F

CORRIDOR OVERLAY DISTRICT STANDARDS

LAST UPDATE: July 18, 2017

CASE NUMBER: TA170701

ORDINANCE NO. 10302-2017

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

Development located within a corridor overlay district must meet the minimum requirements prescribed in the Unified Development Code for the property's underlying zoning district classification, and adhere to the additional architectural standards specified below. These standards shall be applied to the following corridor overlay districts:

Interstate Highway-30 Overlay District	(See Appendix "I" for boundaries and provisions)
S.H.- 360 Overlay District	(See Appendix "L" for boundaries and provisions)
Interstate Highway-20 Overlay District	(See Appendix "S" for boundaries and provisions)
S.H.-161 Overlay District	(See Appendix "T" for boundaries and provisions)
Lakeridge Parkway Overlay District	(See Appendix "U" for boundaries and provisions)

SECTION 1 - APPLICABILITY AND SITE PLAN REVIEW


A. Applicability.

The Corridor Overlay District Development Standards shall apply to the construction of new buildings and apparatus situated inside the District boundary that are designed to accommodate the land uses listed in **Section 1.B** below.

1. If existing qualifying structures are expanded by 50% or more of their original size, all new construction shall comply with the Corridor Overlay District Development Standards.
2. Exceptions to the Corridor Overlay District Development Standards shall be applied as such are described in the provisions contained in the respective Overlay District plan.
3. Where there is a conflict between the relevant standards specified in the Unified Development Code and the Corridor Overlay District Standards, the most restrictive standard shall apply.

B. Classification of Development Standards

Building types based on the land use function proposed for each project shall conform to the appropriate development standard classification as indicated below. Non-Industrial development shall conform to the requirements specified in **Section 2** of this appendix. Industrial development shall conform to **Section 3. Section 4 – "District Wide Requirements"** shall apply to all development and building types within the District where applicable.

Note: The hard hat symbol  displayed in this appendix denotes requirements in **Section 3** that pertain solely to Industrial development.

1. **Commercial, General Office and Flex Space uses** - Non-Industrial (**Section 2.**)
2. **Retail and Restaurant uses** - Non-Industrial (**Section 2.**)
3. **Recreation and Entertainment uses** - Non-Industrial (**Section 2.**)

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4. **Lodging** - Non-Industrial ([Section 2.](#))
5. **Places of Group Assembly** - Non-Industrial ([Section 2.](#))
6. **Institutional, Educational and Corporate Office uses** - Non-Industrial ([Section 2.](#))
7. **Automotive Repair, Service, Fueling and Sales uses** - Non-Industrial ([Section 2.](#))
8. **Parking Structures** - Industrial ([Section 3.](#))
9. **Industrial, Manufacturing, Warehousing and Distribution uses** - Industrial ([Section 3.](#))
10. **Ground Mounted Utilities, Piping and Related Apparatus** - District Wide ([Section 4.](#))
 - a. Exposed ground mounted utility structures, piping and related apparatus that exceed twenty-four inches (24”) in height, other than regional and interstate transmission lines and communication towers, shall be screened from public view in a manner described in [Section 4.C.2](#) below. This provision shall be applied to any such structure located between a Primary façade and a dedicated street thoroughfare of any classification, regardless of building setback.



C. Site Plan Approval Required

1. **Public Hearing Required** - All non-residential development located within an Overlay District shall require site plan approval from the Planning and Zoning Commission and the City Council at a public hearing. Completed submittals which conform to the requirements of this code may be approved as a consent agenda item. Appeals will be considered where a strict application of these standards may result in a physical hardship to the plans and design for site improvements.
2. **Submittal Requirements** - All site plan submittals shall conform to the requirements specified in Article 16 of the Unified Development Code and in the “Site Plan Review Checklist for Overlay District Development” contained in [Section H](#) below. Additionally, all building elevations submitted for site plan and building permit review shall include the following information:
 - a. Total surface area of all Primary Facades, Secondary Facades, Articulation Zones and Minor Articulation areas;
 - b. The height and percentage tabulations for all exterior wall materials;
 - c. Articulation features proposed for each wall elevation subject to articulation requirements;
 - d. Top of roof deck height being indicated by a dashed line on all building elevations; and
 - e. Provide a color pallet or rendering of the building elevations subject to articulation requirements.
3. **Incomplete Submittals** - The Planning and Zoning Commission and City Council reserve the right to table or deny any site plan application that does not meet submittal requirements.

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SECTION 2 - STANDARDS FOR NON-INDUSTRIAL DEVELOPMENT

A. Building Articulation Required for Primary Building Facades

1. **A Primary Building Façade** shall be defined as any exterior building facade that faces, and is most nearly parallel to, one or more of the following elements regardless of building setback:
 - a. A dedicated arterial, collector or highway thoroughfare;
 - b. An on-site parking lot containing more than ten (10) parking spaces located on the same or an adjoining lot as the primary building;
 - c. A property boundary line of a Public Park that fronts along a dedicated street thoroughfare of any classification;
 - d. A property boundary line of a residential zoning district, as defined in Article 4 of the Unified Development Code, that fronts along a dedicated street thoroughfare of any classification; or,
 - e. An adjoining vacant lot that may reasonably be projected or planned in the future to contain any of the elements described in paragraphs “a.” through “d.” above as determined by the zoning designation and adopted City plans impacting said lot.
2. **Elements of the Primary facade** shall include the entire building walls, including wall faces, parapets, fascia, windows, public and private entrances, canopies and visible roof structures of one complete building elevation.
3. **A Secondary Building Façade** shall be defined as any exterior building façade that does not conform to the conditions described in [Section 2.A.1](#) above.
4. **Horizontal Flat Wall Articulation** – No portion of a Primary building façade shall extend for a distance greater than three times the mean elevation of the flat wall’s height, as measured from the finished floor elevation to the top of the required roof parapet, without having an off-set, that projects outward from the main wall plane, of fifteen percent (15%) or more of the wall’s height. This projecting off-set shall extend for a distance equal to at least twenty-five percent (25%) of the maximum length of the adjacent wall plane with the greater width as measured to the next articulated element, or to the exterior building corner of the building envelope at the ending terminus of the facade.
 - a. The developer/builder shall be allowed to use an Articulated Public Entrance on same facade, as described in [Section 2.D.4](#) below, to be credited towards this requirement.
 - b. In no case or instance, shall there be a Primary façade with a flat wall length in excess of sixty linear feet (60’) without incorporating the horizontal articulated requirements specified herein.

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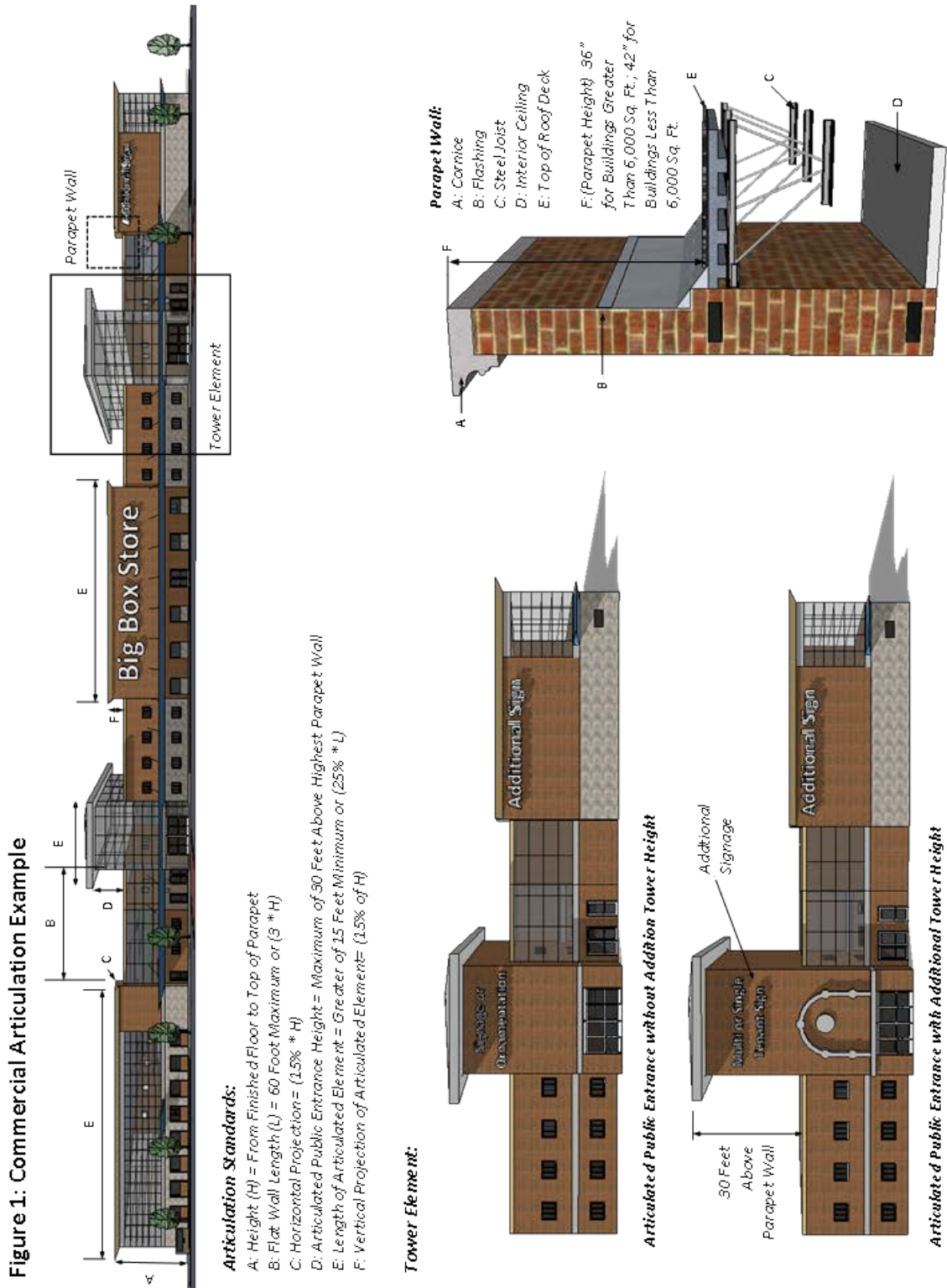
- c. Required off-set length specified herein shall be distributed in increments along the same Primary façade, from which same length was measured, with no off-set increment being less than fifteen feet (15') in length.
5. **Vertical Flat Wall Articulation** – No horizontal wall along a Primary building façade shall extend for a distance greater than three times the building height, as measured from the finished floor elevation to the top of the required roof parapet wall, without extending above the height of the required parapet wall by a minimum of fifteen percent (15%) of the wall's height. This increased height change shall continue for a minimum distance equal to at least twenty-five percent (25%) of the maximum length of the adjacent plane with the greater width as measured to the next articulated element, or to the exterior corner of the building envelope at the ending terminus of the facade.
 - a. The developer/builder shall be allowed to use an Articulated Public Entrance on same facade, as described in [Section 2.D.4](#) below, to be credited towards this requirement.
 - b. In no case or instance, shall there be a Primary façade with a flat wall length in excess of sixty linear feet (60') without incorporating the vertical articulated requirements specified herein.
 - c. The required length of the wall height change specified herein shall be distributed in increments along the same façade, from which same length was measured, with no height change length increment being less than fifteen feet (15').
 - d. A Roof Profile Variation, as described in [Section 2.D.2](#) below, shall be required for those sections of a Primary façade that contain an articulated public entrance or wall surface as described herein.
6. **A Primary Façade Surface with no Entrance** - A Primary façade surface that does not contain an Articulated Public Entrance shall also be subject to the flat wall articulation requirements specified herein.

(Refer to Figure 1. for examples of Non-Industrial Articulation Standards.)

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Figure 1

Building Articulation Example for Non-Industrial Development



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B. Exterior Building Material Requirements

1. **Principal Masonry Requirement** - One hundred percent (100%) of the exterior of all new buildings (excluding doors and windows) shall be finished with one or more of the following principal masonry materials indicated in [Section 2.B.a](#) below.
 - a. Brick, stone, cast stone, cultured stone, rock, marble, granite, poured in place tilt wall concrete, exterior portland cement plaster (stucco) with 3 coats over metal lath or wire fabric lath, and fiber cement siding, excluding lap siding (as defined in the most recently adopted Building Code and approved by the Building Official).
 - i. The use of either split-face or smooth-face Concrete Masonry Units (CMU's) shall be prohibited on a Primary façade, but shall be permitted on a Secondary façade only.
 - ii. Material substitutions may be approved by the Development Review Committee in accordance with [Sections 2.B.b., c.](#) and [d](#) below.
 - iii. A minimum stone requirement shall be applied and credited as specified in [Sections 2.B.2](#) and [3](#) below.
 - iv. Exterior Insulating Finishing System (EIFS) shall be allowed for roof parapet cornice molding, ornamental roundels or similar decorative elements.
 - b. The developer/builder shall be allowed, but not required, to substitute architectural glass (other than windows and doors), spandrel glass or polished metal panels with less than twenty percent (20%) reflectance. However, only a maximum of twenty percent (20%) of any building façade may be constructed with such materials.
 - c. The developer/builder shall be allowed, but not required, to substitute the following accent materials on up to 10% of any façade type, excluding all windows, doors and glass construction materials as approved by the Development Review Committee:
 - i. Pre-coated and roll formed architectural aluminum wall panels and standing seam metal roof panels;
 - ii. Glass block,
 - iii. Tile, and
 - iv. Terracotta Façade Panels
2. **Masonry and texture appliqués** - Masonry and texture appliqués shall be required for exposed poured-in-place concrete or tilt-wall façades.
 - a. Twenty-five percent (25%) of an exposed poured-in-place concrete or tilt-wall façade, that is constructed for a Primary façade, shall be finished with one or more of the following treatments:
 - i. Building brick, or thin brick with a minimum dimension of ½" x 2-1/4" x 7-5/8", stacked in place with an authentic troweled mortar bond finish (poured-in-place,

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- form liner or prefabricated brick textures shall not be permitted to meet the requirement of this paragraph) ; or,
- ii. Stone, Austin stone, cultured stone, granite, sandstone, slate, limestone, marble or combinations thereof. Ashlar, cut stone, and dimensional stone construction techniques are acceptable. Poured-in-place, form liner or prefabricated stone textures shall not be permitted to meet the requirement of this paragraph. The use of this option shall be credited to the 25% minimum stone requirement specified in [Section 2.B.3.a](#) below.
 - iii. Exterior portland cement plaster (stucco) with three coats over metal lath or wire fabric lath (excludes EIFS);
 - iv. Fiber Cement Siding, excluding lap siding (as defined in the most recently adopted Building Code and approved by the Building Official).
- b. The remaining exposed poured-in-place and tilt-wall concrete facades shall have an integrated color and be textured or patterned.
- i. Exposed tilt-wall concrete wall surfaces, constructed for all Primary and Secondary facades, shall include reveals with a minimum two inch width or punch-outs on at least ten percent (10%) of each exposed concrete finished wall surface to enhance the main structure.
 - ii. Integrated form liner shall be only permitted on a Secondary façade and on those remaining exposed concrete surfaces that are not included in the stone and masonry calculations required in [Sections 2.B.2](#) and [3](#) herein.
3. **Minimum Stone Accent Required** - In addition to the material requirements specified in [Section 2.B.1](#) above, a minimum of twenty-five percent (25%) of the Primary façade shall be finished in stone, Austin stone, cultured stone, granite, sandstone, slate, limestone, marble, or other hard and durable all weather stone in order to establish a local architectural theme for the area. Ashlar, cut stone, and dimensional stone construction techniques are acceptable. Such stone accents shall be of a different color and surface texture from the principle exterior building material used for the main structure. Poured-in-place, form liner or prefabricated stone textures shall be prohibited.
- a. Stone appliqués that conform to the requirements of [Section 2.B.2](#) above, or attaching architectural building elements that are constructed with a stone finish of a different color and surface texture used for the main structure, shall be credited toward the stone accent requirement for Primary facades. Attached architectural building elements shall include, but not be limited to, the following:
 - i. Sidewalk arcades and/or column supports.
 - ii. Canopy fascias and/or canopy supports.

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iii. Pilasters and similar building attachments that extend outward from the exterior wall surface a minimum of three inches (3”).

4. **Secondary Facades** - Secondary facades shall be finished in a similar color and texture as the Primary façades.

C. Prohibited Materials

1. The following materials are prohibited as wall cladding or roofing materials:

- a. Aluminum siding or cladding,
 - i. However, commercial grade pre-coated and roll formed architectural aluminum panels, and standing seam metal roof panels, shall be permitted as noted in [Section 2.B.4](#) above.
- b. Corrugated galvanized metal,
- c. Wood or plastic siding,
- d. Un-textured (smooth face) concrete block,
- e. Exposed aggregate wall textures, and
- f. Wood roof shingles.

D. Architectural Features

1. Facades

- a. In addition to the building articulation requirements described in [Section 2.A](#) above, the facades of all main commercial structures shall also include the following key architectural features as noted:
 - i. All façade types shall be designed with distinguishable architectural elements, such as a distinct base, field wall and parapet with cornice. However, Secondary façades may omit the base element only.
 - ii. The cornice element at the parapet wall shall either be constructed integrally with the parapet structure, or may be attached to the surface of the parapet and shall extend beyond the exterior wall surface from which it is attached by a minimum of eighteen inches (18”). Refer to [Section 4.C.1](#) below for required parapet height. EIFS/Stucco shall be a permitted material for the parapet cornice as specified in [Section 2.B.1.b](#) above.
 - iii. The use of arcades, covered walkways, architectural awnings, canopies or porticos is required along fifty percent (50%) of the Primary façade.
 - iv. Windows, which may include see-through doors, shall be provided along all Primary facades, such that they comprise at least 50% of the length of that façade

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for buildings under 10,000 square feet in size, and at least 25% for buildings over 10,000 square feet in size.

2. Roof Profile Variations for Articulated Elements

- a. Variations to the roof profile for those sections of a Primary façade that contain an articulated public entrance or wall surface, as described in [Sections 2.A.4. & 5](#) of this code, are required to reduce the visual scale of buildings, and to create visual interest. The roof line for such facades shall include at least one or more of the following elements:
 - i. Curvilinear, domed or arched formations.
 - ii. Two or more roof slope planes with an average slope of at least 5 in 12.

3. Color

- a. A color material pallet, and/or color rendering of the building shall be included with the Site Plan application submittal.
- b. Exterior colors shall be low reflectance, subtle, neutral or earth tone colors.
- c. The use of high intensity, primary, black or fluorescent colors is prohibited, except as trim or accent areas. Where used as trim or accents, those colors shall not exceed ten percent (10%) of any single façade, excluding all windows, doors and glass construction materials.

4. Articulated Public Entrance(s) on Primary Facades

- a. Each principal public entrance on a Primary facade shall be designed with a clearly defined, highly visible customer entrance feature that shall be permitted to extend up to a maximum of thirty-feet (30') above the highest parapet wall elevation as measured on either adjacent wall plane.
- b. The minimum width and height of such features shall be determined in a manner similarly described in [Sections 2.A.4](#) and [5](#) above.
- c. Multi-tenant buildings, less than three (3) stories in height, shall include at least one (1) Articulated Public Entrance feature for every one hundred and twenty linear feet (120') of Primary façade length, with such calculation being rounded to the nearest whole number.
- d. Such features shall provide protection from the weather with the following design elements:
 - i. Canopies, arcades or porticos with covered walkways, with such elements being credited to the arcade/walkway requirement specified in [Section 2.D.1](#);
 - ii. Raised surface ornamental molding used either independently or with wall signage features; and,
 - iii. Peaked, domed or curvilinear roof forms, with such elements being credited to the roof profile variation requirement specified in [Section 2.D.2](#).

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- e. Articulated entrance features shall also be shall be permitted for either single tenant, multi-tenant or directional wall signage as approved in the Site Plan application submittal.
- 5. Screening of Garage Bays and Gasoline Pump-Station Canopy Structures**
- a. This section shall apply to all sites with garage bays and gasoline pump-station canopies within the district.
 - b. Garage bay doors shall be located at the side or rear of buildings and shall not be oriented parallel with a dedicated street thoroughfare of any classification.
 - c. Garage bay door areas shall be screened from adjacent properties, streets or public areas by a 36" high screen.
 - d. Screening materials shall be comprised of:
 - i. A wall that has a similar finish to the main structure, or
 - ii. A combination of trees and shrubs that will result in solid screening to the required height within two (2) years as determined by a registered landscape architect, certified nurseryman or master gardener.
 - e. Column supports for all gasoline pump-station canopies shall be encased in either a brick or stone masonry material or combination thereof.
 - f. The perimeter roof structure for all gasoline pump-station canopies shall be adorned with a sloped roof feature, such as a mansard roof or similar feature.
 - i. Such roof feature shall be finished with composition shingles, standing seam metal, clay tile, slate tile or engineered roof tile products that complement the color scheme of the main building.



SECTION 3 - STANDARDS FOR INDUSTRIAL DEVELOPMENT

- A. Exterior Building Material Requirements for Light Industrial, Manufacturing, Warehousing, Distribution and Structured Parking uses.**
- 1. Principal Masonry Requirement - The exterior of all new buildings (excluding doors and windows) shall be finished in one or more of the following principal masonry materials indicated below.
 - a. Brick, stone, cast stone, cultured stone, rock, marble, granite, split face Concrete Masonry Units (CMU) and poured in place tilt wall concrete, and exterior portland cement plaster (stucco) with 3 coats over metal lath or wire fabric lath, and fiber cement siding, excluding lap siding (as defined in the most recently adopted Building Code and approved by the Building Official).

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- i. Smooth face CMU shall not be permitted within the "Articulation Zone".
 - ii. Split face CMU shall consume no more than ten percent (10%) of the total wall surface area within the "Articulation Zone". An appeal may be made to the Planning and Zoning Commission and City Council to exceed this surface area requirement.
- b. Exposed tilt wall concrete wall surfaces shall comply with "Minor Articulation" requirements (see [Section 3.B.4.](#) below).
 - c. The developer/builder shall be allowed, but not required, to use Exterior Insulating Finishing System (EIFS) for roof parapet cornice molding, ornamental roundels or similar decorative elements only. The use of EIFS shall not exceed five percent (5%) of any exterior wall of the building, and may not be utilized on any portion of a wall that is less than eight feet (8') in height from finished grade elevation of said wall.
 - d. The developer/builder shall be allowed, but not required, to use architectural glass (other than windows and doors), spandrel glass or polished metal panels with less than twenty percent (20%) reflectance. However, only a maximum of thirty percent (30%) of any building façade may be constructed with such materials.

B. Building Articulation Standards for Light Industrial, Manufacturing, Warehousing, Distribution and Structured Parking uses

1. **"Articulation Zone"** - The building façade that contains the main building entrance and that fronts along a dedicated street thoroughfare of any classification.
 - a. Single tenant buildings may have one or more Articulation Zones.
 - b. Multi-tenant buildings shall have Articulation Zones for each tenant entrance.
 - c. The area of the Articulation Zone when located at building corners shall extend for a distance equal to three times the building height as measured from the finish floor to the top of the required roof parapet wall. One side of the corner shall contain at least 25% of the total length required for the Articulation Zone.
 - d. The area of the Articulation Zone, when located in an area other than building corners, shall extend for a distance equal to two times the building height as measured from the finish floor to the top of the required roof parapet wall.
 - e. The area of the Articulation Zone when fronting a loading or industrial storage area shall extend for a distance equal to the building height as measured from the finish floor to the top of the required roof parapet wall.
2. **Stone/Masonry Requirement** - A minimum of fifteen percent (15%) of the Articulation Zone shall be finished in brick, thin brick, stone, Austin stone, cultured stone, granite, sandstone, slate, limestone, marble, or other hard and durable all weather stone.

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- 3. Flat Wall Articulation** - The Articulation Zones shall incorporate the Stone or Masonry requirement and 2 or more of the following wall articulation design elements:
- a. Horizontal Flat Wall Articulation - Off-set that projects outward from the main wall plane a dimension not less than seven and one half percent (7.5%) of the wall's height. This projecting off-set shall extend for a minimum distance equal to at least twenty percent (20%) of the total length of the Articulation Zone.
 - b. Vertical Flat Wall Articulation - Wall height change extending above the height of the required parapet wall by a minimum of seven and one half percent (7.5%) of the wall's height. This increased height change shall continue for a minimum distance equal to at least twenty percent (20%) of the total length of the Articulation Zone.
 - c. Wing Wall Articulation – Applies to a wall panel that projects outward from the main wall plane a distance not less than twenty percent (20%) of the wall's height. This projecting element shall be of a height not less than fifty percent (50%), and not more than one-hundred twenty-five (125%), of the total height of the adjacent exterior building wall.
 - i. Wing walls shall be used to articulate the main building entrance and may run parallel to another exterior wall plane.
 - ii. Wing walls shall either contain an angled, sloped or curvilinear profile at the outer edge of the wall, or be finished with an authentic brick or stone texture on at least fifteen percent (15%) of the wing wall surface. The use of brick or stone textures for this purpose shall be credited toward the total requirement specified in [Section 3.B.2](#) above.
 - iii. The space behind a wing wall may be partially enclosed in a manner approved by the Development Review Committee.
- 4. "Minor Articulation"** - Design elements shall consists of, but not be limited to reveals, surface texture, contrasting paint, panel offsets of no less than eight inches (8"), panel height changes of no less than 18" and roof profile variations.
- a. Two or more Minor Articulation features shall be utilized for all building facades that front along a dedicated street thoroughfare of any classification not subject to the requirements of the "Articulation Zone".
 - i. Total combined width for the application of Minor Articulation features shall be equal to a minimum of four percent (4%) of the total length of the wall surface that is subject to the Minor Articulation requirement, with said width being no less than twelve feet (12') in length.
- 5. Panel Surface Reveals** - Panel surface reveals shall be required within both the "Articulation Zone" and "Minor Articulation" areas. Such reveals shall be a minimum of 2-

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inches (2") in width and shall frame a wall surface area not to exceed 225 square feet.

(Refer to Figures 2 and 3 for examples of **Articulation** and **Wing Wall** Standards.)

Figure 2
Wing Wall Example
For Industrial Buildings



Partially Enclosed Wing Wall Example.



Open Wing Wall Example.

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Figure 3
Building Articulation Example for
Industrial Development



Figure 3: Industrial Minor Articulation

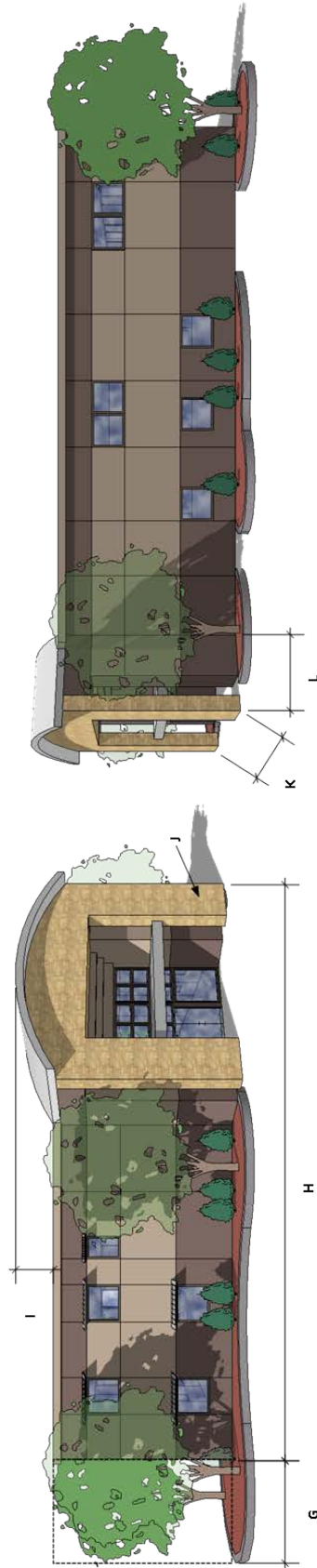
Minor Articulation Standards:

- A: Wall Area Framed by Reveals (Not to Exceed 225 Sq. Ft.)
- B: Minimum 2 Inch Wide Reveals
- C: 8 Inch Minimum Panel Offset Projection
- D: 18 Inch Minimum Roof Profile Variation
- E: Articulated Facade Width (4% of Height)
- F: No Less than 12 Feet

Major Articulation Standards:

- G: Not a Part of Articulation Zone (Minor Articulation Applied to this Part of Facade that Faces a Street)
- H: Articulation Zone (Two Times the Wall Height or Three Times the Wall Height at the Building Corners)
- I: Vertical Articulation (7.5% of Wall Height)
- J: Minimum Stone Requirement of 15% of Articulation Zone Wall Surface
- K: Horizontal Width of Vertical Articulation is Equal to a Minimum of 20% of the Total Length of the Articulation Zone
- L: Horizontal Articulation (7.5% of Wall Height)

Figure 4: Industrial Major Articulation



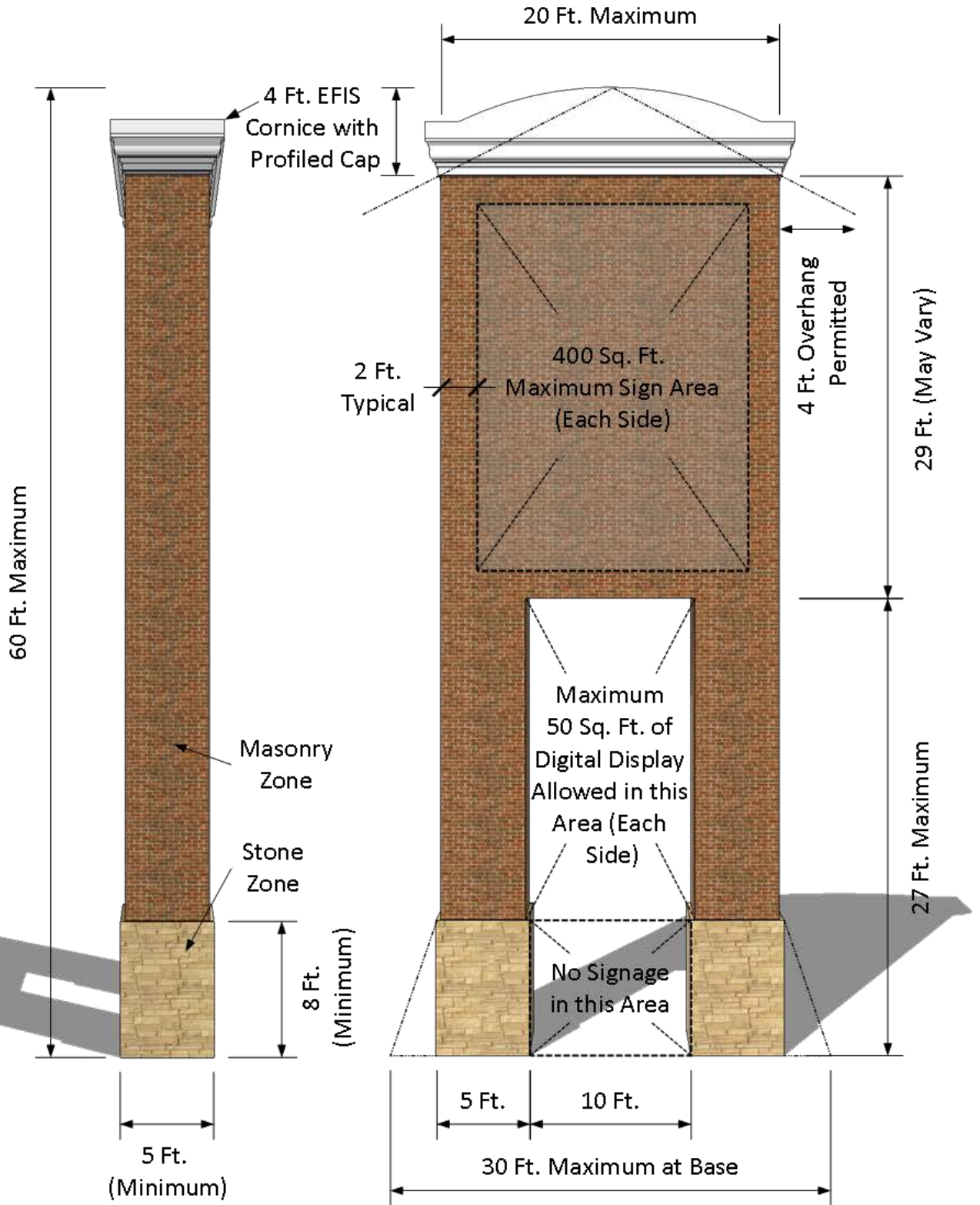
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SECTION 4 - DISTRICT WIDE REQUIREMENTS

- A. Sign Regulations** - Signage requirements of Article 9 of the Unified Development Code will apply to the Overlay District with the following exceptions:
1. Individual tenant pole signs shall not be permitted.
 2. Detached multi-tenant pole signs shall be permitted in accordance with [Section 9.6.1](#) of the Unified Development Code as amended.
 3. A digital sign shall be permitted to be installed as an integral part of a multi-tenant sign. Specifications for such digital sign shall conform to all relevant requirements contained in [Section 9.8.2](#) of the Unified Development Code as amended. The location of the digital sign shall not exceed twenty-seven feet (27') in height.
 4. Multi-tenant signs shall be designed and constructed to the minimum specifications and material selections depicted in Figure 4 and as described below:
 - a. Contain a supporting base measuring eight feet (8') in height that is finished with an authentic stone texture. Form-lined concrete and split face CMU shall not be permitted as a finishing texture for the sign base.
 - b. No tenant signage or message advertising shall occur within the eight foot high sign base.
 - c. The width of the sign above the base shall not exceed twenty feet (20') in length.
 - d. Shall contain two (2) support columns extending upward from the base with a minimum squared or diametric dimension of five feet (5') in width. A single, solid pylon wall extending above the base shall be permitted in lieu of two column supports.
 - e. The top of the sign shall be constructed with an EFIS or cast stone cap measuring four feet (4') in depth. Said cap shall be designed with either a curvilinear or sloped profile that may overhang a maximum of four feet (4') outward from the exterior wall surface of the sign structure.
 - f. The signage area allowed by [Section 9.6.1](#) of the Unified Development Code shall be framed with a minimum two foot (2') wide section finished with an authentic brick masonry texture. Split face CMU shall not be permitted as a finishing texture for this feature.
 5. Appeals to the minimum requirements for a multi-tenant sign may be made through the submittal of a Unified Signage Plan for review and approval by the Planning and Zoning Commission and City Council.

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Figure 4
Minimum Dimensional and Material Requirements for a
Multi-Tenant Sign



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B. Landscaping Requirement - Landscape requirements of **Article 8** of the Unified Development Code will apply to the subject property along with the following supplemental requirements.

1. Tree Preservation Incentives

- a. The following credits shall be provided to the builder/developer for each existing tree in excess of a 6-inch caliper width, as measured 6-inches (6") above ground, which is preserved and incorporated into the site plan design. This requirement applies to those species of trees listed in Exhibit 2 of **Article 8**, "Landscaping and Screening" of the Unified Development Code.
 - i. Parking requirement may be reduced by 6 paved parking spaces, including access drive paving that serve same spaces, for each tree preserved. Maximum parking reduction not to exceed 25% of total parking requirement; plus,
 - ii. Maximum height of multi-tenant sign, as defined in Section 9.6.1 of the Unified Development Code, shall be increased two (2) feet for every tree preserved. Maximum sign height not to exceed 75 -feet.
 - iii. Total tree preservation credits shall be granted to the developer in accumulative fashion for all trees preserved by above Sections i and ii combined.
- b. A Tree Protection Plan shall be required at the time of building permit submittal and shall be approved by the Development Review Committee. Such plan shall include the following:
 - i. Identification of all existing trees to be preserved, including species type and size in caliper inches;
 - ii. Provide note prohibiting the storage of building materials, equipment and vehicles under the drip-line of all existing trees to be preserved;
 - iii. Indicate type of temporary fencing or barricade devices to be used to protect critical root zones (CRZ) of all existing trees to be preserved during the construction period. The CRZ shall be defined in accordance with **Article 8**, "Landscaping and Screening" in the Unified Development Code.
 - iv. Provide grading plan indicating both existing and new final grade elevation inside drip line of all existing trees to be preserved
 - v. Replacement trees shall be required at a ratio (in caliper inches) of 1:1 for any tree designated for preservation on the Tree Protection Plan that is significantly damaged or destroyed during the construction period. Replacement trees shall be no less than 3-inches in caliper width as measured six inches (6") above ground.

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

2. Parking Lot Location and Screening Requirements

- a. All parking or drive areas shall be located a minimum of thirty (30) feet from right-of-way lines along public streets. The area inside the thirty (30) foot parking setback shall be credited towards the landscaping requirement prescribed by Article 8 of the Unified Development Code.
- b. All parking shall be screened from public rights-of-way and public park areas in accordance with [Article 8](#), “Landscape and Screening” of the Unified Development Code, using a solid screen in the landscape strip. The screen shall be at least thirty six inches (36”) in height, and be achieved through one of the following methods:
 - i. A berm;
 - ii. A planting screen (hedge);
 - iii. A wall, using masonry materials similar to those used in the Primary façade; or
 - iv. A combination of the above.

3. Internal Parking Lot Landscaping Standards - Landscaped areas in a parking lot shall be provided in accordance with [Article 8](#), “Landscape and Screening” of the Unified Development Code along with the following supplemental requirements.

- a. Perimeter parking lot screening shall be offset at least six feet (6’) for every sixty linear feet (60’) of screening area length.

C. Service Area Screening and Fencing Requirements

1. Screening of Mechanical Equipment

- a. Properties that may be viewed from residential uses, streets or public park areas shall screen all roof, ground and wall mounted mechanical equipment (e.g. air handling equipment, compressors, duct work, transformers, wall mounted utility meters and elevator equipment) from view at ground level at the adjoining:
 - i. property line,
 - ii. public streets, or
 - iii. public parks.
- b. Roof-mounted mechanical equipment shall be shielded from view by a parapet wall, on all Primary and Secondary facades, that is constructed to the following standards:
 - i. Buildings equal or less than 6,000 square feet in area shall require a parapet that extends above the roof line forty-two inches (42”) in height, with no roof-

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

top mechanical equipment being installed within five feet (5') of the nearest perimeter wall.

- ii Buildings greater than 6,000 square feet in area shall require a parapet that extends above the roof line thirty-six inches (36") in height, with no roof-top mechanical equipment being installed within ten feet (10') of the nearest perimeter wall.
- c. Screening for rear service and delivery areas, including wall or ground-mounted equipment, shall be constructed of:
 - i Planting screens capable of achieving a mature height of six feet (6'); or
 - ii A six-foot (6') high wall constructed of brick, stone, reinforced concrete or other similar masonry materials.

2. Screening of Outside Storage and Detached Utility Apparatus

- a. Outside storage and utility apparatus shall be located on the side or rear of the main building and shall be screened from public view on public streets.
- b. Outside storage and utility apparatus shall be screened with a minimum seven (7) foot tall screen or a screen that is a minimum of one (1) foot above the top of the storage materials, whichever is taller. Screening shall be achieved by one of the following techniques:
 - i. A masonry wall or other material that is similar to the main structure.
 - ii. A three foot (3') high berm in combination with a three foot (3') high wrought-iron type fence.
 - iii. A planting enclosure of large evergreen shrubs planted a maximum of four (4') feet apart that shall create a solid screen to a minimum height of seven feet (7') within two (2) years as determined by a registered landscape architect, certified nurseryman 3 or master gardener, or as determined by the Director of Planning and Development.
 - iv. A combination of the above.

3. Screening of Non-Residential Uses

A landscaped buffer shall be located on the site of a nonresidential use along all property lines adjacent to a residential zoning district, as defined in [Article 4](#) of the Unified Development Code, subject to the following standards:

- a. For nonresidential development, except for churches and schools, located across the street from existing or proposed residential uses:

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

- i. A landscaped setback shall consist of a minimum 30-foot wide landscaped buffer facing the street, including a continuous berm with a minimum height of three feet (3').
 - ii. Under story plants of a species included in [Article 8](#) of the City's Unified Development Code shall be planted within the berm so that the combination of berm and shrubs shall achieve a continuous dense six-foot (6') high screen.
 - iii. Native shade trees, a minimum of three-inch caliper, and of species included in [Article 8](#) of the City's Unified Development Code approved tree list as amended, shall be planted within the landscaped buffer area at a ratio of one tree per 500 square feet of buffer area.
 - iv. Said landscaped setback shall be fully irrigated and maintained in a healthy state in accordance with [Article 8](#) of the City's Unified Development Code.
- b. Rear yards and/or service areas located within one hundred feet (100') of a street, and which face and are most nearly parallel to said street, shall be screened with a masonry wall as specified in [Section 4.C.3.d](#) below.
- c. For nonresidential development, except for churches and schools that adjoins, and is contiguous with, a residential zoning district:
- i. A landscaped setback shall consist of a minimum 15-foot wide landscaped buffer located inside the required masonry screening wall specified in [Section 4.C.3.d](#) below.
 - ii. Native shade trees, a minimum of three-inch caliper, and of a species included in [Article 8](#) of the City's Unified Development Code approved tree list, shall be provided every 15-foot on center.
 - iii. Said trees shall be of a species capable of achieving a mature growth height of between 10 to 12 feet.
 - iv. Said landscaped setback shall be fully irrigated and maintained in a healthy state in accordance with [Article 8](#) of the City's Unified Development Code.
- d. A masonry wall with an authentic mortar bond finish, both exterior finishes being the same, shall be constructed along all property lines as required by this Section.
- i. Walls facing a street right-of-way shall be offset at least five (5) feet for at least every one hundred sixty (160) linear feet of screening area length or a curvilinear wall plan may be used.
 - ii. Such walls shall have no vehicular access points into or from an alley or residential street except for those access points required for emergency access.

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

- iii. All walls shall be a minimum of six feet in height, except that the first 20 feet in from the street line may be stepped down to a minimum height of four feet.
- iv. Churches and schools shall be exempt from the requirements of this Section.

D. Lighting Standards

1. Screening of Light Fixtures

- a. In order to preserve the night sky and to reduce glare on roadways, pedestrian areas and adjacent development, light sources (e.g. light bulbs) shall be oriented toward the center of the site or shielded so that the light source is not visible from the nearest property line. This applies to refractory lenses that extend beyond the lighting fixture and are designed to redirect the lighting source horizontally. This does not apply to neon or internally lit signs, or to decorative lighting with 15 watts or less per bulb.
- b. Historic or antique-style pedestrian light fixtures approved by the city are excluded from this standard.

2. Decorative Pedestrian Level Lighting

- a. To accent entry areas and enhance pedestrian safety, decorative pedestrian level pole or façade mounted lighting fixtures shall be used at entrances to the building and along major internal pedestrian routes.

E. Utilities

1. **Local Utilities** - All local electrical utilities shall be placed below ground, except for regional and interstate high voltage transmission lines.
2. **Utility Access Structures** - Major utility access structures, which must be located above ground, shall be placed in unobtrusive locations, and shall be screened with landscaping that blends into the overall landscaping of the area in a manner described in [Section 4.C.2.](#) above.

F. Recommended Design Sequence for Non-Industrial Projects

- Site Plan application submittals are recommended to be developed under the following process so to ensure the submittal will demonstrate compliance with Overlay District requirements. This recommended process may also be used in conjunction with the “Site Plan Review Checklist for Overlay District Development” contained in [Section H.](#) below.

- a. Articulation of Building Envelope

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

- i. Establish site plan layout with building footprint, parking areas, landscaped areas, required setbacks and other basic site plan elements as required by this code.
 - ii. Establish which building facades are to be defined as Primary and Secondary. (See [Section 2.A](#) for definitions)
 - iii. Establish required height of parapet wall screening and indicate required perimeter roof-line setback for roof-top mechanical units on site plan. (See [Section 4.C](#) for criteria)
 - iv. Establish where required Articulated Public Entrance(s) are to be located on Primary facades and establish approximate height of such features. (See [Section 2.D.4](#) for criteria)
 - v. Establish flat wall articulation requirements for all Primary facades. (See [Section 2.A.5](#) for criteria)
 - vi. Verify that no Primary façade has a flat wall in excess of sixty linear feet (60') in length without horizontal and vertical articulated elements. (See [Section 2.A.5](#).)
- b. Application of Architectural Features and Facade Components
- i. Verify windows and cover walkways are provided for the remaining portion of the Primary façade(s). (See [Section 2.D](#) for criteria)
 - ii. Establish which roof profile component, as defined in [Section 2.D.2](#) above, is to be utilized on those articulated sections and entrances of a Primary façade.
- c. Application of Exterior Building Materials
- i. Verify the principal masonry material to be used for the building as specified in [Section 2.B](#). If tilt-wall concrete is selected as the primary material, then the 25% masonry/stone appliqué applies per [Section 2.B.2](#).
 - ii. Determine the amount and location of substitute materials chosen to be applied as specified in [Section 2.B.1](#).
 - iii. Establish the type and material to be used for the parapet molding. (See [Section 2.D.1](#).)
 - iv. If poured-in-place or tilt-wall concrete is used on a Primary façade, verify the type of masonry appliqué to be used on 25% of the concrete surface as specified in [Section 2.B.2.a](#).
 - v. Verify the remaining concrete surfaces, not subject to the 25% masonry appliqué requirement for Primary facades, and those surfaces constructed for Secondary

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

facades, include reveals, punch-outs and integrated form liner per percentages specified in [Section 2.B.2.b](#).

vi. Verify required stone accent percentage (as well as credits) as specified in [Section 2.B.3](#).

vii. Verify substituted accent material percentages chosen to be applied as specified in [Section 2.B.4](#).

d. Landscaping and Screening Plan

i. Verify landscape plans meet submittal requirements, including location of plant material, landscape buffer areas, fencing and hedge row offsets, tabulated plants list and installation plan. Irrigation plans are not required for a Site Plan submittal, but shall be required for the building permit submittal. (See [Sections 4.B](#) and [C](#).)



G. Recommended Design Sequence for Industrial Projects - Site Plan application submittals are recommended to be developed under the following process so to ensure the submittal will demonstrate compliance with Overlay District requirements. This recommended process may also be used in conjunction with the “Site Plan Review Checklist for Overlay District Development” contained in [Section H](#) below.

a. Establish Areas where Building Articulation is to be applied.

i. Establish site plan layout with building footprint, parking areas, landscaped areas, required setbacks and other basic site plan elements as required by this code.

ii. Establish required height of parapet wall screening and indicate required perimeter roof-line setback for roof-top mechanical units on site plan. (See [Section 4.C](#) for criteria)

ii. Establish which segments of the building facade are to be defined as the “Articulation Zone” and which segments are to receive “Minor Articulation” wall features. (See [Section 3.B](#) for definitions)

iv. If the “Articulation Zone” is established at the corner of a building, then verify that that the total width of the zone is no less than three times the building height, and that no less than twenty-five percent (25%) of the required zone area encompasses one of the corner wall surfaces. (See [Section 3.B.1.c](#).)

v. If the “Articulation Zone” is established on a flat wall surface of a building, then verify that said zone extends no less than two times the building height. (See [Section 3.B.1.d](#).)

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- vi. If the “Articulation Zone” is established in front of a loading or industrial storage area, then verify that said zone extends no less than one times the building height. (See [Section 3.B.1.e.](#))
 - vii. Establish minimum width and height for both horizontal and vertical flat wall articulation features chosen for the “Articulation Zone”, with said features extending a minimum of seven and one-half percent (7.5%) of the building height, and enveloping no less than twenty percent (20%) of the total length of the designated zone. (See [Section 3.B.3](#) for criteria)
 - viii. Establish minimum width and height for “Wing Wall” option, with a minimum width being twenty percent (20%) of the building height, and a minimum height being less than fifty percent (50%), and not more than one-hundred twenty-five (125%), of the total height of the adjacent exterior building wall. (See [Section 3.B.3.c](#) for criteria)
 - ix. Establish minimum width and flat wall articulation features for the “Minor Articulation” areas and verify that Minor Articulation wall features contain the minimum twelve-foot (12’) width dimension. (See [Section 3.B.4](#) for criteria)
 - x. Panel surface reveals to be minimum two inches (2”) in width that frame a wall surface area no less than 225 square feet within both the “Articulation Zone” and Minor Articulation areas.
- c. Application of Exterior Building Materials
- i. Verify the principal masonry material to be used for the building as specified in [Section 3.A.1.](#)
 - ii. Verify required stone and masonry percentage as specified in [Section 3.B.2.](#)
 - iii. If Split-face CMU is used, verify the amount to be used in the “Articulation Zone”. The use of smooth face CMU is prohibited in the “Articulation Zone” (See [Section 3.A.1.](#))
 - iv. Determine the amount and location of EFIS/Stucco material chosen to be applied as specified in [Section 3.A.1.c.](#)
 - v. Determine the amount and location of architectural glass material chosen to be applied as specified in [Section 3.A.1.d.](#)
- d. Landscaping and Screening Plan
- i. Verify landscape plans meet submittal requirements, including location of plant material, landscape buffer areas, fencing and hedge row offsets, tabulated plants list and installation plan. Irrigation plans are not required for a Site Plan submittal, but shall be required for the building permit submittal. (See [Sections 4.B.](#) and [C.](#))

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

H. Site Plan Review Checklist for Overlay District Development

- a. For the initial project submission, the applicant shall be responsible for providing the minimum site plan information specified in [Article 16](#) of the Unified Development Code, and the following information contained in the check list presented below. Where there is a conflict between both checklists, the most restrictive requirement shall prevail. The below list shall also be contained in the Development Application Form prepared by the Planning Division of the Planning and Development Department.

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS




Site Plan Review Checklist for Overlay District Development

Case Number:
 Overlay District:

Reviewed By:
 Review Date:

General Information Applies District Wide

Check Building Type:
 Non-Industrial
 Industrial

Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Sheet Size	<input type="checkbox"/>	<input type="checkbox"/>	A sheet size of 24" x 36" is required.	Article 16
Title Block (Legal Description or Address)	<input type="checkbox"/>	<input type="checkbox"/>	The title block is to be located in the lower right hand corner of all sheets.	Article 16
Is the property properly patted?	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Owners (Name, Address, and Phone Number)	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Developers (Name, Address, and Phone Number)	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
North Arrow	<input type="checkbox"/>	<input type="checkbox"/>	The north arrow must be facing true north (or straight up) on plan.	Article 16
Numeric and Graphic Scale	<input type="checkbox"/>	<input type="checkbox"/>	The recommended engineering scales are 1"=20', 1"=40', etc ... with a maximum of 1"=100'.	Article 16
Vicinity Map	<input type="checkbox"/>	<input type="checkbox"/>	The vicinity map should locate the site relative to the nearest major roadways in a one-half mile radius.	Article 16
Name or Initials of the Person / Company Preparing the Plan	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Site Acreage and Square Footage	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Buildings (Total Square Footage)	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Impervious Cover (Total Square Footage)	<input type="checkbox"/>	<input type="checkbox"/>	An emailed site plan, in PDF format, showing areas of impervious cover will be requested for the GIS mapping division.	Article 16
Floodplains and Floodway Areas	<input type="checkbox"/>	<input type="checkbox"/>	Show proposed finished floor elevation for new structures.	Article 16

Dimensional Controls Applies District Wide

Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Perimeter Dimensions of the Site	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Perimeter Dimensions of all Buildings	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Distance Between Buildings	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Distance Between Buildings and Property Lines	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Indicate all Property Lines	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Indicate all Building Setbacks	<input type="checkbox"/>	<input type="checkbox"/>		Article 16

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Indicate all Easements	<input type="checkbox"/>	<input type="checkbox"/>	Article 16
Indicate all Drive/Turning Radii	<input type="checkbox"/>	<input type="checkbox"/>	Article 16
Indicate all Drive Widths	<input type="checkbox"/>	<input type="checkbox"/>	Article 16
Indicate all Fire Lanes	<input type="checkbox"/>	<input type="checkbox"/>	Article 16
Dimension of a Typical Parking Space	<input type="checkbox"/>	<input type="checkbox"/>	Article 16

Building Design

Applies to Non-Industrial Buildings

Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input type="checkbox"/>	<input type="checkbox"/>	Provide exterior elevations for all sides of all buildings.	Appx F – 1.C.2.
Indicate the Surface Area of Each Facade	<input type="checkbox"/>	<input type="checkbox"/>		Appx F – 1.C.2.
Location of Designated <u>Primary</u> Façades	<input type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	Appx F. – 2.A.
Location of Articulated Public Entrances	<input type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	Appx F – 2.D.4.
Indicate Required Roof Parapet Wall Height	<input type="checkbox"/>	<input type="checkbox"/>	42" for bldg's equal or less than 6,000 SF w/ 5' setback on roof. 36" for bldg's greater than 6,000 SF w/ 10' setback on roof.	Appx F. – 4.C.1.
Indicate Building Height (H)	<input type="checkbox"/>	<input type="checkbox"/>	As measured from the finished floor elevation to the top of required roof parapet.	Appx F. – 2.A.4. & 5.
Horizontal Articulation of <u>Primary</u> Façade: Projecting Offset = 15% x (H) Length of Offset = 25% x (L) Distance Between* (L) = 3 x (H)	<input type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet* in between an offset that projects out from the wall at = (H) _____ x 15% = _____. The length of the offset is = (L) _____ x 25% = _____. (* Minimum distance between projections is 60')	Appx F. – 2.A.4.
Vertical Roofline Articulation of <u>Primary</u> Façade: Height Extension = 15% x (H) Length of Extension = 25% x (L) Distance Between* (L) = 3 x (H)	<input type="checkbox"/>	<input type="checkbox"/>	...should occur every _____ feet in between the offset that extends above roof parapet at = (H) _____ x 15% = _____. The length of the height extension is = (L) _____ x 25% = _____. (* Minimum distance between extensions is 60')	Appx F. – 2.A.5.
Indicate the Design Elements for Base, Field Wall and Parapet with Cornice	<input type="checkbox"/>	<input type="checkbox"/>	Cornice element at roof parapet to extend 18" out from exterior wall surface.	Appx F. – 3.D.1.
Indicate Windows and Covered Walkways are Provided	<input type="checkbox"/>	<input type="checkbox"/>	Cover walkway/arcades for 50% of <u>Primary</u> facades. 50% windows for bldg's less than 10,000 SF. 25% windows for bldg's 10,000 SF and over.	Appx F. – 2.D.1.
Indicate Roof Profile Component Used for Articulated Wall Plane ✓ Curvilinear, domed or arched formations. ✓ Two or more roof slope planes with an average slope of at least 5 in 12.	<input type="checkbox"/>	<input type="checkbox"/>	To be utilized on those articulated wall sections and entrances of a <u>Primary</u> façade.	Appx F. – 2.D.2.

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

Material Selections

Applies to Non-Industrial Buildings

Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Indicate Amount and Location of Principal Masonry Material	<input type="checkbox"/>	<input type="checkbox"/>	If tilt-wall concrete is selected as the primary material, then the 25% masonry/stone appliqué applies per Section 2.B.2.	Appx F. – 2.B.1.
Indicate Amount and Location of Substitute Materials	<input type="checkbox"/>	<input type="checkbox"/>	To be reviewed by the Development Review Committee.	Appx F. – 2.B.1.
Indicate Amount and Location of Concrete Tilt-Wall Appliqués	<input type="checkbox"/>	<input type="checkbox"/>	Required for 25% of exposed concrete tilt-wall surfaces. (Stone credits may apply depending on selected option)	Appx F. – 2.B.2.
Indicate Amount and Location of 2" reveals or form liner texture on remaining tilt-wall surfaces.	<input type="checkbox"/>	<input type="checkbox"/>	Required for 10% of remaining exposed concrete tilt-wall surfaces. This requirement also applies to <u>Secondary</u> facades.	Appx F. – 2.B.2.
Indicate Amount and Location of the 25% Supplemental Stone Requirement.	<input type="checkbox"/>	<input type="checkbox"/>	Applies to <u>Primary</u> facades only and may be used on attaching building elements listed in this code. (Stone credits may apply depending on selected material options)	Appx F. – 2.B.3.
Submit a Color Pallet and/or Rendering.	<input type="checkbox"/>	<input type="checkbox"/>		Appx F. – 1.C.2.

Building Design

Applies to Industrial Buildings



Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Provide Exterior Elevations	<input type="checkbox"/>	<input type="checkbox"/>	Provide exterior elevations for all sides of all buildings.	Appx F – 1.C.2.
Indicate the Surface Area of Each Facade	<input type="checkbox"/>	<input type="checkbox"/>		Appx F – 1.C.2.
Indicate Required Roof Parapet Wall Height and RTU Setback	<input type="checkbox"/>	<input type="checkbox"/>	42" for bldg's equal or less than 6,000 SF w/ 5' setback on roof. 36" for bldg's greater than 6,000 SF w/ 10' setback on roof.	Appx F. – 4.C.1.
Indicate Building Height (H)	<input type="checkbox"/>	<input type="checkbox"/>	As measured from the finished floor elevation to the top of required roof parapet.	Appx F. – 3.B.1.d.
Location of Designated <u>Articulation Zone</u> for each Tenant Entrance	<input type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply)	Appx F. – 3.B
<u>Articulation Zone Features</u> (2 of 3 options required)			<input type="checkbox"/> : OPTION NOT SELECTED BY APPLICANT	
a. Horizontal Articulation Projecting Offset = 7.5% x (H) Length of Offset = 20% x (L of Zone)	<input type="checkbox"/>	<input type="checkbox"/>	(L) = Corner zone is 3 x (H) (25% on one wall). Flat zone is 2 x (H). Loading zone is 1 x (H). (H) _____ x 7.5% = _____. The length of the offset is = (L) _____ x 20% = _____.	Appx F. – 3.B.3.a.
b. Vertical Roofline Articulation Height Extension = 7.5% x (H) Length of Extension = 20% x (L of Zone)	<input type="checkbox"/>	<input type="checkbox"/>	(L) = Corner zone is 3 x (H) (25% on one wall). Flat zone is 2 x (H) (H) _____ x 7.5% = _____. The length of the offset is = (L) _____ x 20% = _____.	Appx F. – 3.B.3.b.
c. Wing Wall Width = 20% x (H of building), Height = 50% to 125% x (H of building).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> : OPTION NOT SELECTED BY APPLICANT (H) _____ x 20% = _____. (H) _____ x 50% to 125% = _____. Must have angled, slopped or curvilinear edge; or, have a brick or stone texture for 15% of wall to be credited to total requirement.	Appx F. – 3.B.3.c.

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Grand Prairie

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

Location of Designated <u>Minor Articulation</u> areas (Minimum 2 zones facing public street to be established)	<input type="checkbox"/>	<input type="checkbox"/>	<u>North</u> <u>South</u> <u>East</u> <u>West</u> (Circle all that apply) (W) = 4% of length for all subject areas combined Min. width being no less than 12 feet wide. (L) _____ x 4% = _____	Appx F – 3.B.4.
<u>Minor Articulation Features</u>	<input type="checkbox"/>	<input type="checkbox"/>	Panel offsets of no less than one foot (1'). Panel height changes of no less than 18". Roof profile variations.	Appx F. – 3.B.4.
Panel Surface Reveals	<input type="checkbox"/>	<input type="checkbox"/>	Applies to both the Articulation Zone and Minor Articulation areas. Reveals to be min. 2" in width. Shall frame a wall surface area of not less than 225 square feet.	Appx F. – 3.B.5.

Material Selections Applies to Industrial Buildings



Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Indicate Amount, Type and Location of Principal Masonry Material in Articulation Zone	<input type="checkbox"/>	<input type="checkbox"/>	Brick and/or stone shall consume a minimum of 15% of the total wall surface within the zone. Smooth face CMU shall not be permitted. Split face CMU shall consume no more than ten percent (10%) of the total wall surface within the zone.	Appx F. – 3.A.1.
Indicate Amount and Location of EFIS/Stucco (any wall surface)	<input type="checkbox"/>	<input type="checkbox"/>	5% max for any wall surface is allowed but not required. Required to be no less than 8' above finished grade of wall.	Appx F. – 3.A.1.
Indicate Amount and Location of Architectural Glass and Metal Paneling (any wall surface)	<input type="checkbox"/>	<input type="checkbox"/>	30% max for any wall surface is allowed but not required.	Appx F. – 3.A.1.
Indicate Type and Location of Principal Masonry Material in Minor Articulation Areas	<input type="checkbox"/>	<input type="checkbox"/>	Minimum tilt wall concrete with panel surface reveals per Section 3.B.5.	Appx F. – 3.A.
Submit a Color Pallet and/or Rendering.	<input type="checkbox"/>	<input type="checkbox"/>		Appx F. – 1.C.2.

Signage Applies District Wide


Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Signage elevation drawings to be provided for multi-tenant, wall and monument signage	<input type="checkbox"/>	<input type="checkbox"/>	No individual pole signs are allowed; multi tenant signs are permitted; and, any wall and/or monument sign needs to be shown on the site plan submittal. Articulated Public Entrances may extend 30' above parapet height and contain multi tenant signage for non-industrial projects.	Appx F. – 4.A.

APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

Landscaping Plan Applies District Wide

Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Percentage of Total Site Landscaped Required	<input type="checkbox"/>	<input type="checkbox"/>		Article 8
30' Landscape Buffer at Public Street(s) Adjoining Parking Areas	<input type="checkbox"/>	<input type="checkbox"/>	This applies to all site paving. Building setback may be less per zoning requirement.	Appx F. – 4.B.2.
Street Trees	<input type="checkbox"/>	<input type="checkbox"/>	Provide one (1) tree for every 50 linear feet of street frontage.	Article 8
Parking Area Trees	<input type="checkbox"/>	<input type="checkbox"/>	Provide one tree for every 20 parking spaces ... 100' parking space coverage.	Article 8
Parking Screening Shrubs and Berms	<input type="checkbox"/>	<input type="checkbox"/>	Provide 6' offset in shrubs for every 60 linear feet within a buffer area.	Appx F. – 4.B.2.
Landscape Table	<input type="checkbox"/>	<input type="checkbox"/>	Provide landscape table showing plant material, quantities, size and spacing for both required and provided.	Article 8
Irrigation Notes and Plan	<input type="checkbox"/>	<input type="checkbox"/>	Provide note indicating irrigation will meet requirements of UDC.	Article 8

Screening of Utility Areas & Equipment Applies District Wide

Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Across the Street from Residential Zoning : ✓ 6' High Masonry Wall W/ Mortar Bond Finish for Service Areas. ✓ 20' Landscape Buffer <u>Outside</u> of Wall ✓ Continuous Berm 3' High in Lieu of Masonry for Non-Service Areas. ✓ Under Story Plants and Shade Trees	<input type="checkbox"/>	<input type="checkbox"/>	(See above for parking lot screening) Five (5) foot offset required for every 160 linear feet of wall; or curvilinear wall may be used for Service Area screening. One (1) Tree per 500 Square Feet of Buffer Area	Appx F. – 4.C.3.
Adjoining Residential Zoning : ✓ 6' High Masonry Wall W/ Mortar Bond Finish ✓ 15' Landscape Buffer <u>Inside</u> of Wall ✓ Shade Trees Every 15' On-Center	<input type="checkbox"/>	<input type="checkbox"/>	(See above for parking lot screening) No offset required. With a mature growth height of 10 to 12 feet.	Appx F. – 4.C.3.
Outside Storage Screening	<input type="checkbox"/>	<input type="checkbox"/>	In side or rear yard only; 7' high or 1' above materials.	Appx F. – 4.C.2.
Top of Roof Deck Dashed in on Building Elevations	<input type="checkbox"/>	<input type="checkbox"/>	To demonstrate compliance with roof top screening requirements.	Appx F. – 1.A.2.
Garage Bay Doors : ✓ Side or Rear Yards Only ✓ 36' High Screen Facing Adjacent Lots ✓ Type of Materials Used ✓ Masonry at Column Supports ✓ Sloped Roof at Gasoline Canopy	<input type="checkbox"/>	<input type="checkbox"/>		Appx F. – 2.D.5.
Dumpster	<input type="checkbox"/>	<input type="checkbox"/>	DETAIL REQUIRED. A detailed plan showing an elevation for a 6' high masonry enclosure is required.	Article 8
 Loading Dock Screening	<input type="checkbox"/>	<input type="checkbox"/>	Refer to Section. 8.9 of the Unified Development Code.	Article 8

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APPENDIX F: CORRIDOR OVERLAY DISTRICT STANDARDS

Parking/Loading/Maneuvering/Paving Applies District Wide

Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Parking Table	<input type="checkbox"/>	<input type="checkbox"/>	Provide parking table indicating the total required parking by use, total required handicapped parking and the total parking provided.	Article 16
Handicap Parking Spaces Shown	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Adequate Parking	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Adequate Parking and Maneuvering	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Adequate Loading Area	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Adequate Loading Maneuvering	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Type and Depth of Concrete Surface	<input type="checkbox"/>	<input type="checkbox"/>	Identify the standard of paving required.	Article 16

MISCELLANEOUS Applies District Wide

Requirements	✓ = OK X = Deficient	N/A	Comments	UDC Reference
Sidewalks	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Location of Fire Hydrants	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Adjacent Lot Lines	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Adjacent Street Right-Of-Way with Centerlines	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Median Breaks in Adjacent Streets	<input type="checkbox"/>	<input type="checkbox"/>		Article 16
Cross Access Easements	<input type="checkbox"/>	<input type="checkbox"/>		Article 16

PRE DRC RECORD:

Contacted applicant or sent scanned checklist sheet on: ____/____/____.

Case Manager: _____

DRC RECORD:

Staff informed applicant of recommendation of full compliance. Appeals may be requested at applicant's option and risk.

[] Applicant identified appeals at DRC meeting of ____/____/____ as signified by letter "A" in left margin of checklist (Provide marked copy to applicant at DRC).

[] No appeals being requested by applicant.

NOTES: